



HEARING NOTICE

LAND USE REQUEST AFFECTING THIS AREA

There is a development proposal for the property listed in this notice and shown on the attached map. The City is seeking input from neighbors on the proposal. If you have questions or comments about the proposal, contact the case manager.

Esta carta es un aviso sobre una propuesta de desarrollo para la propiedad enumerada y que se muestra en el mapa adjunto. La ciudad está buscando la opinión de los vecinos sobre la propuesta. Si tiene preguntas o comentarios sobre la propuesta, póngase en contacto con nosotros al 503-588-6213

CASE NUMBER:	Conditional Use / Class 3 Site Plan Review / Class 2 Adjustment / Class 2 Driveway Approach Permit / Class 1 Design Reivew Case No. CU-SPR-ADJ-DAP-DR20-02
HEARING INFORMATION:	<u>Hearings Officer, Wednesday, March 11, 2020, 5:30 P.M., Council Chambers, Room 240, Civic Center, 555 Liberty Street SE, Salem, OR 97301</u>
PROPERTY LOCATION:	2095 Fairgrounds Rd NE, Salem OR 97301
SUMMARY:	A proposal to construct a coffee cafe with a drive-through lane.
CASE MANAGER:	Pamela Cole, Planner II , City of Salem Planning Division, 555 Liberty Street SE, Room 305, Salem, OR 97301. Telephone: 503-540-2309; E-mail: pcole@cityofsalem.net .
NEIGHBORHOOD ORGANIZATION:	<i>Neighborhood associations are volunteer organizations of neighbors coming together to make neighborhoods the best they can be. They receive notice of land use applications within their boundaries, and they often submit comments on the applications to the City. Neighborhood association meetings are open to everyone. Contact your neighborhood association to get involved:</i> Highland Neighborhood Association, Geoff Darling, Chair; Phone: 503-316-9153; Email: higeoff@comcast.net .
STAFF REPORT:	The Staff Report will be available seven (7) days prior to the hearing and will thereafter be posted on the Community Development website: https://www.cityofsalem.net/notice .
ACCESS:	The Americans with Disabilities Act (ADA) accommodations will be provided on request.
CRITERIA:	Salem Revised Code (SRC) Chapter(s) 240.005(d) – Conditional Use; 220.005(f)(3) – Class 3 Site Plan Review; 250.005(d)(2) – Class 2 Adjustment; 804.025(d) – Class 2 Driveway Approach Permit; and 225.005(d)(1) – Class 1 Design Review. Salem Revised Code (SRC) is available to view at this link: http://bit.ly/salemorcode . Type in the chapter number(s) listed above to view the applicable criteria.

