



HEARING NOTICE

LAND USE REQUEST AFFECTING THIS AREA

There is a development proposal for the property listed in this notice and shown on the attached map. The City is seeking input from neighbors on the proposal. If you have questions or comments about the proposal, contact the case manager.

Esta carta es un aviso sobre una propuesta de desarrollo para la propiedad enumerada y que se muestra en el mapa adjunto. La ciudad está buscando la opinión de los vecinos sobre la propuesta. Si tiene preguntas o comentarios sobre la propuesta, póngase en contacto con nosotros al 503-588-6213

CASE NUMBER:	Conditional Use / Class 3 Site Plan Review / Class 2 Driveway Approach Permit / Class 1 Design Review Case No. CU-SPR-DAP-DR20-06
PROPERTY LOCATION:	5600 Block Woodside Dr SE, Salem OR 97306
SUMMARY:	Development of a new two building apartment complex with 24 dwelling units.
HEARING INFORMATION:	<p>DUE TO SOCIAL DISTANCING MEASURES IN PLACE TO HELP STOP THE SPREAD OF THE COVID-19 VIRUS THIS HEARING WILL BE HELD VIRTUALLY.</p> <p><u>Hearings Officer, Wednesday September 23, 2020 at 5:30 p.m.</u></p> <p>To view the meeting LIVE on YouTube please visit this link with any computer, tablet, or smart phone: http://bit.ly/planningpublicmeetings</p>
HOW TO PROVIDE TESTIMONY:	<p>Both written and in-person comments will be accepted on this case. Only those participating by submitting written testimony, or testifying during the virtual hearing, have the right to appeal the decision.</p> <p>To provide written testimony: Direct written comment to the case manager listed below. Staff recommends emailing your comments to ensure receipt before the public hearing.</p> <p>To provide testimony virtually at the public hearing: Sign up by contacting Zachery Cardoso at zcardoso@cityofsalem.net or 503-540-2304 by <u>September 23, 2020 at 3:00 p.m.</u> to receive instructions.</p>
CASE MANAGER:	Aaron Panko, Planner III , City of Salem Planning Division, 555 Liberty Street SE, Room 305, Salem, OR 97301. Telephone: 503-540-2356; E-mail: APanko@cityofsalem.net .
NEIGHBORHOOD ORGANIZATION:	<p><i>Neighborhood associations are volunteer organizations of neighbors coming together to make neighborhoods the best they can be. They receive notice of land use applications within their boundaries, and they often submit comments on the applications to the City. Neighborhood association meetings are open to everyone. Contact your neighborhood association to get involved:</i></p> <p>South Gateway Neighborhood Association, Glenn Baly, Land Use Co-Chair; Phone: 503-588-6924; Email: glennbaly12345@gmail.com; Mike Hughes, Land Use Co-Chair; Phone: 503-584-0806; Email: hughes.m@comcast.net.</p>
STAFF REPORT:	The Staff Report will be available seven (7) days prior to the hearing and will thereafter be posted on the Community Development website: https://www.cityofsalem.net/notice .
ACCESS:	The Americans with Disabilities Act (ADA) accommodations will be provided on request.
CRITERIA:	<p>Salem Revised Code (SRC) Chapter(s) 240.005(d) – Conditional Use, 220.005(f)(3) – Site Plan Review, 804.025(d) – Driveway Approaches, 225.005(e)(1) – Design Review</p> <p>Salem Revised Code (SRC) is available to view at this link: http://bit.ly/salemorcode. Type in the chapter number(s) listed above to view the applicable criteria.</p>

OWNER(S):	JCT Construction Group LLC (Mark Hoyt, James Tokarski, James Cain)
APPLICANT / AGENT(S):	Brandie Dalton, Multi/Tech Engineering, on behalf of JCT Construction Group LLC
PROPOSAL REQUEST:	Request: A Conditional Use Permit request to allow a new multi-family residential use, and Class 3 Site Plan Review, Class 2 Driveway Approach Permit, and Class 1 Design Review for development of a new two building apartment complex containing a total of 24 dwelling units, for property approximately 1.77 acres in size, zoned IC (Industrial Commercial) and RS (Single Family Residential), and located at the 5600 Block of Woodside Drive SE - 97306 (Marion County Assessor Map and Tax Lot Numbers: 083W14CB / 02401 and 02501).
HEARING PROCEDURE:	<p>The hearing will be conducted with the staff presentation first, followed by the applicant's case, neighborhood organization comments, testimony of persons in favor or opposition, and rebuttal by the applicant, if necessary. The applicant has the burden of proof to show that the approval criteria can be satisfied by the facts. Opponents may rebut the applicant's testimony by showing alternative facts or by showing that the evidence submitted does not satisfy the approval criteria. A hearing is not a venue to ask questions of staff, the applicant or the decision maker(s) on this case but rather an opportunity to provide testimony to the decision maker(s) on the merits of the land use case; questions about the application, the recommended conditions of approval, or the Planning Administrator's recommendation, should be directed to the Case Manager prior to the hearing.</p> <p>Any participant may request an opportunity to present additional evidence or testimony regarding the application. A ruling will then be made to either continue the Public Hearing to another date or leave the record open to receive additional written testimony. Failure to raise an issue in person or by letter prior to the close of the Public Hearing with sufficient specificity to provide the opportunity to respond to the issue, precludes appeal to the Land Use Board of Appeals (LUBA) on this issue. A similar failure to raise constitutional issues relating to proposed conditions of approval precludes an action for damages in circuit court.</p> <p>Following the close of the Public Hearing a decision will be issued and mailed to the applicant, property owner, affected neighborhood association, anyone who participated in the hearing, either in person or in writing, and anyone who requested to receive notice of the decision.</p>
MORE INFORMATION:	Documents and evidence submitted by the applicant are available for review and paper copies can be obtained at a reasonable cost. You can also find out more information about the status of the proposed application on the City's online Permit Application Center at https://permits.cityofsalem.net . Just enter the permit number listed here: 20 110657, 20 110687, 20 110692, and 20 110689
NOTICE MAILING DATE:	September 3, 2020

PLEASE PROMPTLY FORWARD A COPY OF THIS NOTICE TO ANY OTHER OWNER, TENANT OR LESSEE.

For more information about Planning in Salem:

<http://www.cityofsalem.net/planning>

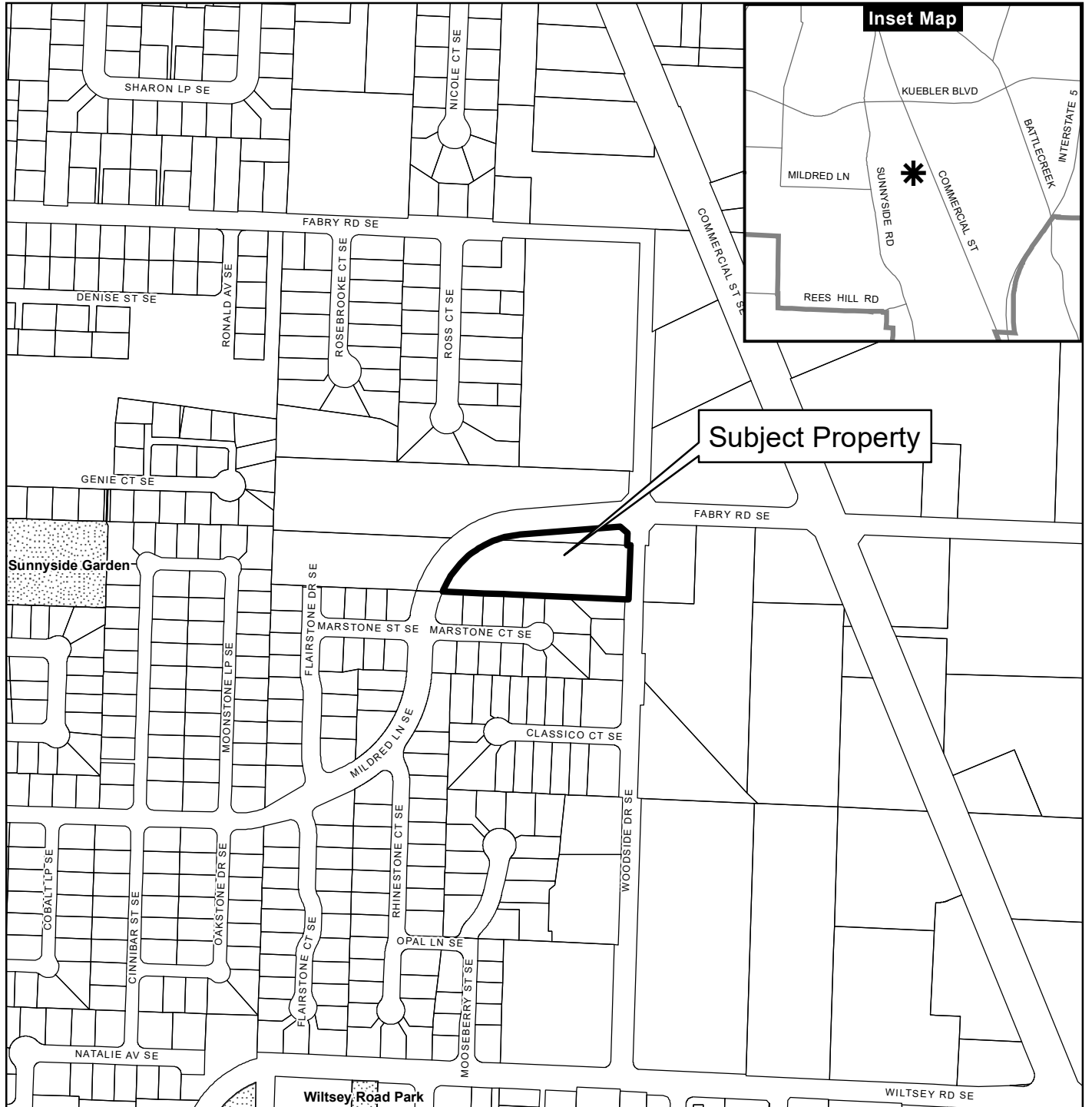
It is the City of Salem's policy to assure that no person shall be discriminated against on the grounds of race, religion, color, sex, marital status, familial status, national origin, age, mental or physical disability, sexual orientation, gender identity and source of income, as provided by Salem Revised Code Chapter 97. The City of Salem also fully complies with Title VI of the Civil Rights Act of 1964, and related statutes and regulations, in all programs and activities. Disability-related modification or accommodation, including auxiliary aids or services, in order to participate in this meeting or event, are available upon request. Sign language and interpreters for languages other than English are also available upon request. To request such an accommodation or interpretation, contact the Community

Development Department at 503-588-6173 at least three business days before this meeting or event.

TTD/TTY telephone 503-588-6439 is also available 24/7








Vicinity Map

5600 Block of Woodside Drive SE



Subject Property

Legend

-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools
-  Parks

CITY OF Salem
AT YOUR SERVICE
Community Development Dept.