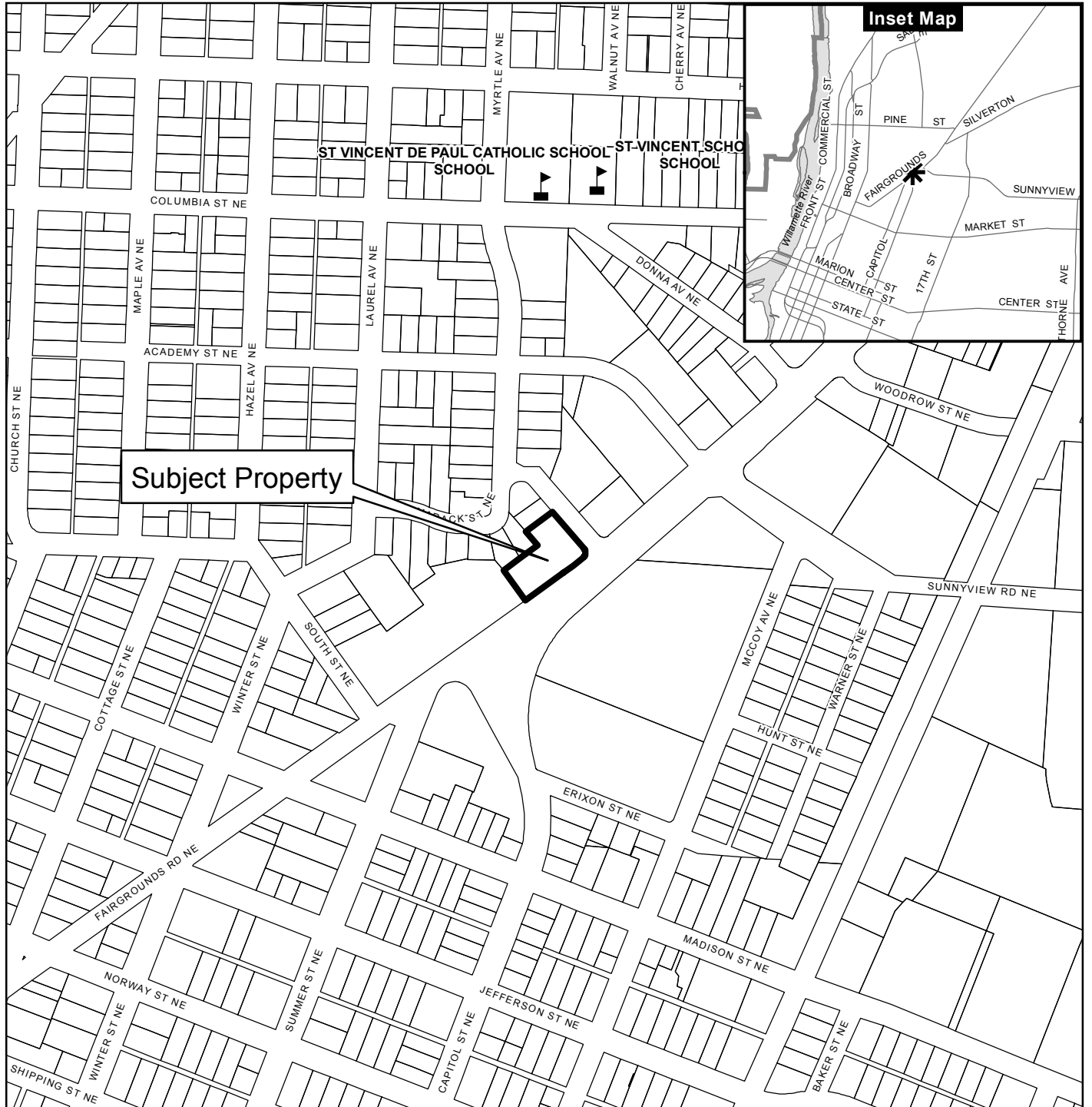
OWNER(S):	B and W, LLC (Diane Wearne, Greg Batdorf)
APPLICANT / AGENT(S):	Jon Hummelt and Fritz Hummelt, Hummelt Development Company
PROPOSAL REQUEST:	A consolidated Conditional Use, Class 3 Site Plan Review, Class 2 Zoning Adjustment, Class 2 Driveway Approach Permit, and Class 1 Design Review for a proposed 2,206 square foot eating and drinking establishment with a drive-through on a property of 0.58 acres located at 2095 Fairgrounds Road NE (Marion County Assessor 073W14CD01300) in the CR (Retail Commercial) zone and Portland/Fairgrounds Overlay Zone. The Class 2 Adjustment is requested to reduce the required width of the landscaped setback abutting residential zones from 15 feet to 5 feet.
HOW TO PROVIDE TESTIMONY:	Any person wishing to speak either for or against the proposed request may do so in person or by representative at the Public Hearing. Written comments may also be submitted at the Public Hearing. Include case number with the written comments. Prior to the Public Hearing, written comments may be filed with the Salem Planning Division, Community Development Department, 555 Liberty Street SE, Room 305, Salem, Oregon 97301. Only those participating at the hearing, in person or by submission of written testimony, have the right to appeal the decision.
HEARING PROCEDURE:	<p>The hearing will be conducted with the staff presentation first, followed by the applicant's case, neighborhood organization comments, testimony of persons in favor or opposition, and rebuttal by the applicant, if necessary. The applicant has the burden of proof to show that the approval criteria can be satisfied by the facts. Opponents may rebut the applicant's testimony by showing alternative facts or by showing that the evidence submitted does not satisfy the approval criteria. A hearing is not a venue to ask questions of staff, the applicant or the decision maker(s) on this case but rather an opportunity to provide testimony to the decision maker(s) on the merits of the land use case; questions about the application, the recommended conditions of approval, or the Planning Administrator's recommendation, should be directed to the Case Manager prior to the hearing.</p> <p>Any participant may request an opportunity to present additional evidence or testimony regarding the application. A ruling will then be made to either continue the Public Hearing to another date or leave the record open to receive additional written testimony. Failure to raise an issue in person or by letter prior to the close of the Public Hearing with sufficient specificity to provide the opportunity to respond to the issue, precludes appeal to the Land Use Board of Appeals (LUBA) on this issue. A similar failure to raise constitutional issues relating to proposed conditions of approval precludes an action for damages in circuit court.</p> <p>Following the close of the Public Hearing a decision will be issued and mailed to the applicant, property owner, affected neighborhood association, anyone who participated in the hearing, either in person or in writing, and anyone who requested to receive notice of the decision.</p>
MORE INFORMATION:	Documents and evidence submitted by the applicant are available for review and paper copies can be obtained at a reasonable cost. You can also find out more information about the status of the proposed application on the City's online Permit Application Center at https://permits.cityofsalem.net . Just enter the permit number listed here: 19 124717
NOTICE MAILING DATE:	February 20, 2020

PLEASE PROMPTLY FORWARD A COPY OF THIS NOTICE TO ANY OTHER OWNER, TENANT OR LESSEE.
For more information about Planning in Salem:
<http://www.cityofsalem.net/planning>








It is the City of Salem's policy to assure that no person shall be discriminated against on the grounds of race, religion, color, sex, marital status, familial status, national origin, age, mental or physical disability, sexual orientation, gender identity and source of income, as provided by Salem Revised Code Chapter 97. The City of Salem also fully complies with Title VI of the Civil Rights Act of 1964, and related statutes and regulations, in all programs and activities. Disability-related modification or accommodation, including auxiliary aids or services, in order to participate in this meeting or event, are available upon request. Sign language and interpreters for languages other than English are also available upon request. To request such an accommodation or interpretation, contact the Community Development Department at 503-588-6173 at least three business days before this meeting or event.

TTD/TTY telephone 503-588-6439 is also available 24/7

Vicinity Map 2095 Fairgrounds Road NE



Legend

-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools
-  Parks


CITY OF Salem
 AT YOUR SERVICE
 Community Development Dept.

0 100 200 400 Feet



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Project: 1933
Project name: Coffee Cafe with Drive Thru
Location: 2075 Fairgrounds Road NE Salem Oregon 97301

Scope of work
 Site development for a new stand-alone coffee cafe with drive thru. The site is currently developed and includes a built structure and operating used car dealership. The existing development will be removed prior to the new development.

Governing Applicable Building Codes:
 2014 Oregon Structural Specialty Code (OSSC)
 2014 Oregon Mechanical Specialty Code (OMSC)
 2014 Oregon Energy Efficiency Specialty Code (OEESC)
 2017 Oregon Plumbing Specialty Code (OPSC)
 2017 Oregon Electrical Specialty Code (OESC)
 2014 Oregon Fire Code (OFC)
 2009 Accessible and Usable Buildings and Facilities ICCA117.1

City Jurisdiction: City Salem, Oregon

Site development Information:
 Zone: CR Retail Commercial
 Fairground Overlay Zone

Section 806.0.20 Method of providing off street parking
 Table 806-3 minimum off street parking space dimensions
 Compact 8x15
 Standard 9x19

Table 806-5 Interior off street parking area landscaping
 Less than 50,000 s.f., min 5%
 Tree every 12 spaces

90 deg parking
Compact
 Stall width 8'-8" if next to wall or post
 Stall to curb 1'5"
 Aisle width 22'
 Curb length 8'
 Front stall to front stall 5'4"

Standard
 Stall width 9'
 Stall to curb 19'
 Aisle width 24'
 Curb length 9'
 Front stall to front stall 62'

Table 806-8 Bicycle parking
 The greater of 4 spaces or 1 space per 1,000 sq. ft.

Section 806.015 Amount of off-street Parking
 Up to 80% compact spaces allowed

Pre-Application report narrative response:

603.020 - Development Standards:

1. Landscaping:
 - a. Refer to civil drawings for grading indicating no berms, mounds, raised beds or grade drops not meeting compliance.
 - b. Refer to Landscape plans for design provided by landscape Architect.
2. Off-street Parking and loading areas:
 - a. Refer to site plan for compliant planter bays and islands exceeding the minimum 50 s.f. area.
3. Minimum of one tree per eight parking spaces:
 - a. Refer to Landscape Plan indicating three new proposed large trees for 20 proposed parking spaces.
4. Parking Light Structures not to exceed 25 feet in height:
 - a. Refer to site plan locating proposed interior light fixtures. Parking light fixtures shall not exceed 25' in height.
5. Screening - Trash receptacles shall be screened from adjacent household living use and streets by a site obscuring fence, wall or hedge:
 - a. Refer to site and Landscape plans indicating compliance to

6. Pedestrian connection shall be provided from public sidewalk to the primary building entrance:
 - a. Refer to site plan indicating delineation of pedestrian connection from the ROW to the building entrances.
7. A pedestrian connection through the parking area to the primary building entrance shall be provided when the parking area is greater than 60' in depth:
 - a. Refer to site plan showing proposed pedestrian connections from the parking lot to the building entrances.
8. Pedestrian connections shall be a minimum of 5 feet in width and defined by visual contrasting color or tactile finish texture:
 - a. Refer to site plan showing width and visual contrast to walkways.
9. Wheel stops:
 - a. The project will be using a 24" landscape buffer in lieu of wheel stops.
10. Free Standing Sign:
 - a. A monument sign is proposed at the corner of Myrtle avenue and Fairgrounds Road.
11. Weather protection in form of awnings or canopies:
 - a. The project proposes to provide awnings over two entries while the third entrance will be roofed over within an alcove.
12. Cast Iron or wrought iron fencing adjacent to Portland Fairgrounds Road:
 - a. A wrought iron ornamental fence is proposed at the exterior dining area at the entrance along Fairgrounds Road.
13. Pedestrian connections that are defined:
 - a. Pedestrian connections proposed to be striped and colored
14. Development of surface parking lot:
 - a. The existing parking lot will be re constructed to meet the needs of the new building.
15. Provision of pedestrian oriented design features adjacent to Portland /Fairgrounds Road:
 - a. An open air dining area plaza will be constructed at the East Entrance of the proposed building.
16. A minimum of 7% landscaping within parking areas not more than 50,000 s.f. in size; or a minimum of 10% interior landscaping within parking areas greater than 50,000 s.f. in size:
 - a. Parking and drive-ite surface is calculated at 13,420 s.f. Interior landscape is calculated at 1,400 s.f. the % of landscaping within parking area is 10.2%
17. Installation of landscaping and irrigation using a plan designed by an Oregon Landscape Architect:
 - a. Refer to Landscape Plans provided by Darrell Mulch, Landscape Architect.
18. Construction of a building where at least 50% of the building frontage is constructed contiguous to the minimum building setback line:
 - a. We interpret this to be the following:
 - i. The total building length is 83 feet long facing Fairgrounds Road, of which 70 feet is contiguous to the building setback line, or 84%
19. Building must be constructed within 60' of the ROW.
 - a. Refer to Site plan indicating the building entrance within 60' of Myrtle Avenue and Fairgrounds road.
20. Primary Building entrance shall be provided for each building facade facing a street.

21. Ground floor building facades facing Fairgrounds Road shall include transparent windows at a minimum of 65% of the ground floor facade:
 - a. The building is 82 feet long, the window opening total is 55'. There is 67% glazing of the ground floor street facing facade.
22. Building offsets shall be provided for building frontages greater than 75 feet:
 - a. Refer to building footprint complying to this requirement.
23. Weather Protection in the form of awnings or canopies. Canopies above the sidewalk may encroach into the ROW as provided in SBC 76.160.
 - a. The Proposed design will have canopies over the East and West entrances while a roof will cover the South entrance.