0 100 200 400 Feet



This product is provided as is, without warranty. In no event is the City of Salem liable for damages from the use of this product. This product is subject to license and copyright limitations and further distribution or resale is prohibited.

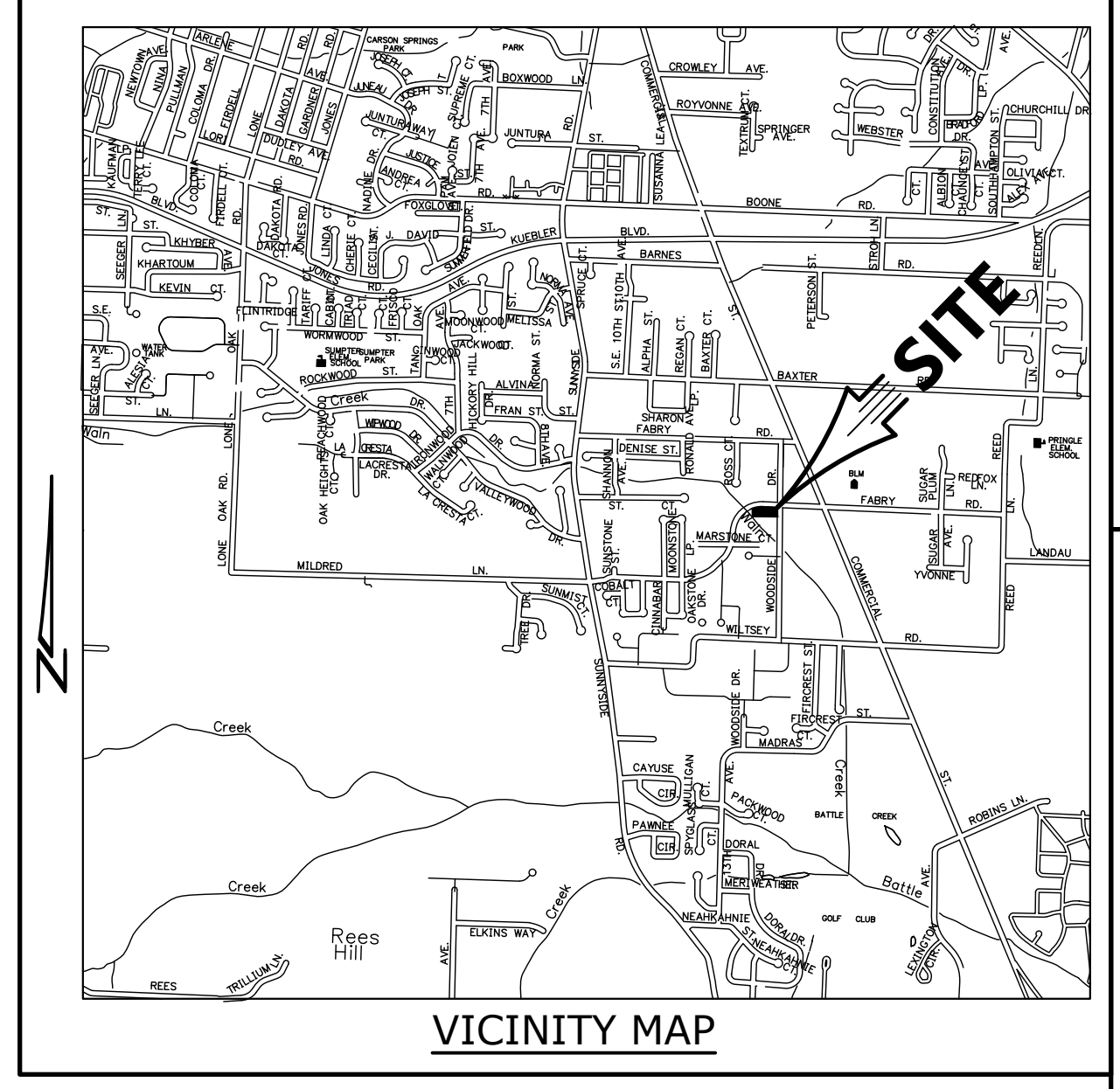
Owner / Developer:

JCT CONSTRUCTION GROUP LLC

201 FERRY ST SE
SALEM, OREGON 97301

WALN CREEK APARTMENTS

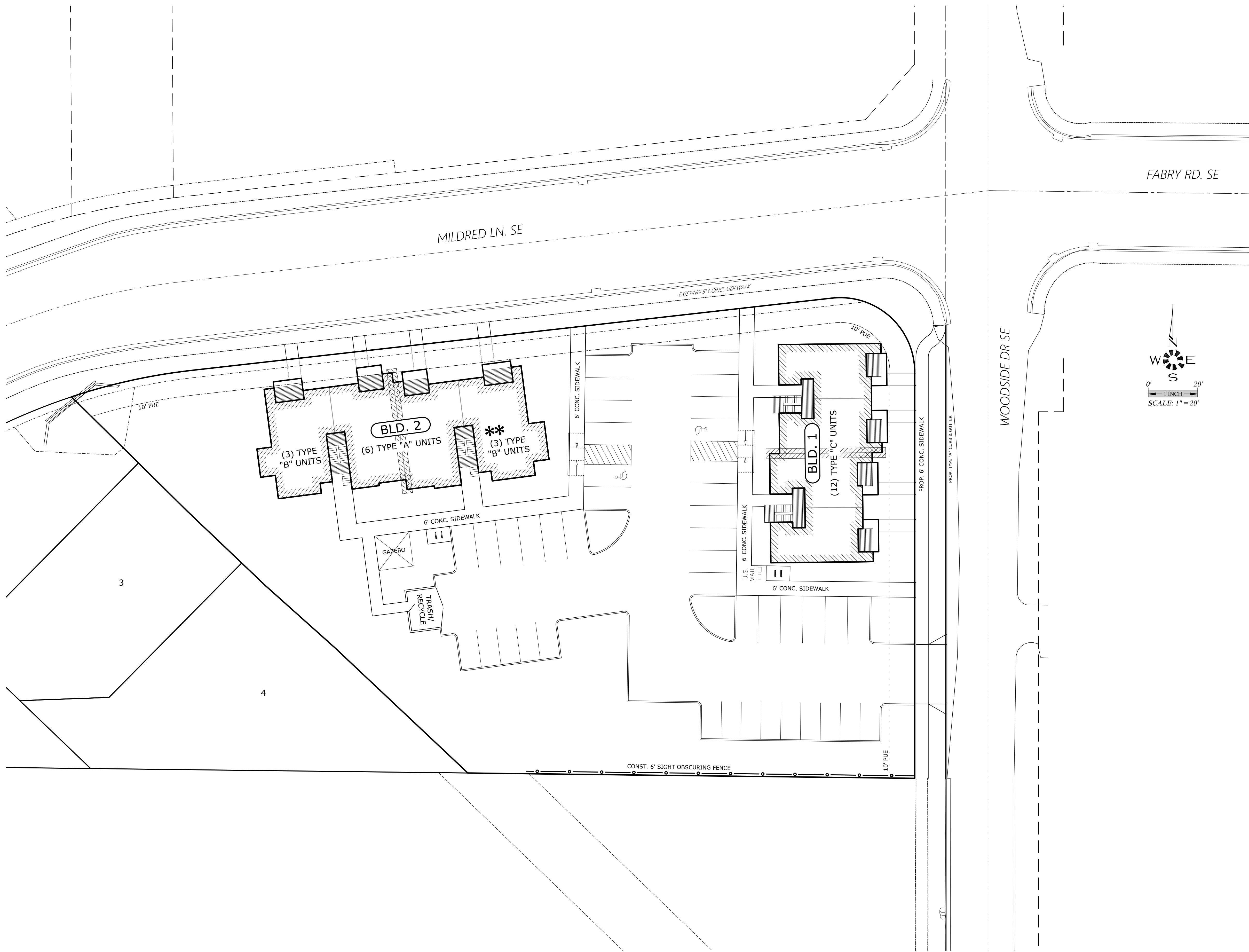
SEC. 14, T. 8 S., R. 3 W., W.M.
CITY OF SALEM
MARION COUNTY, OREGON



MULTI/TECH
ENGINEERING SERVICES, INC.
1155 131st St., S.E. Salem, OR 97302
PH: (503) 385-9927 FAX: (503) 384-1260
www.multiproject.com email: info@multiproject.com

COVER SHEET

SHEET INDEX	
SDR1	COVER SHEET
SDR2	EXISTING CONDITIONS PLAN
SDR3	SITE PLAN
SDR4	OPEN SPACE PLAN
SDR5	GRADING & DRAINAGE PLAN
SDR6	PRIVATE UTILITY PLAN

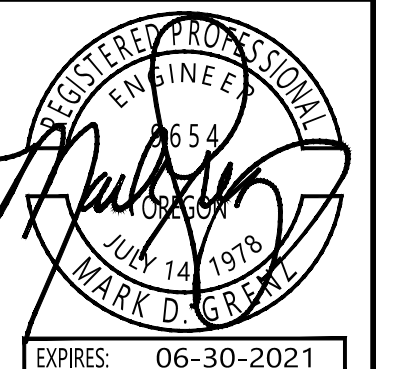


WALN CREEK APARTMENTS

NO CHANGES, MODIFICATIONS OR REPRODUCTIONS TO BE MADE TO THESE DRAWINGS WITHOUT WRITTEN AUTHORIZATION FROM THE DESIGN ENGINEER. DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

70269 - SDR1.CDW

Design: M.D.G.
 Drawn: T.N.S.
 Checked: M.D.G.
 Date: APRIL 2020
 Scale: AS SHOWN



EXPIRES: 06-30-2021
JOB # 7026

SDR1

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- 24 TOTAL APARTMENT UNITS
- 6 TYPE "A" 2-Bd, 2-Ba (963 S.F.) UNITS
- 6 TYPE "B" 2-Bd, 2-Ba (1,029 S.F.) UNITS
- 12 TYPE "C" 1-Bd, 1-Ba (728 S.F.) UNITS