Building information:
Proposed Building Type, Use and Occupancy:

Narrative:
 Site will be developed to accommodate a new Coffee Cafe with Drive thru.

Use is classified as Assembly without fixed seats, un-concentrated (Occupant load factor - 15)
 Relevant Occupancy is A-2
 Proposed building construction type: VB, +/- 1,900 s.f., one story
 No fire sprinkler or fire alarm
 Maximum building size 1,900 s.f.

Calculated Occupant load: 1,900 / 15 = 127 occupants
 2 egress exits required

Building Height: 19'-8" +/-

Oregon Energy Code:
 HVAC Gas Fired Heat - Electric Cooling
 Table 502.1.1 for insulation minimums
 Roof: R-20ci
 Walls: R-21
 Slab: R-10 Perimeter
 Doors: U-0.70
 Roof Curbs: R-5

Plumbing Systems (Proposed Tenant Space)
 Table 2902.1
 A-2 (Restaurants, Banquet halls and food courts)

Water Closets:
 Male 1 per 75
 Female 1 per 75

Lavatories:
 Male 1 per 200
 Female 1 per 200

Drinking Fountain:
 One Per floor

2902.2 Separate facilities appear to be required.

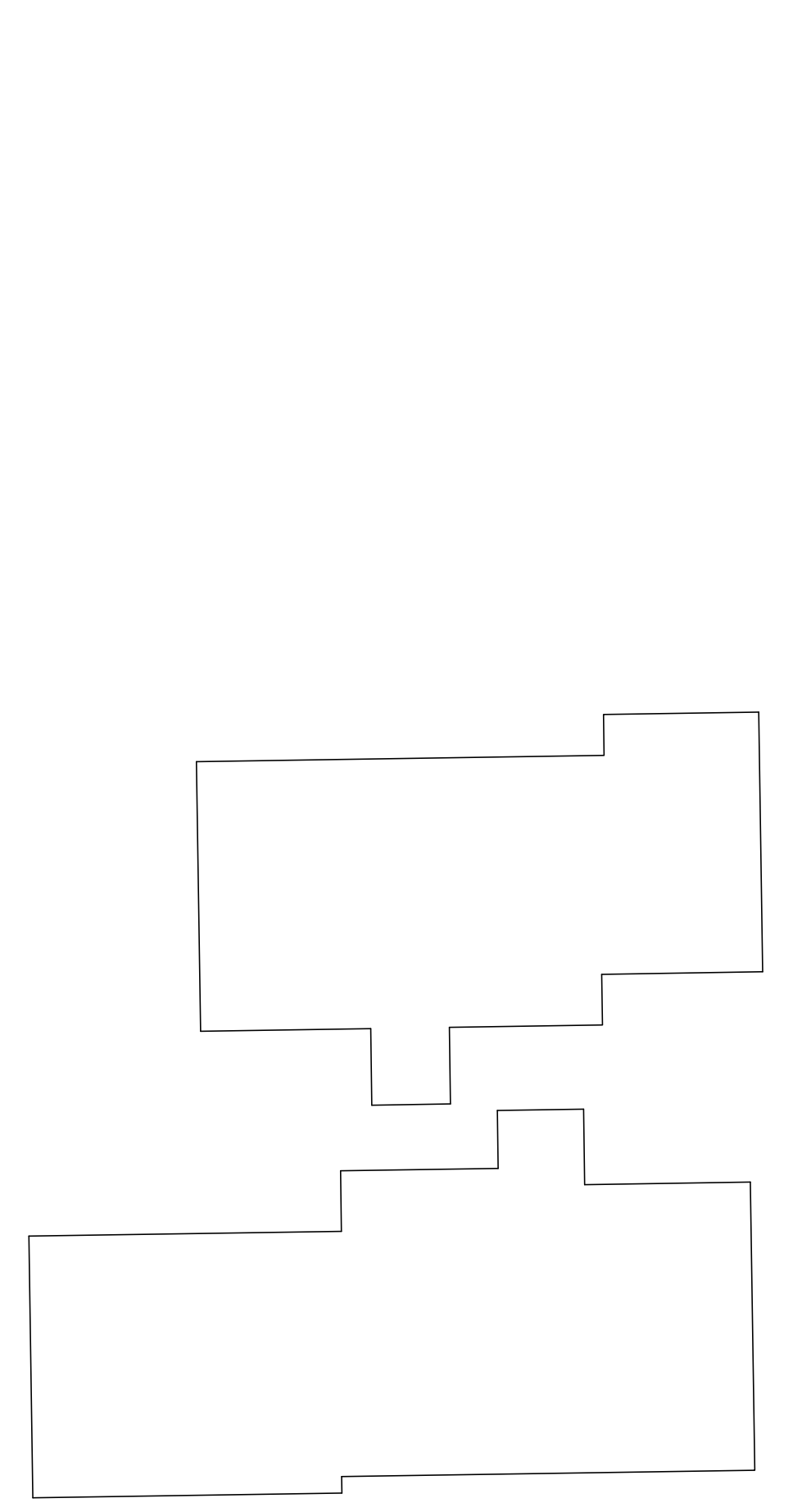
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 PORTLAND, OREGON
 STATE OF OREGON

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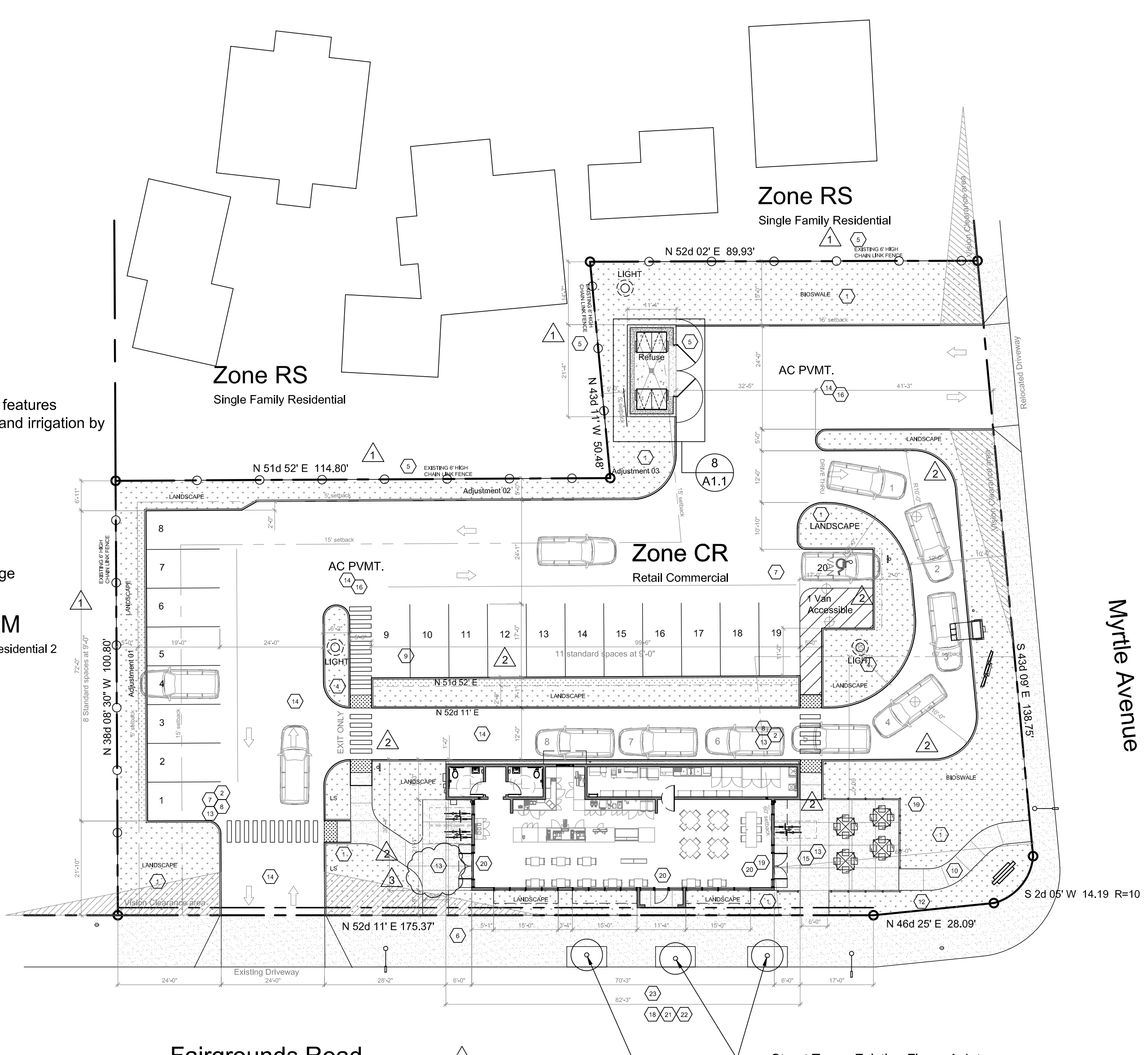
Site and Building Shell Development
Coffee Cafe with Drive Thru
Salem Oregon

Revised:	1/16/20	Completeness check list
	1/31/20	Client Update
	2/4/20	Completeness check comments
Job No:	1933	
Date:	Nov. 11, 2019	
File:	Site Design Issue Set	
DRAWN:	NYL	
CHECKED:	NYL	
Sheet Title	Site Plan	
Sheet Number	A1.1	