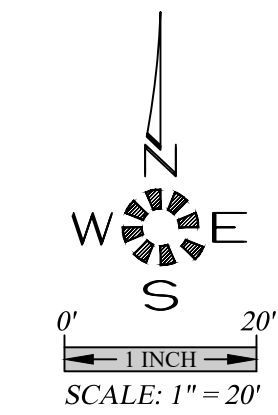
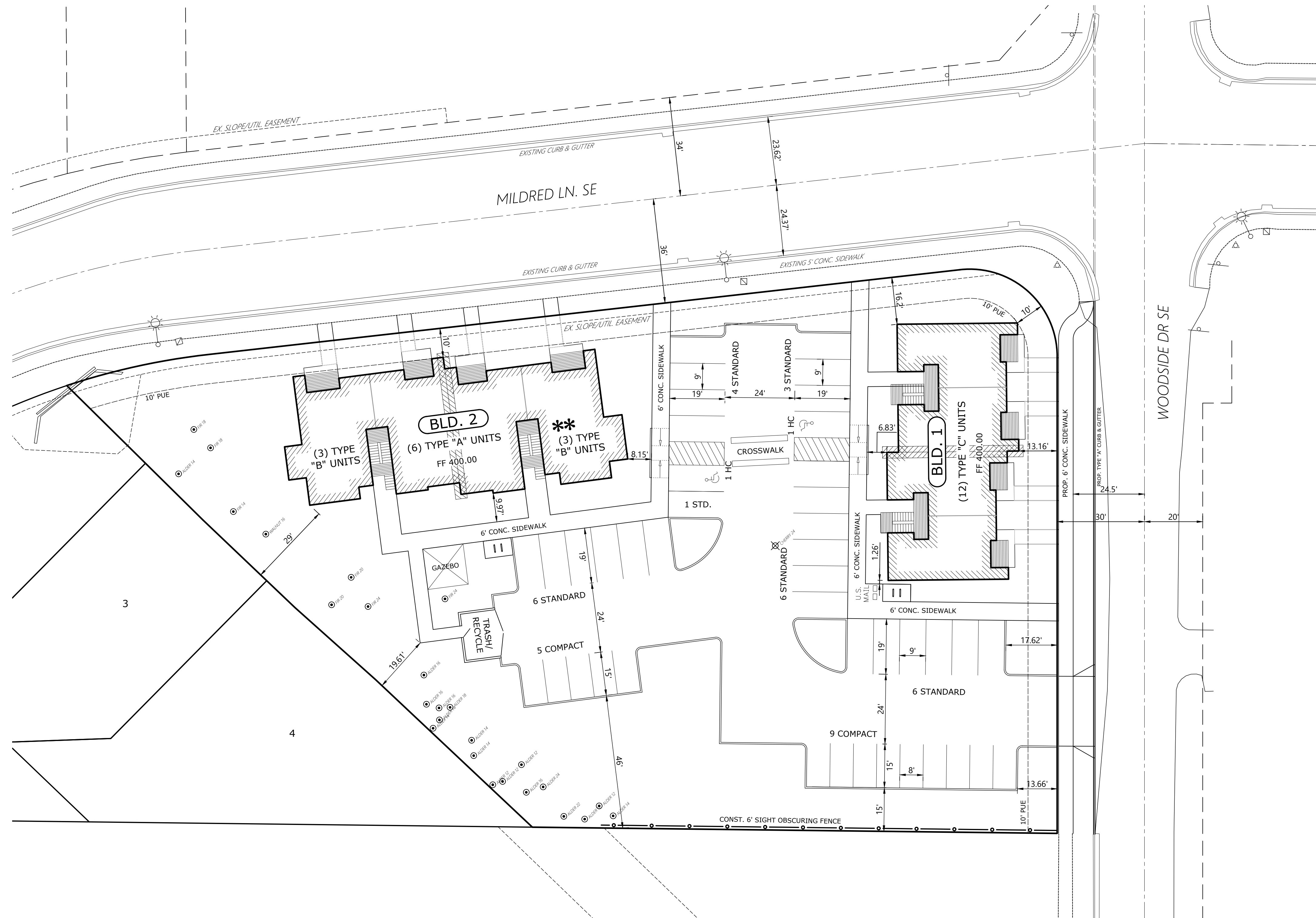
- 42 TOTAL PARKING STALLS
- 26 STANDARD STALLS
- 14 COMPACT STALLS
- 2 HANDICAP STALLS

- 1 TRASH / RECYCLE
- 1 U.S. MAIL BOX AREA
- 1 GAZEBO

--- LOCATION OF ELECTRICAL SEPARATION WALL

II - 4 BICYCLE SPACES

THE INDICATED LOWER FLOOR UNITS IN BUILDING 2 ARE TO BE TYPE A UNITS IN ACCORDANCE WITH THE 2014 OSSC SEC. 1107.6.2.1.1 (NOTED ON FLOOR PLANS). ALL OTHER LOWER FLOOR UNITS TO BE TYPE B UNITS IN ACCORDANCE WITH THE 2014 OSSC SEC. 1107.6.2.1.2



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SITE PLAN

WALN CREEK APARTMENTS

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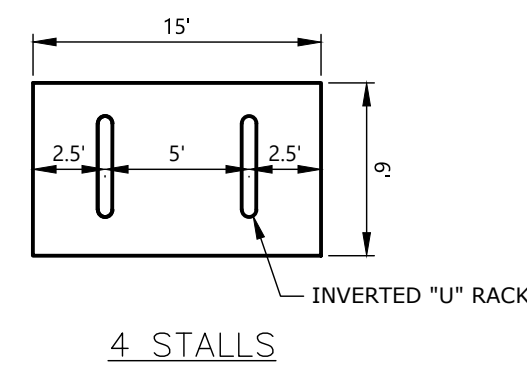
7026P - SDR3-SITE
Design: M.D.G.
Drawn: T.N.S.
Checked: M.D.G.
Date: APRIL 2020
Scale: AS SHOWN

REGISTERED PROFESSIONAL ENGINEER
9854
JUL 14 1978
WALKER D. GRAVELL

EXPIRES: 06-30-2021

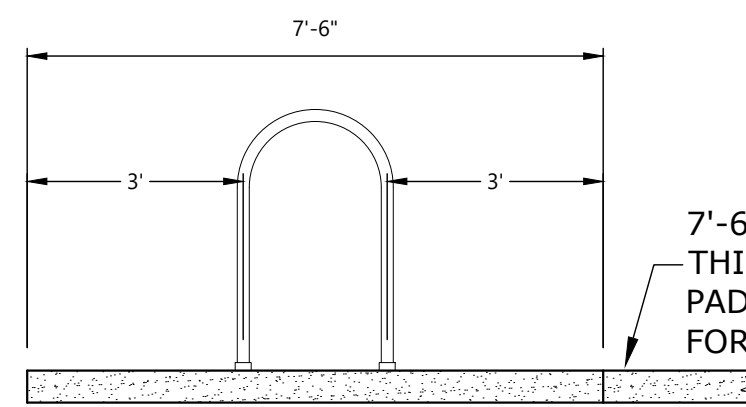
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SDR3