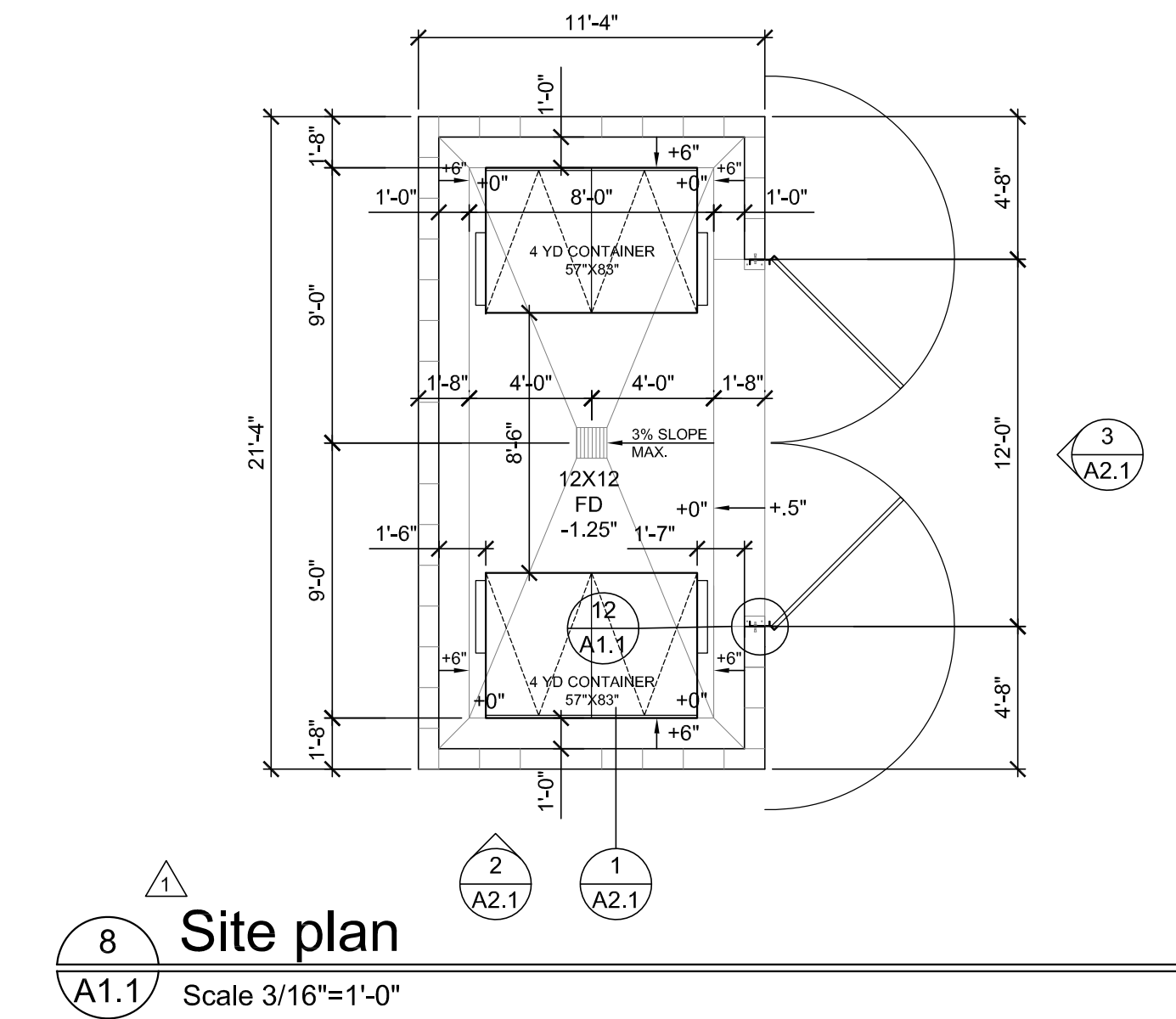


Overlay Zone enhancements
 1. Free standing sign
 2. weather protection
 3. pedestrian connections
 4. pedestrian oriented design features
 5. Installation of landscaping and irrigation by landscape Architect

25,609 s.f. Property
 8,399 s.f. Landscape
 32.8% Landscape lot coverage

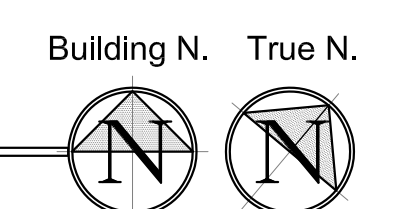


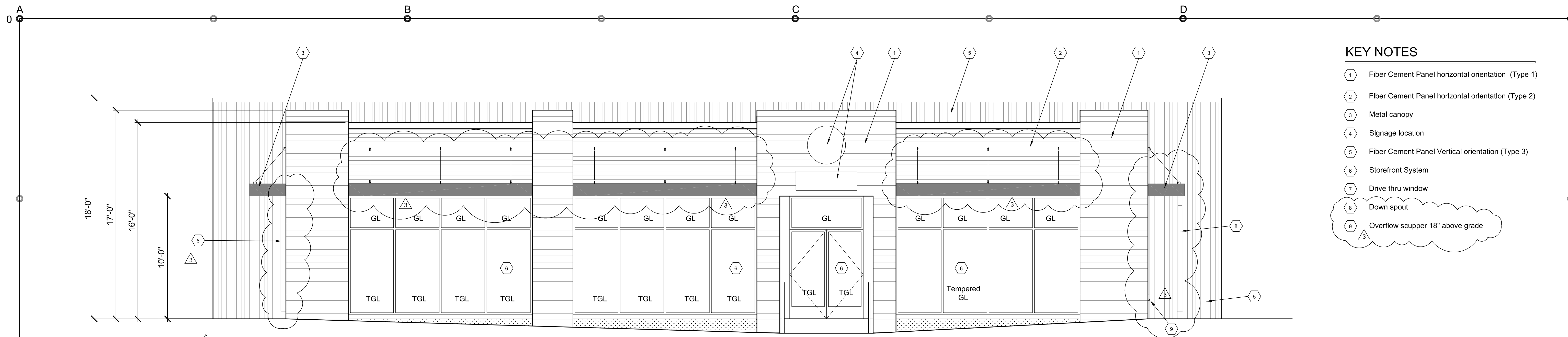
9 Site plan
 A1.1 Scale 1:20



12 Detail
 A1.1 Scale 3"=1'-0"

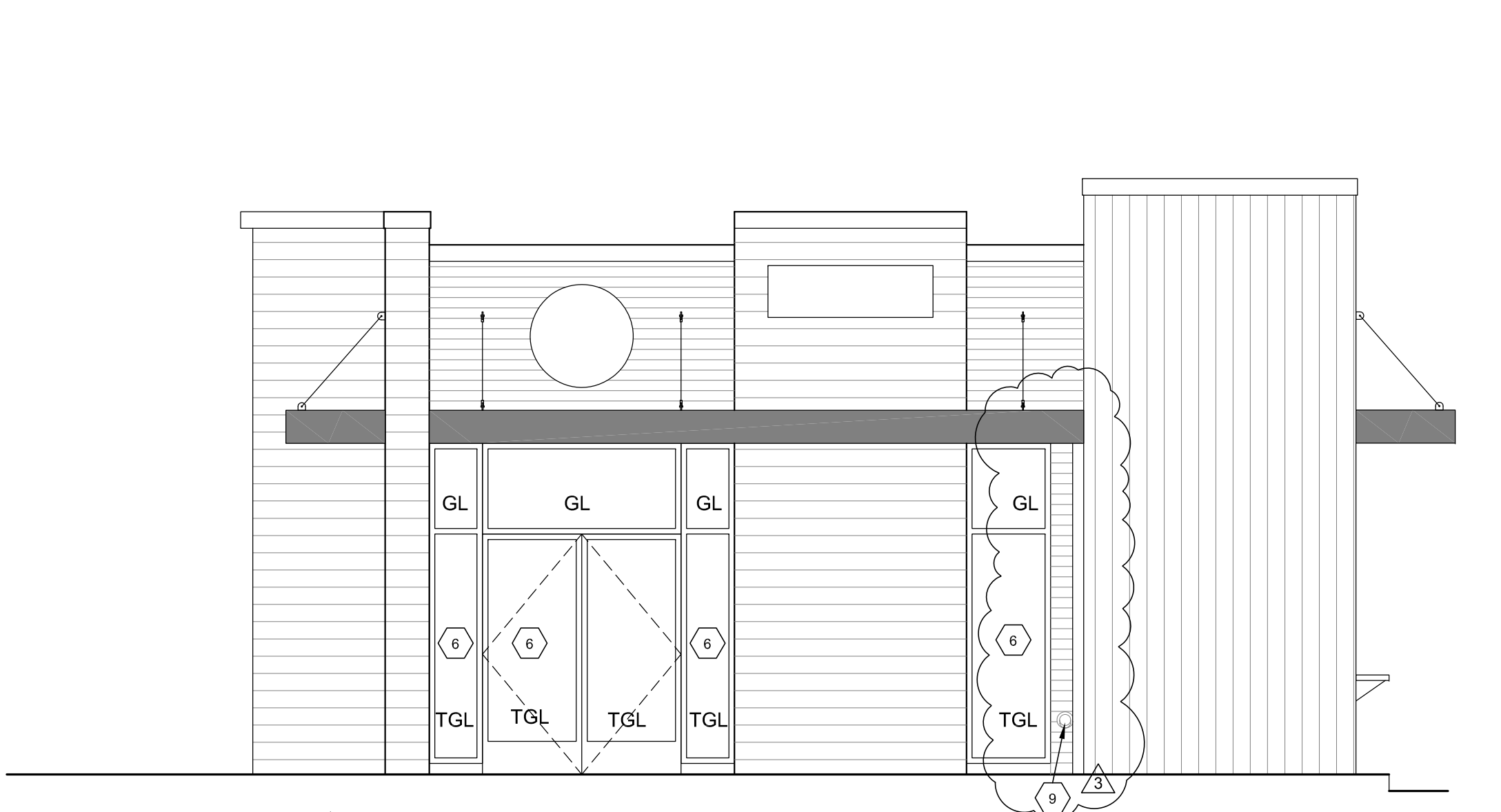
2) 3/4" wedge bolt anchored to curb.
 C8x11.5 channel or eq.
 B-deck paneling
 2) 2x2x0.25 gusset plate
 2x2x0.25 angle all round perimeter
 2) 3/4" wedge bolt anchored to CMU