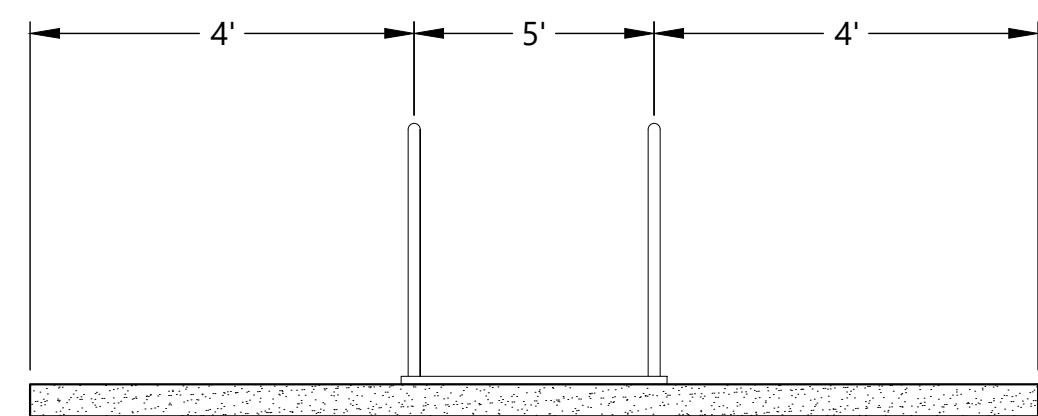
4 STALLS

TYPICAL BICYCLE RACKS
NTS

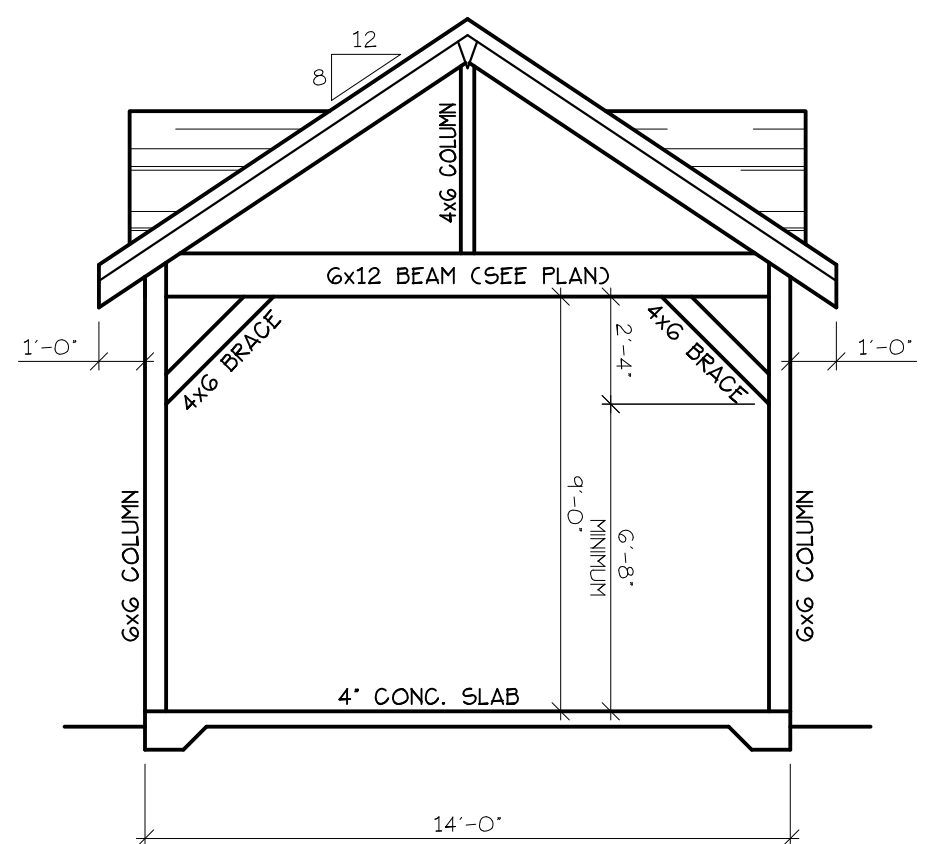


BIKE RACK SECTION
-NTS-

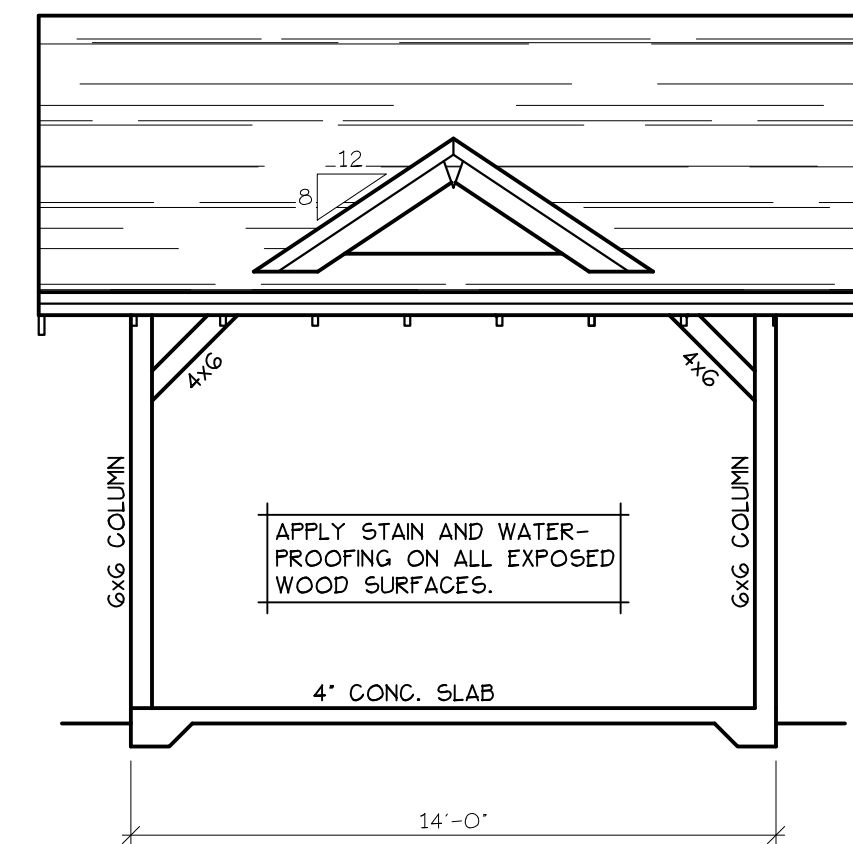
SEE SITE PLAN FOR NUMBER OF RACKS AND LENGTH.



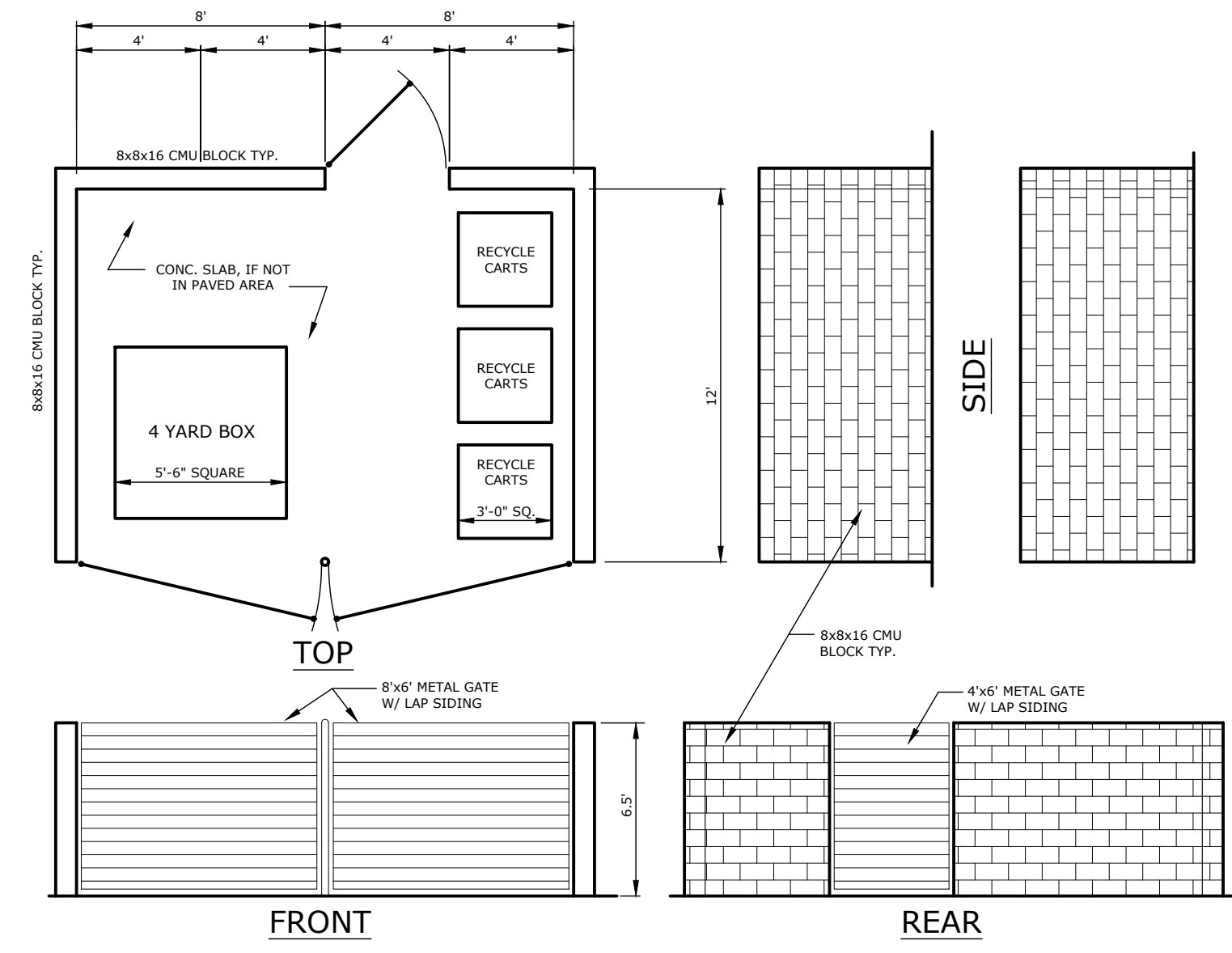
BIKE RACK SECTION
-NTS-



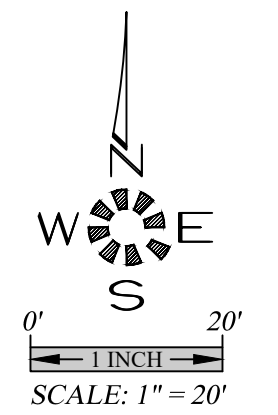
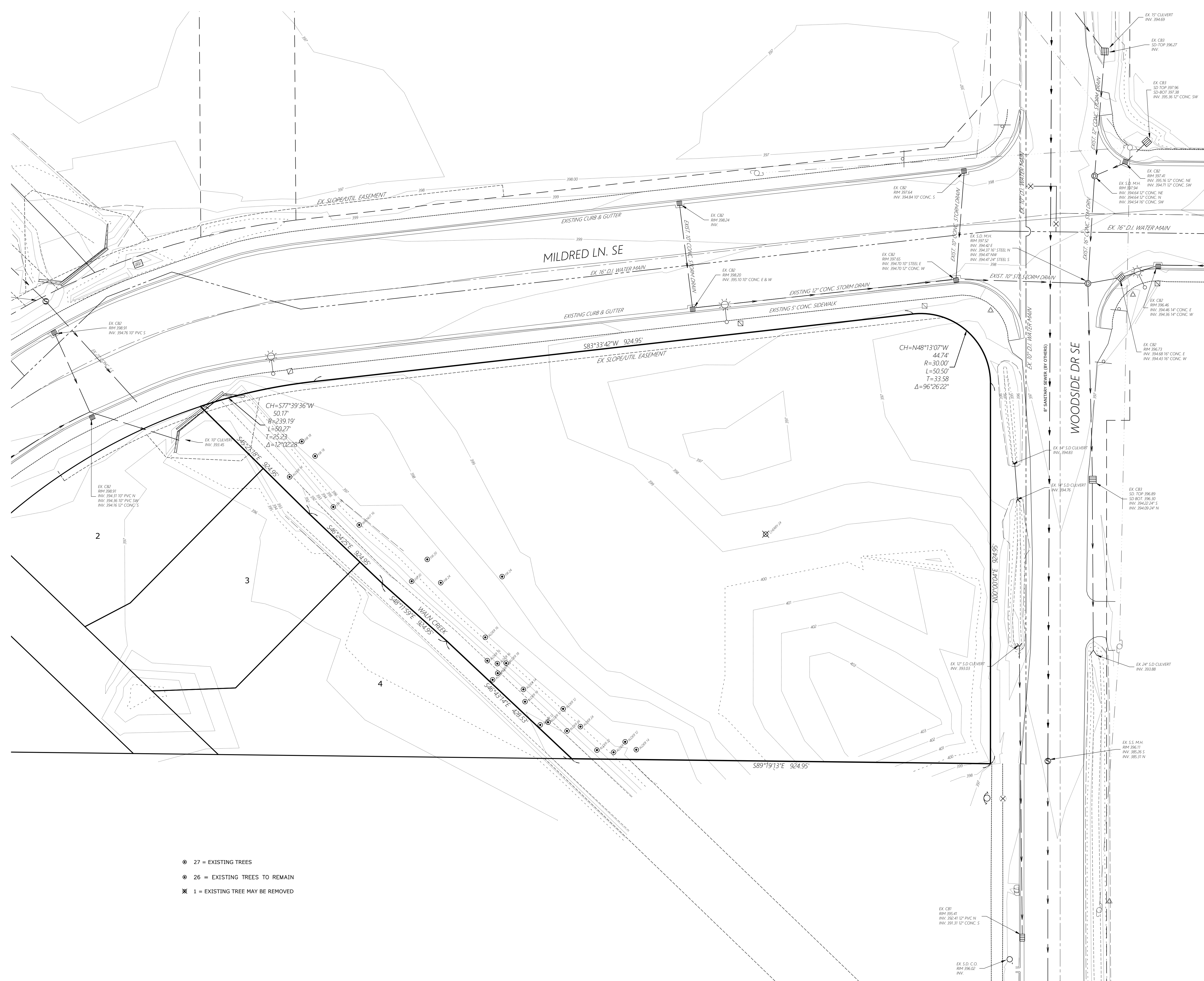
GAZEBO CENTER + END ELEVATION
SCALE: NTS



GAZEBO SIDE ELEVATION
SCALE: NTS



TRASH & RECYCLE ENCLOSURE
-NTS-



**EXISTING
 CONDITIONS
 PLAN**

WALN CREEK APARTMENTS

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 OR REPRODUCTIONS TO BE
 MADE TO THESE DRAWINGS
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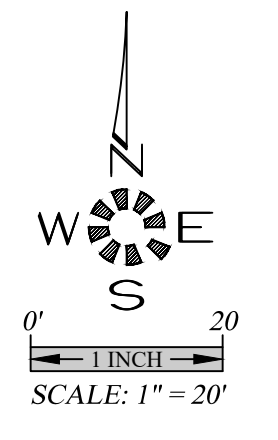
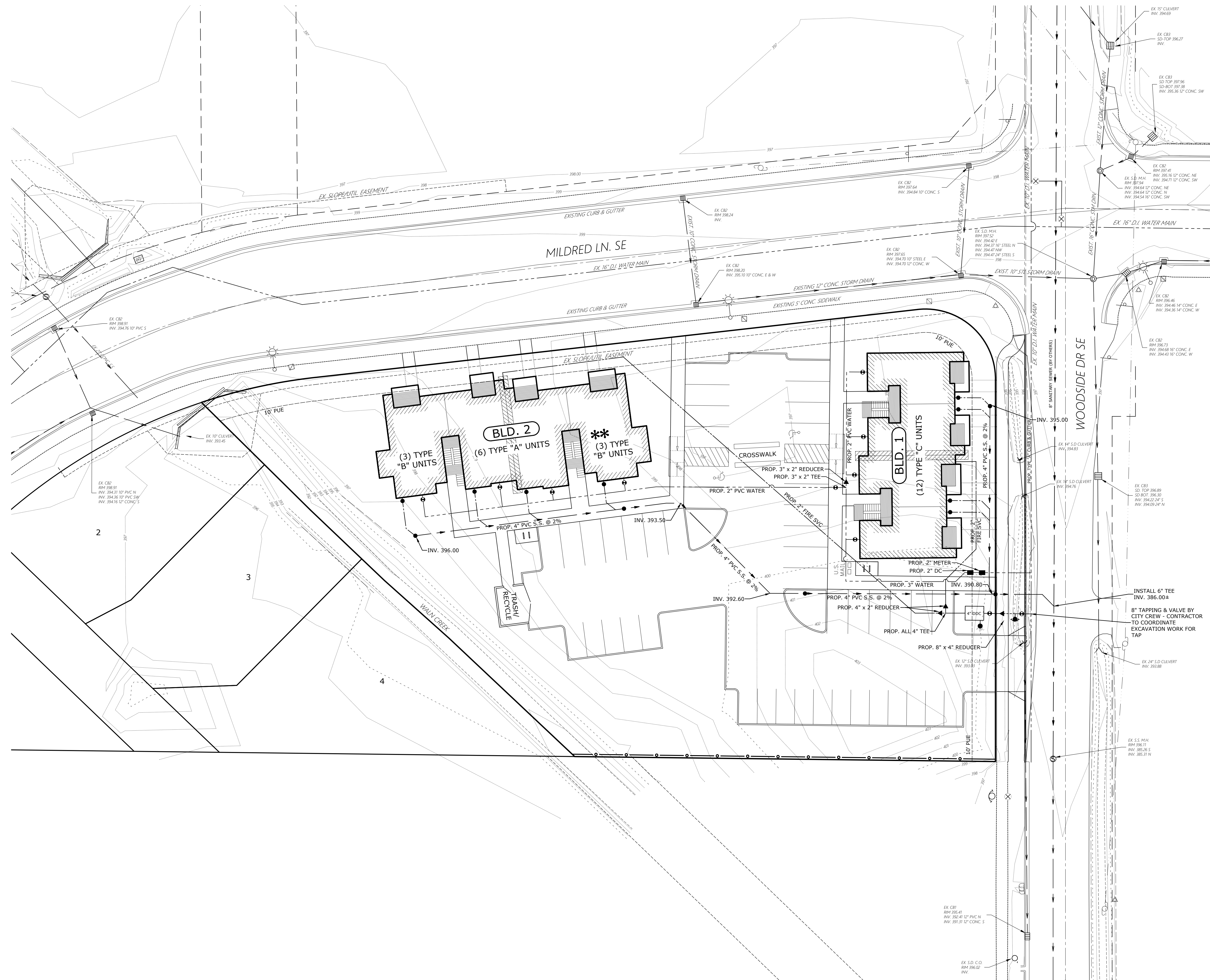


JOB # 7026

SDR2

- 27 = EXISTING TREES
- 26 = EXISTING TREES TO REMAIN
- ⊗ 1 = EXISTING TREE MAY BE REMOVED

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**PRIVATE
 UTILITY
 PLAN**

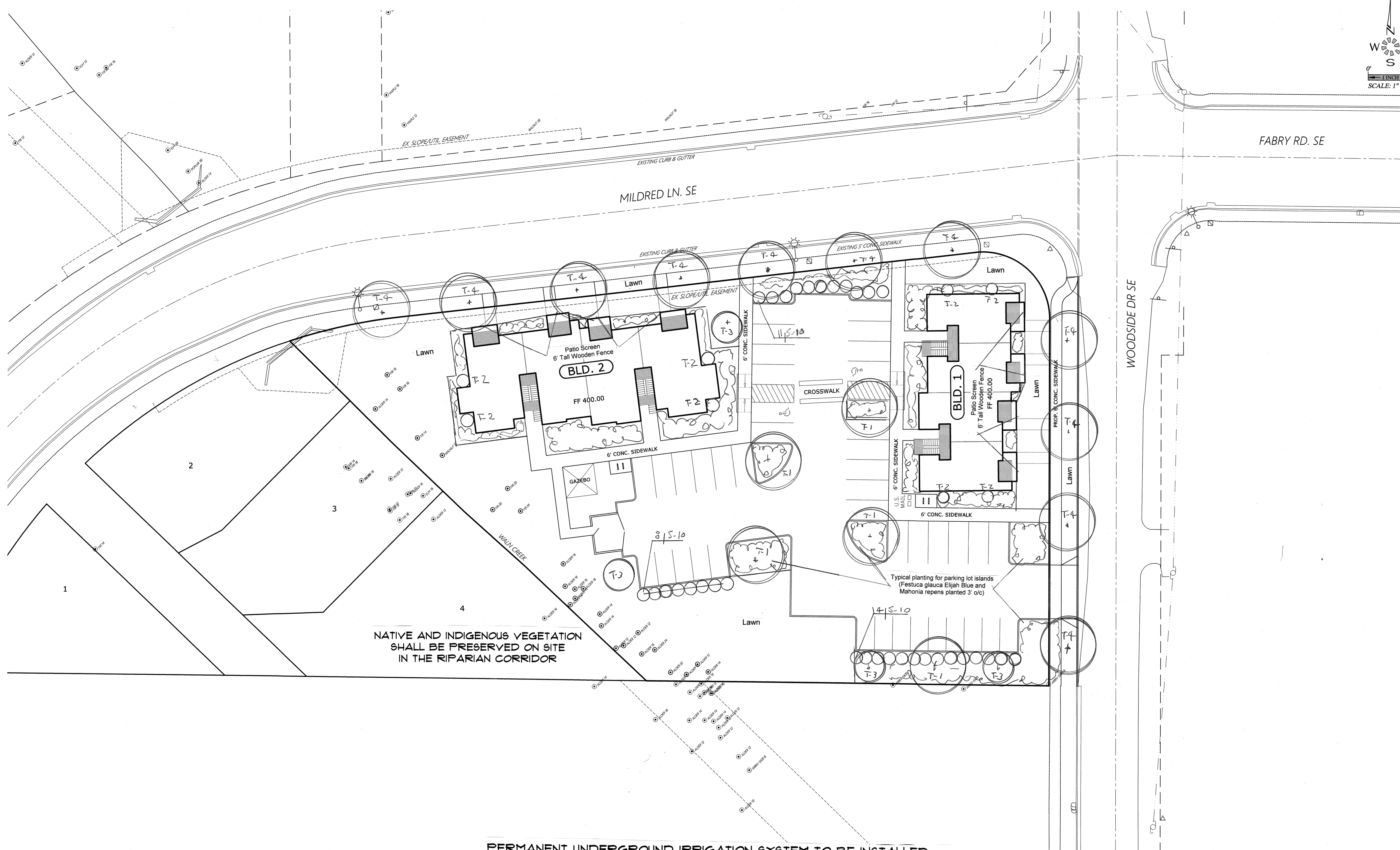
WALN CREEK APARTMENTS

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70269 - 5084-UTIL
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 Scale: AS SHOWN

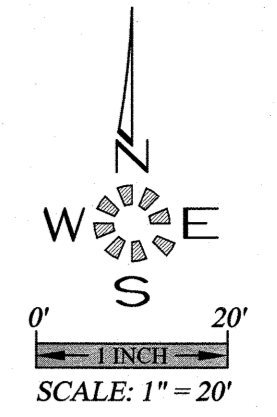


EXPIRES: 06-30-2021
 JOB # 7026



NATIVE AND INDIGENOUS VEGETATION SHALL BE PRESERVED ON SITE IN THE RIPARIAN CORRIDOR

PERMANENT UNDERGROUND IRRIGATION SYSTEM TO BE INSTALLED



SCHEMATIC LANDSCAPE PLAN

WALN CREEK APARTMENTS

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70269 L1.1
 Design: M.D.G.
 Drawn: T.N.S.
 Checked: M.D.G.
 Date: APRIL 2020
 Scale: AS SHOWN



LANDSCAPE & IRRIGATION DESIGN BY:
LANDSCAPE DESIGN & CONSULTANTS LLC
 Doing business since 1985
 620 WORMWOOD ST. S.E. SALEM, OR. 97306 PHONE: (503) 551-8590

JOB # 7026
L1.1

GENERAL LANDSCAPE NOTES:

- General:**
- All local, municipal, state, and federal laws regarding uses, regulations, governing or relating to any portion of the work depicted on these plans are hereby incorporated into and made part of these specifications and their provision shall be carried out by the Contractor. The Contractor shall at all times protect the public throughout the construction process.
 - The Contractor shall carefully correlate construction activities with earthwork contractor and other site development.
 - The Contractor shall verify drawing dimensions with actual field conditions and inspect related work and adjacent surfaces. Contractor shall verify the accuracy of all finish grades within the work area. The Contractor shall report to the Landscape Design & Consultants LLC (LDC) or Owner all conditions which prevent proper execution of this work.
 - The exact location of all existing utilities structures and underground utilities, which may not be indicated on the drawings, shall be determined by the Contractor. The Contractor shall protect existing structures and utility services and is responsible for their replacement if damaged.
 - The Contractor shall keep the premises free from rubbish and debris at all times and shall arrange material storage to not interfere with the operation of the project. All unused material, rubbish, and debris shall be removed from the site.
 - All plant material and planting supplies shall be warranted for a period of not less than one year from the completion date of installation. All replacement stock shall be subjected to the same warranty requirement as the original stock. Any damage due to replacement operations shall be repaired by the Contractor. At the end of the warranty period, inspections shall be made by LDC, Owner/General Contractor. All plant and lawn areas not in a healthy growing condition shall be removed and replaced with plants and turf cover of a like kind and size before the close of the next planting season.