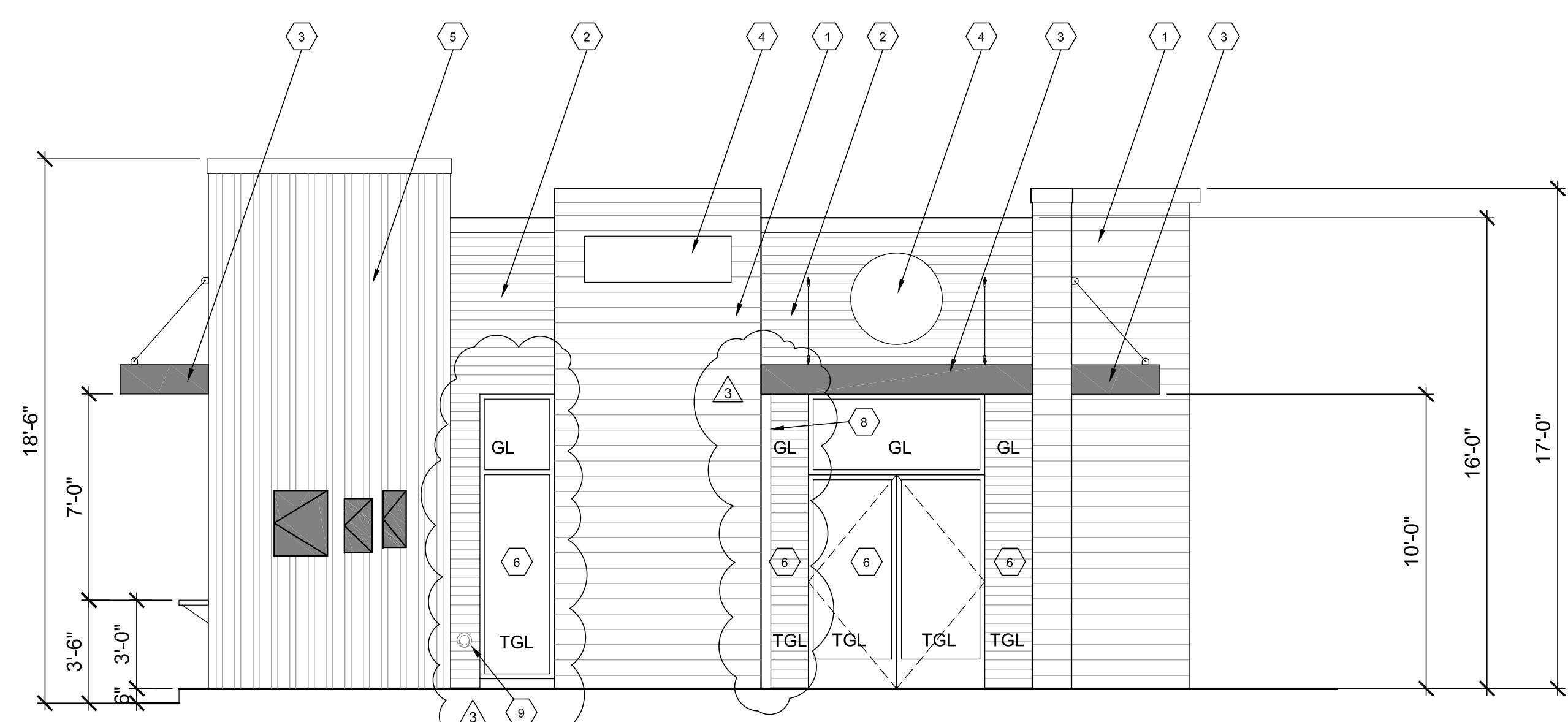


- KEY NOTES**
- 1 Fiber Cement Panel horizontal orientation (Type 1)
 - 2 Fiber Cement Panel horizontal orientation (Type 2)
 - 3 Metal canopy
 - 4 Signage location
 - 5 Fiber Cement Panel Vertical orientation (Type 3)
 - 6 Storefront System
 - 7 Drive thru window
 - 8 Down spout
 - 9 Overflow scupper 18" above grade

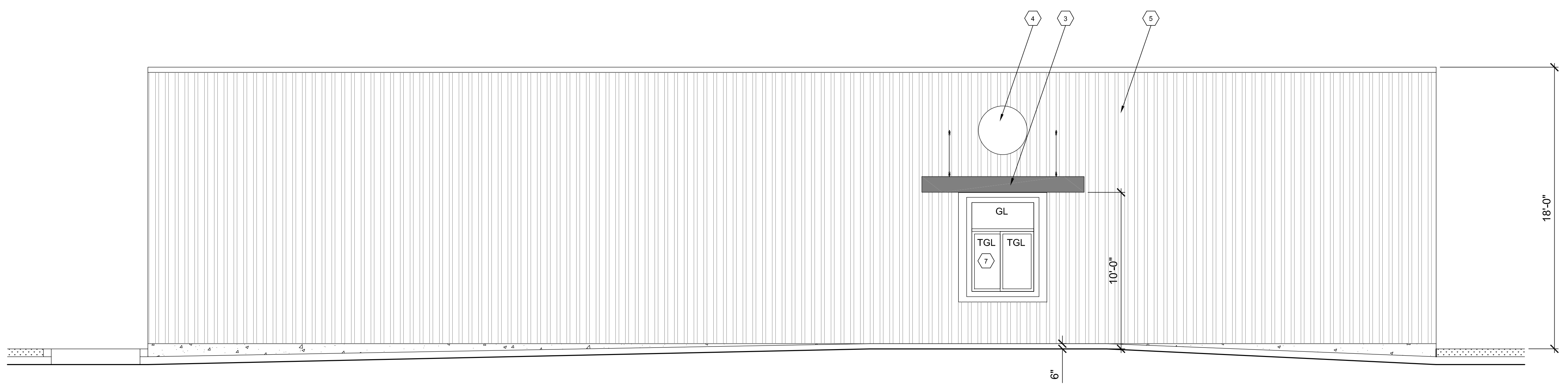
1 South Elevation
A6.1 Scale 1/4"=1'-0"



5 East Elevation
A6.1 Scale 1/4"=1'-0"



7 West Elevation
A6.1 Scale 1/4"=1'-0"



9 North Elevation
A6.1 Scale 1/4"=1'-0"



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Site and Building Shell Development
Coffee Cafe with Drive Thru
Salem Oregon

Revised:	1/4/19	Conditions of Approval
	1/31/20	Client Update
	2/4/20	Conditions of Approval

Job No: 1933

Date: Nov. 11, 2019

File:

Site Design Issue Set

DRAWN:

CHECKED: NYL

Sheet Title

Exterior Elevations

Sheet Number

A6.1