Grading / Erosion Control:

- The design and placement of the building on the site lends itself to minimal slope conditions with positive drainage being maintained around the entire building. In this case standard landscaping procedures of topsoil, lawn, and a two inch layer of bark mulch on all planting beds will be sufficient to control erosion.
- Seed recommendation is Pro Time 700 Low Profile or approved equal over the jute netting at a rate of 2 lbs. per 1000 sq. feet. The address of Pro Time is 1712 SE Ankeny, Portland OR 97214. Phone 503-239-7518. There email is info@protimelawnseed.com
- The work limits shown on this plan shall clearly be marked in the field prior to construction. No disturbance beyond the work limits shall be permitted.
- Grading shall be preformed during optimal weather conditions.
- Erosion control measures shall be constructed in conjunction with all clearing and grading activities, and in such a manner as to ensure that sediment and sediment-laden water does not enter the drainage system or violate applicable water standards.
- Prior to the commencement of construction activities, Contractor shall place orange construction fencing around perimeters of construction impact areas, and sediment fencing at downhill portions of the site. Contractor is responsible for proper installation, maintenance, replacement, and upgrading of all erosion and sediment control measures, in accordance with local, state, and federal regulations.

Plant Material:

- Contractor shall verify all plant & tree quantities with LDC or Owner prior to construction.
- In the event of a discrepancy between plants materials listed on the drawings, the drawings shall govern the plant species and quantities required.
- Plant material shall be first quality stock and shall conform to the code of standards set forth in the current edition of the American Standards for Nursery Stock sponsored by the American Association of Nurserymen, Inc. (AAN)
- Species and variety as specified on the drawings and delivered to the site shall be certified true to their genus species and variety and as defined within the current edition International Code of Nomenclature for Cultivated Plants. Obtain freshly dug, healthy, vigorous plants nursery-grown under climatic conditions similar to those in the locality for the project for a minimum of two years. Plants shall have been lined out in rows, annually cultivated, sprayed, pruned, and fertilized in accordance with good horticultural practice. All container plants shall have been transplanted or root pruned at least once in the past three years. Balled-and burlapped (B&B) plants must come from soil which will hold a firm root ball. Heeled in plants and plants from cold storage are not acceptable.
- Planting stock shall be well-branched and well-formed, sound, vigorous, healthy, free from disease, sun-scaled, windburn, abrasion, and harmful insects or insect eggs, and shall have healthy, normal, unbroken root systems. Deciduous trees and shrubs shall be symmetrically developed, uniform habit of growth, with straight trunks or stems, and free from objectionable disfigurements. Evergreen trees and shrubs shall have well-developed symmetrical tops with typical spread of branches for each particular species or variety. Only vines and ground cover plants well-established shall be used. Plants budding into leaf or having soft growth shall be sprayed with an anti-desiccant at the nursery before digging.
- Contractor shall not make substitutions of plant materials. If required landscape material is not obtainable, submit proof of non-availability and proposal for use of equivalent material. When authorized, adjustments of contract amount (if any) will be made by change order.
- Plant sizes and grading shall conform to the latest edition of American Standard for Nursery Stock as sponsored by the American Association of Nurserymen Inc. (AAN)
- All vegetation shown on this plan shall be maintained in a healthy and vigorous growing condition throughout the duration of the proposed use. All vegetation not so maintained shall be replaced with new vegetation at the beginning of the next growing season.

Planting:

- Planting shall be installed between March 1st to April 30th or between October 1st to November 30th. If planting is installed outside these time frames, additional measures may be needed to ensure survival and shall be pre-approved by the owner.
- Plant material shall be transported to the site in a timely manner to minimize on-site storage. Where storage is required, all plants shall be kept moist and shaded.
- Plant stock shall be handled in a manner that will not break, scrape, or twist any portion of the plant. Protect plants at all times from conditions that can damage the plant (e.g., sun, wind, freezing conditions).
- Provide the following clearance for planting of trees where applicable:
Maintain 30 foot vision triangles at all intersections and corners
5 feet from all street/parking lot light standards
10 feet from fire hydrants
5 feet from all utility vaults, meter boxes, water meters, etc.
- No trees or shrubs shall be planted on existing or proposed utility lines.
- All shrub beds shall receive a minimum 2" layer of bark mulch evenly applied immediately after planting is completed. All plant beds shall drain away from buildings.
- Excavate plant pits for shrubs and trees as follows:
Container stock: width = 2 times the container diameter, depth = container depth.
Bare root stock: width = 2 times the widest diameter of the root, depth = of root system.
B & B: width = 2 times ball diameter, depth = ball depth.
- Scarify sides and bottom of plant pits to roughen surfaces.
- Place plants plumb in the pit. Backfill with native soil or top soil mixture to the original plant soil line, and tap solidly around the ball and roots. Water plants immediately after planting if soil is not saturated to the surface.

Lawn Areas / Hydro-Seeding/Sod:

- All lawn area shall be seeded unless otherwise directed by Owner to install Sod. Seed or Sod shall be procured through Kuenzi Turf Nursery. Seed or Sod shall be Rhizomatous Tall Fescue (RTF); Seed mix shall be applied at a rate of 10 lbs. per 1000 sq. feet. Contact Kuenzi Turf Nursery at (503)585-8337 or approved equal.
- All areas shown on the plan shall be seeded between March 1st, and May 1st, or between September 1st and October 15th.
- Scarify soil surface to a depth of 3 inches, to ensure adequate seed contact with soil.
- Prior to seeding, clearly delineate seeding limits using flags or non-toxic paint.
- Hydro-seed application rate shall be 60 lbs. per 100 gallons of hose work or 75 lbs. per 100 gallons of tower work
- If, at the end of one complete growing season, the planted and seeded area fail to exhibit well-established plant communities, or exhibit patchiness in the patterns of vegetative cover, supplemental seeding and planting shall occur.
- Seeding of slopes greater than 30% shall be done by Hydro Seeding using a seed mix of Pro Time 700 Low Profile or approved equal at a rate of 2 lbs. per 1000 sq. feet.

Top Soil Mixture:

- A 2" to 4" layer of garden care compost, mushroom compost or similar material sterilized at 105 degrees Fahrenheit shall be incorporated into the existing soil prior to planting and seeding/sod lawns.
Incorporate into existing soil prior to planting the following fertilizers at a rate specified per 1000 sq. ft. of planting area.
20 lbs. 10-6-4 50% Slow Release
30 lbs. 38-0-0 Nitroform
10 lbs. Iron Sulfate 21%
20 lbs. 0-18-0 Super Phosphate
25 lbs. Dolomite Lime
10 lbs. 13-0-11 Potassium Nitrate

Bark Mulch:

- All shrub beds shall receive a minimum 2" layer of fine hemlock or fir bark mulch evenly applied immediately after planting is completed. All plant beds shall drain away from buildings.

Bio Swales/Detention Ponds/Vegetated Swales/Rain Gardens:

- Bark Mulch shall not be applied to Bio Swales/Detention Ponds/ Vegetated Swales or Rain Gardens.

Weed Control Agent:

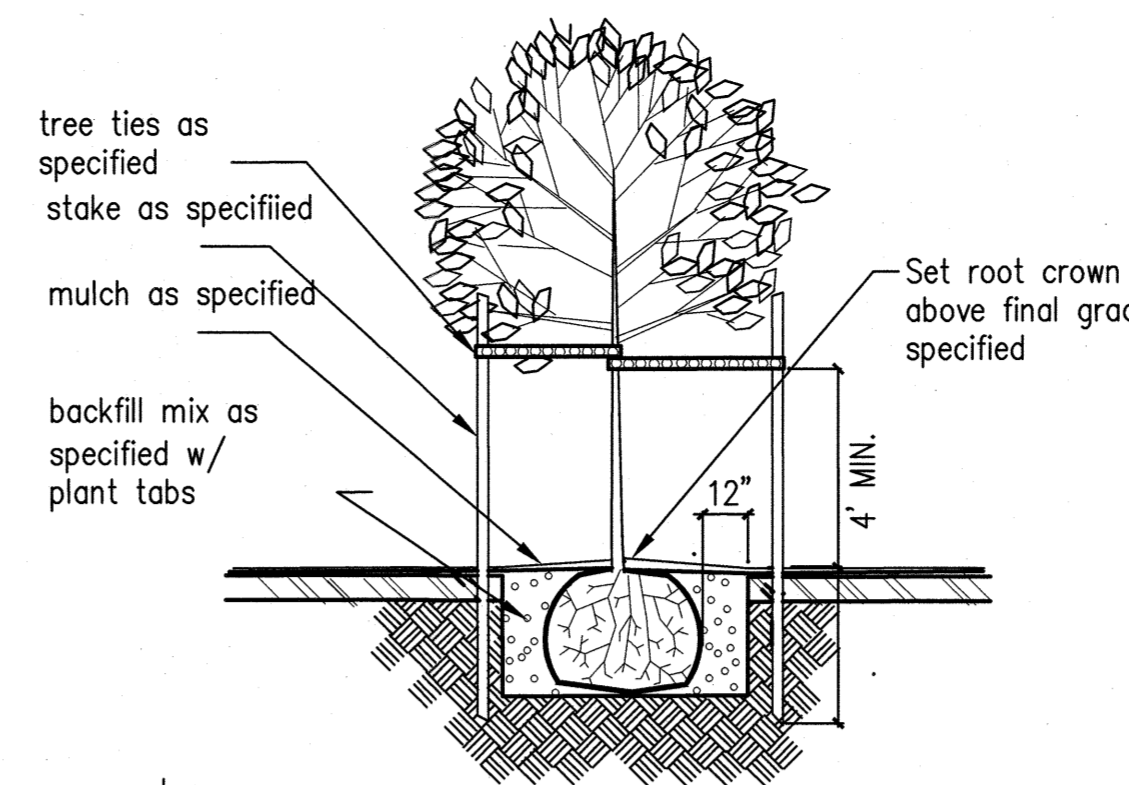
- Apply casoron as a weed control agent after planting as per manufactures specified recommendations around building or approved equal.

Non-Native Plant Species:

- All non-native, invasive plant species shall be removed from the site.

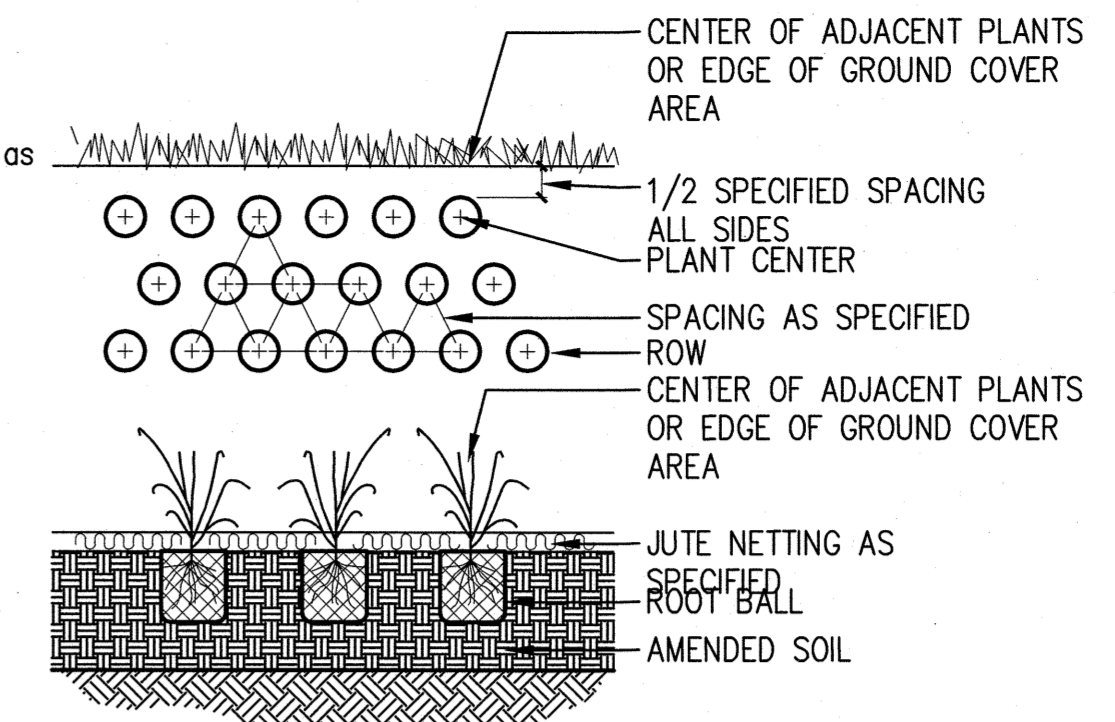
Poly Jute Netting:

- Tight net Poly Jute Netting shall be installed on Bio Swales/Detention Ponds/Vegetated Swale and Rain Gardens as a soil stabilizer and erosion control agent. Jute Netting shall be installed with anchoring pins as per manufactures recommendations prior to planting. Recommend DeWitt PJN4216 Erosion Control Poly Jute Netting and DeWitt anchor pins or approved equal.

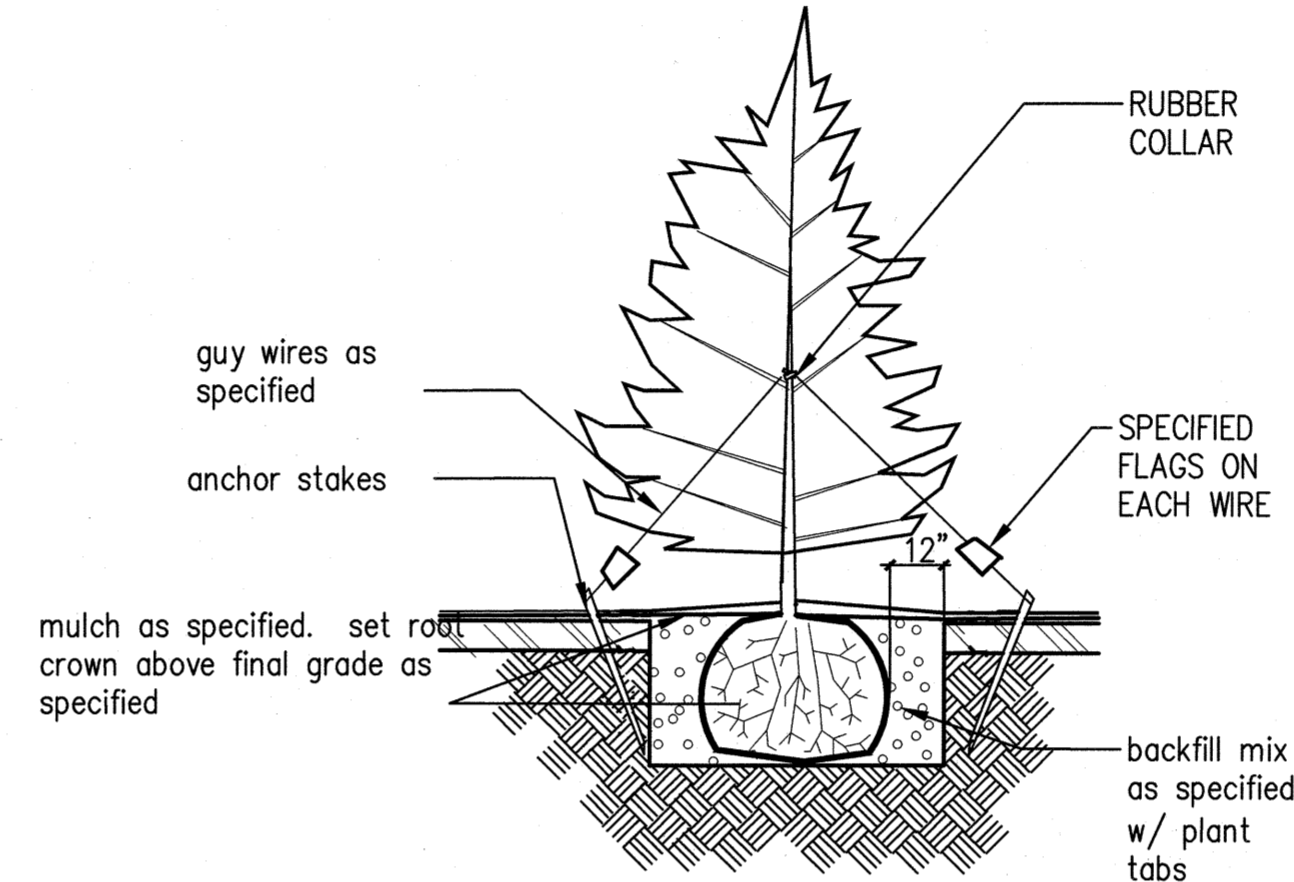


- notes:
1. cut and remove all bindings from the top and sides of the root ball prior to backfilling
2. remove stakes and ties one year after planting

DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

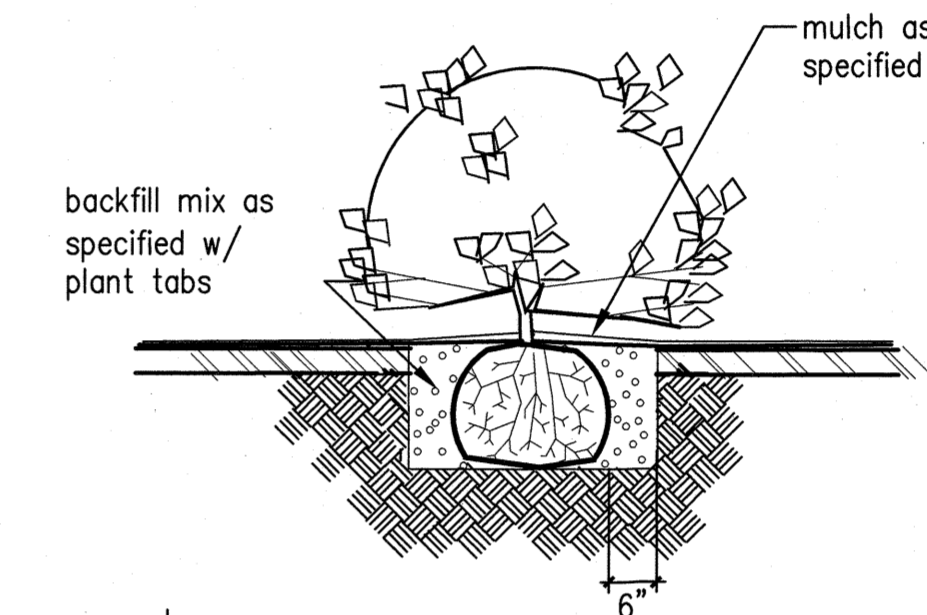


PLANTING plugs and 4" pots
NOT TO SCALE



- notes:
1. cut and remove all bindings from the top and sides of the root ball prior to backfilling
2. remove stakes and ties one year after planting

CONIFEROUS TREE PLANTING DETAIL
NOT TO SCALE



- notes:
1. cut and remove all bindings from the top and sides of the root ball prior to backfilling
2. remove stakes and ties one year after planting

shrub PLANTING DETAIL
NOT TO SCALE

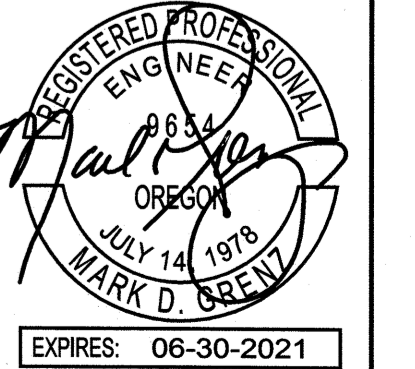
APARTMENTS PLANT PALETTE

QTY.	SYM	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	REMARKS
TREES						
5	T-1	Acer rubrum 'Armstrong'	Armstrong Red Maple	1 1/2"- 2" cal.	B & B	6' Standard
8	T-2	Juniperus Virginiana 'Skyrocket'	Skyrocket Juniper	4'-5' Tall	B & B	Full/Natural
4	T-3	Fagus sylvatica 'Dawycok Purple'	Columnar Dawycok Purple Leaf Beech	1 1/2"- 2" cal.	B & B	3' Standard
11	T-4	Ginkgo biloba 'Princeton Sentry'	Maidenhair Tree	1 1/2"- 2" cal.	B & B	6' Standard
SHRUBS						
S-1		Abelia grandiflora 'Ed Goucher'	Edward Goucher Abelia	2 gal.	cont.	Full
S-2		Cornus stolonifera 'Kelsey'	Kelsey Dwarf Redwig Dogwood	2 gal.	cont.	Full
S-3		Festuca glauca 'Elijah Blue'	Elijah Blue Festuca Grass	1 gal.	cont.	Planted 3' o/c
S-4		Daphne odora	Winter Daphne	2 gal.	cont.	Full
S-5		Euonymus japonica Golden	Golden Euonymus	2 gal.	cont.	Full
S-6		Ilex crenata 'sky pencil'	Sky Pencil Japanese Holly	3'-4'	cont.	Full
S-7		Mahonia aquifolium 'Compacta'	Compact Oregon Grape	2 gal.	cont.	Full
S-8		Mahonia repens	Creeping Mahonia	1 gal.	cont.	Planted 3' o/c
S-9		Nandina domestica 'Moon Bay'	Moon Bay Dwarf Nandina	2 gal.	cont.	Full
S-10		Ligustrum japonicum Texanum	Texas Wax-Leaf Privet	5 gal.	cont.	Full
S-11		Pennisetum alopecuroides Hameln	Dwarf Fountain Grass	2 gal.	cont.	Full
S-12		Pennisetum alopecuroides 'Chinese'	Chinese Fountain Grass	2 gal.	cont.	Full
S-13		Pennisetum setaceum rubrum	Purple Fountain Grass	2 gal.	cont.	Full
S-14		Pieris japonica 'Astrid' Compacta	Astrid Japanese Andromeda Compacta	5 gal	cont.	Full
S-16		Rhododendron 'PJM'	PJM Rhododendron	16"-24"	w/buds	Full
S-15		Spiraea japonica 'Double Pink'	Double Pink Spirea	2 gal.	cont.	Full
S-16		Viburnum davidii	Davidii Viburnum	2 gal.	cont.	Full

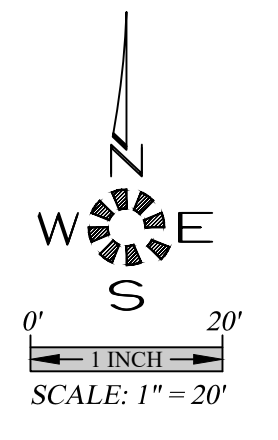
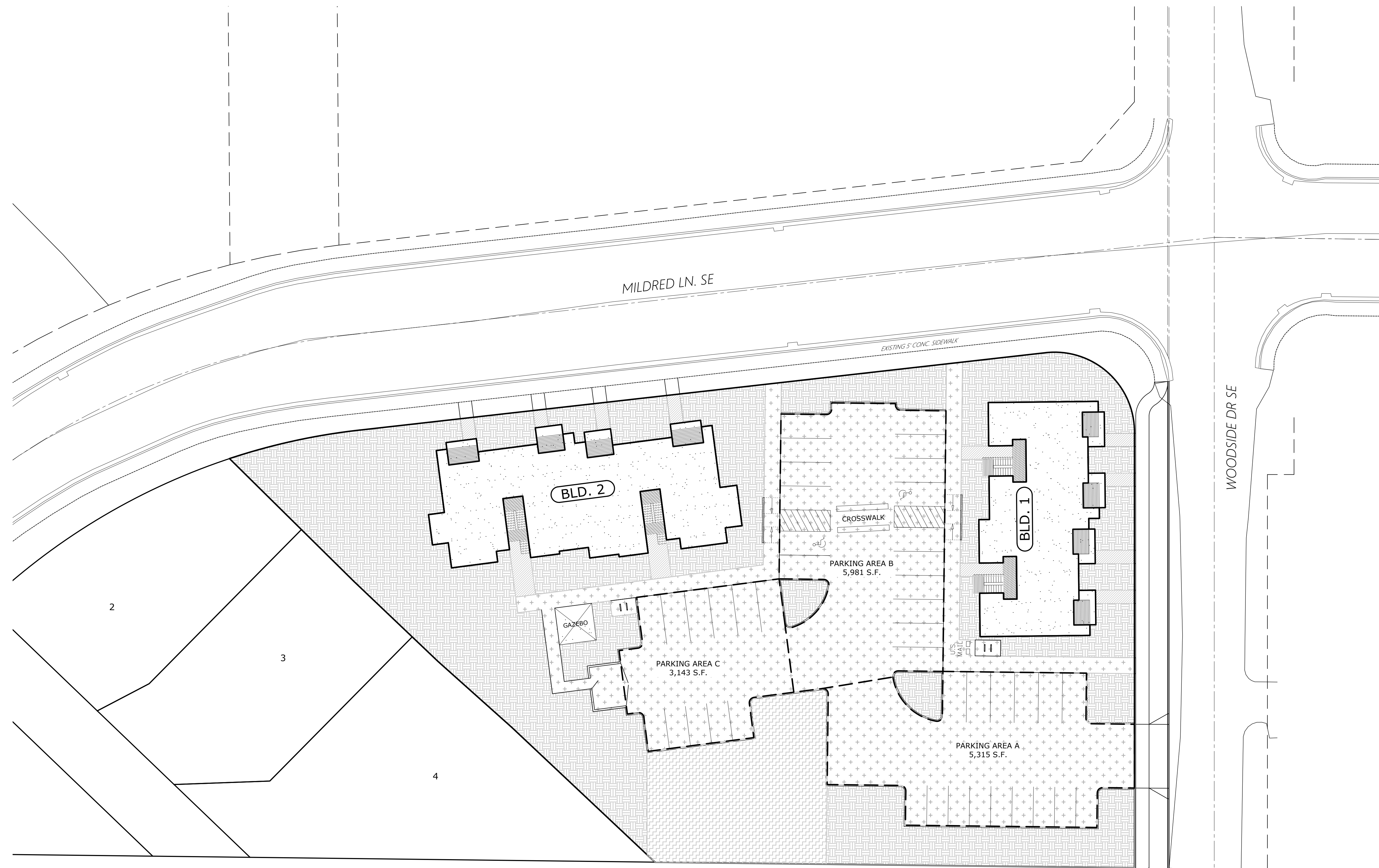
CONTRACTOR TO VERIFY ALL QUANTITIES OF PLANT MATERIALS WITH LANDSCAPE DESIGN & CONSULTANTS PRIOR TO INSALLATION
PLANT MATERIAL SUBSTITUTIONS MAY BE MADE BY THE OWNER FOR PLANT MATERIALS OF SIMILAR HABIT, FLOWERING CHARACTERISTIC AND/OR STRUCTURE OF GROWTH DUE TO AVAILABILITY, WATER, SOIL, AND SUN REQUIREMENTS.

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Drawn: T.N.S.
Checked: M.D.G.
Date: APRIL 2020
Scale: AS SHOWN



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LANDSCAPE DESIGN & CONSULTANTS LLC
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OPEN SPACE PLAN

WALN CREEK APARTMENTS

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SITE AREAS	
BOUNDARY	47,797 S.F. (1.10 AC)
PERVIOUS AREA:	
OPEN SPACE	
COMMON OPEN SPACE	16,889 S.F. (35%)
INTERIOR PARKING LOT LANDSCAPING	868 S.F. (2%)
PERVIOUS CONCRETE	16,702 S.F. (35%)
LANDSCAPE	3,566 S.F. (7%)
IMPERVIOUS AREA	
SIDEWALK	1,304 S.F. (3%)
BUILDINGS	7,907 S.F. (16%)

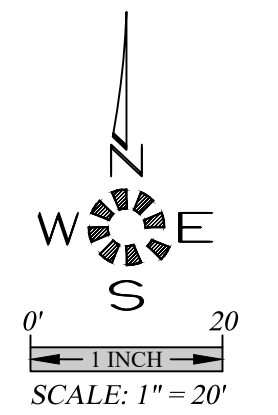
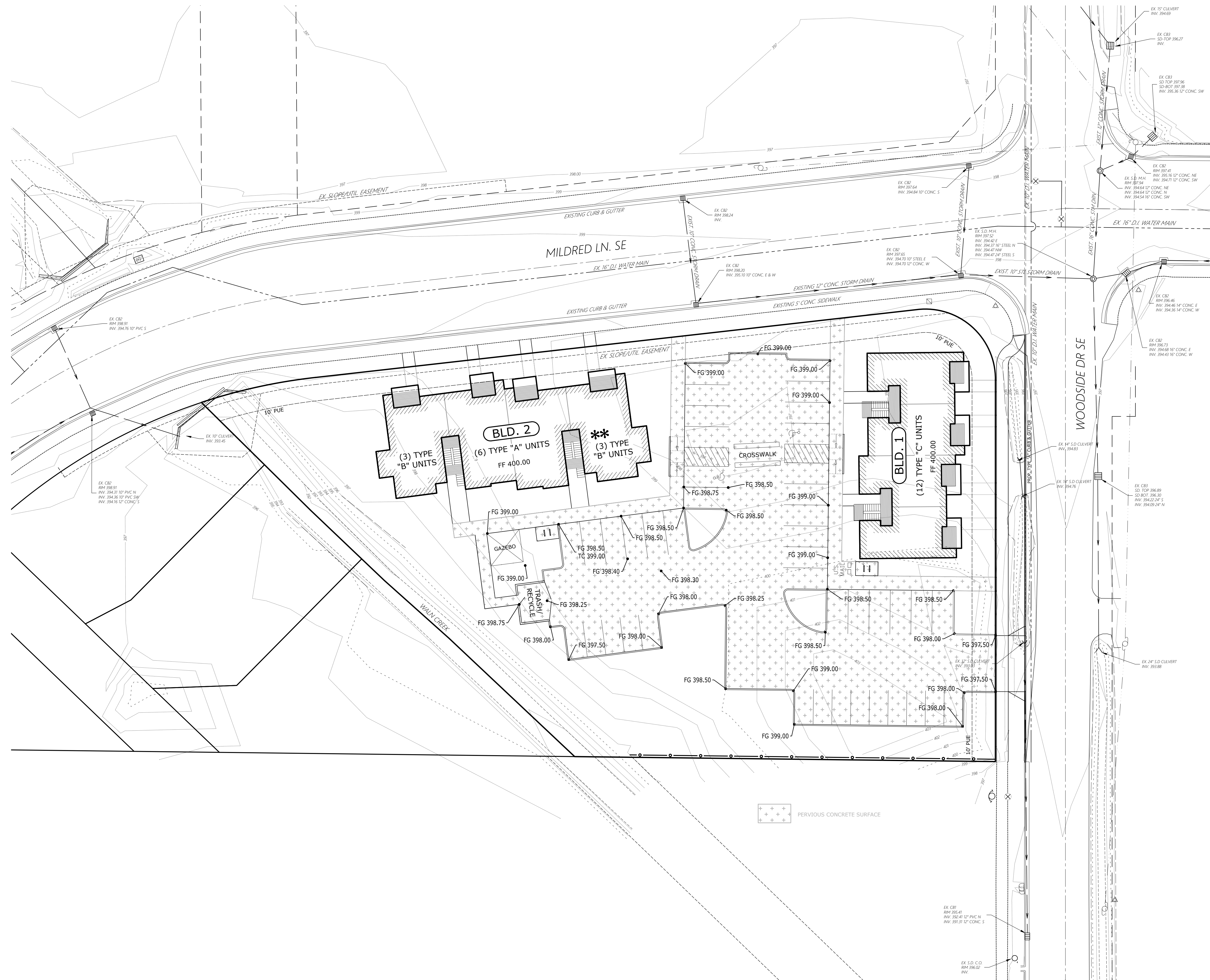
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EXPIRES: 06-30-2021
 JOB # 7026

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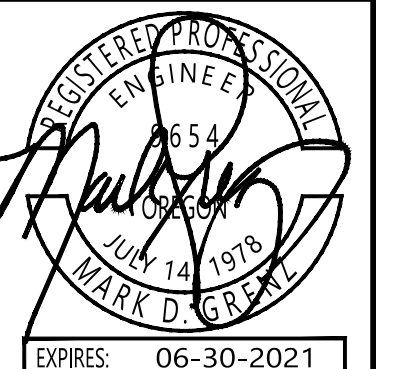
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GRADING & DRAINAGE PLAN

WALN CREEK APARTMENTS

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