



HEARING NOTICE

LAND USE REQUEST AFFECTING THIS AREA

Audiencia Pública

Si necesita ayuda para comprender esta informacion, por favor llame 503-588-6173

CASE NUMBER:	Class 3 Design Review / Class 3 Site Plan Review / Class 2 Adjustment Case No. DR-SPR-ADJ19-03
AMANDA APPLICATION NO:	19-107578-DR, 19-107580-RP, 19-107582-ZO
HEARING INFORMATION:	Salem Planning Commission, Tuesday, June 4, 2019, 5:30 PM, Council Chambers, Room 240, Civic Center, 555 Liberty Street SE, Salem, OR 97301
PROPERTY LOCATION:	700 to 800 Blocks of Commercial St NE & 253 to 275 Division St NE, Salem, OR 97301
OWNER(S):	Union Gospel Mission of Salem
APPLICANT / AGENT(S):	Dan Clem for Union Gospel Mission of Salem
REPRESENTATIVE(S):	Zach Pelz for AKS Engineering & Forestry, LLC
DESCRIPTION OF REQUEST:	<p>SUMMARY: A consolidated application for development of the Union Gospel Mission (UGM) of Salem's proposed new relocated men's shelter.</p> <p>REQUEST: A consolidated application for development of the Union Gospel Mission (UGM) of Salem's proposed new relocated men's shelter. The application includes the following:</p> <ol style="list-style-type: none">1) A Class 3 Design Review to determine the proposed development's conformance with the applicable design review guidelines of the Riverfront Overlay Zone;2) A Class 3 Site Plan review for the proposed development; and3) A Class 2 Adjustment to:<ol style="list-style-type: none">a) Reduce the minimum required off-street parking for the proposed non-profit shelter from a minimum of 167 spaces, as required under SRC 806.015(a), to 47 spaces;b) Allow a continuous 3-foot-tall hedge to be substituted for the minimum 3-foot-tall brick, stone, or finished concrete wall, required under SRC 806.035(c)(2)(D), to screen the proposed off-street parking area located between the existing retail store and the proposed new shelter from Commercial Street NE;c) Eliminate the minimum 5-foot setback, as required under 806.080(b)(2), between the proposed off-street loading space for the shelter and the abutting alley; andd) Eliminate the minimum 5-foot-wide landscape strip or paved pedestrian walkway, required under SRC 806.035(c)(4), between the proposed parking space and driveway and the southernmost portions of the existing retail store building. <p>The subject property totals approximately 2.57 acres in size, is zoned CB (Central Business District) and CO (Commercial Office) within the Riverfront Overlay Zone, and is located in the 700 to 800 blocks of Commercial Street NE and 253 to 275 Division Street NE (Marion County Assessor Map and Tax Lot Numbers: 073W22AC03300 and 073W22DB01600, 1700, 1800, 1900, 2000 & 2100).</p>

CRITERIA TO BE CONSIDERED:

CLASS 3 DESIGN REVIEW

Pursuant to SRC 225.005(e)(2), a *Class 3 Design Review* shall be approved if all of the applicable design review guidelines are met.

The design review guidelines for the Riverfront Overlay Zone are included under SRC 617.030.

CLASS 3 SITE PLAN REVIEW

Pursuant to SRC 220.005(f)(3), an application for a *Class 3 Site Plan Review* shall be granted if:

- (A) The application meets all applicable standards of the UDC;
- (B) The transportation system provides for the safe, orderly, and efficient circulation of traffic into and out of the proposed development, and negative impacts to the transportation system are mitigated adequately;
- (C) Parking areas and driveways are designed to facilitate safe and efficient movement of vehicles, bicycles, and pedestrians; and
- (D) The proposed development will be adequately served with City water, sewer, stormwater facilities, and other utilities appropriate to the nature of the development.

CLASS 2 ZONING ADJUSTMENT

Pursuant to SRC 250.005(d)(2), an application for a *Class 2 Adjustment* shall be granted if all of the following criteria are met:

- (A) The purpose underlying the specific development standard proposed for adjustment is:
 - (i) Clearly inapplicable to the proposed development; or
 - (ii) Equally or better met by the proposed development.
- (B) If located within a residential zone, the proposed development will not detract from the livability or appearance of the residential area.
- (C) If more than one adjustment has been requested, the cumulative effect of all the adjustments result in a project which is still consistent with the overall purpose of the zone.

HOW TO PROVIDE TESTIMONY:

Any person wishing to speak either for or against the proposed request may do so in person or by representative at the Public Hearing. Written comments may also be submitted at the Public Hearing. Include case number with the written comments. Prior to the Public Hearing, written comments may be filed with the Salem Planning Division, Community Development Department, 555 Liberty Street SE, Room 305, Salem, Oregon 97301. Only those participating at the hearing, in person or by submission of written testimony, have the right to appeal the decision.

HEARING PROCEDURE:

The hearing will be conducted with the staff presentation first, followed by the applicant's case, neighborhood organization comments, testimony of persons in favor or opposition, and rebuttal by the applicant, if necessary. The applicant has the burden of proof to show that the approval criteria can be satisfied by the facts. Opponents may rebut the applicant's testimony by showing alternative facts or by showing that the evidence submitted does not satisfy the approval criteria. Any participant may request an opportunity to present additional evidence or testimony regarding the application. A ruling will then be made to either continue the Public Hearing to another date or leave the record open to receive additional written testimony.

Failure to raise an issue in person or by letter prior to the close of the Public Hearing with sufficient specificity to provide the opportunity to respond to the issue, precludes appeal to the Land Use Board of Appeals (LUBA) on this issue. A similar failure to raise constitutional issues relating to proposed conditions of

approval precludes an action for damages in circuit court.

Following the close of the Public Hearing a decision will be issued and mailed to the applicant, property owner, affected neighborhood association, anyone who participated in the hearing, either in person or in writing, and anyone who requested to receive notice of the decision.

CASE MANAGER:

Bryce Bishop, Planner II, City of Salem Planning Division, 555 Liberty Street SE, Room 305, Salem, Oregon 97301. Telephone: 503-540-2399; E-mail: bbishop@cityofsalem.net.

NEIGHBORHOOD ORGANIZATION:

Central Area Neighborhood Development Organization (CAN-DO), Bruce Hoffman, Land Use Chair; Phone: (503) 781-8542; Email: bruhof@gmail.com.

DOCUMENTATION AND STAFF REPORT:

Copies of the application, all documents and evidence submitted by the applicant are available for inspection at no cost at the Planning Division office, City Hall, 555 Liberty Street SE, Room 305, during regular business hours. Copies can be obtained at a reasonable cost. The Staff Report will be available seven (7) days prior to the hearing, and will thereafter be posted on the Community Development website:

<https://www.cityofsalem.net/Pages/planning-notices-decisions.aspx>

ACCESS:

The Americans with Disabilities Act (ADA) accommodations will be provided on request.

NOTICE MAILING DATE:

May 15, 2019

PLEASE PROMPTLY FORWARD A COPY OF THIS NOTICE TO ANY OTHER OWNER, TENANT OR LESSEE.

For more information about Planning in Salem:

<http://www.cityofsalem.net/planning>

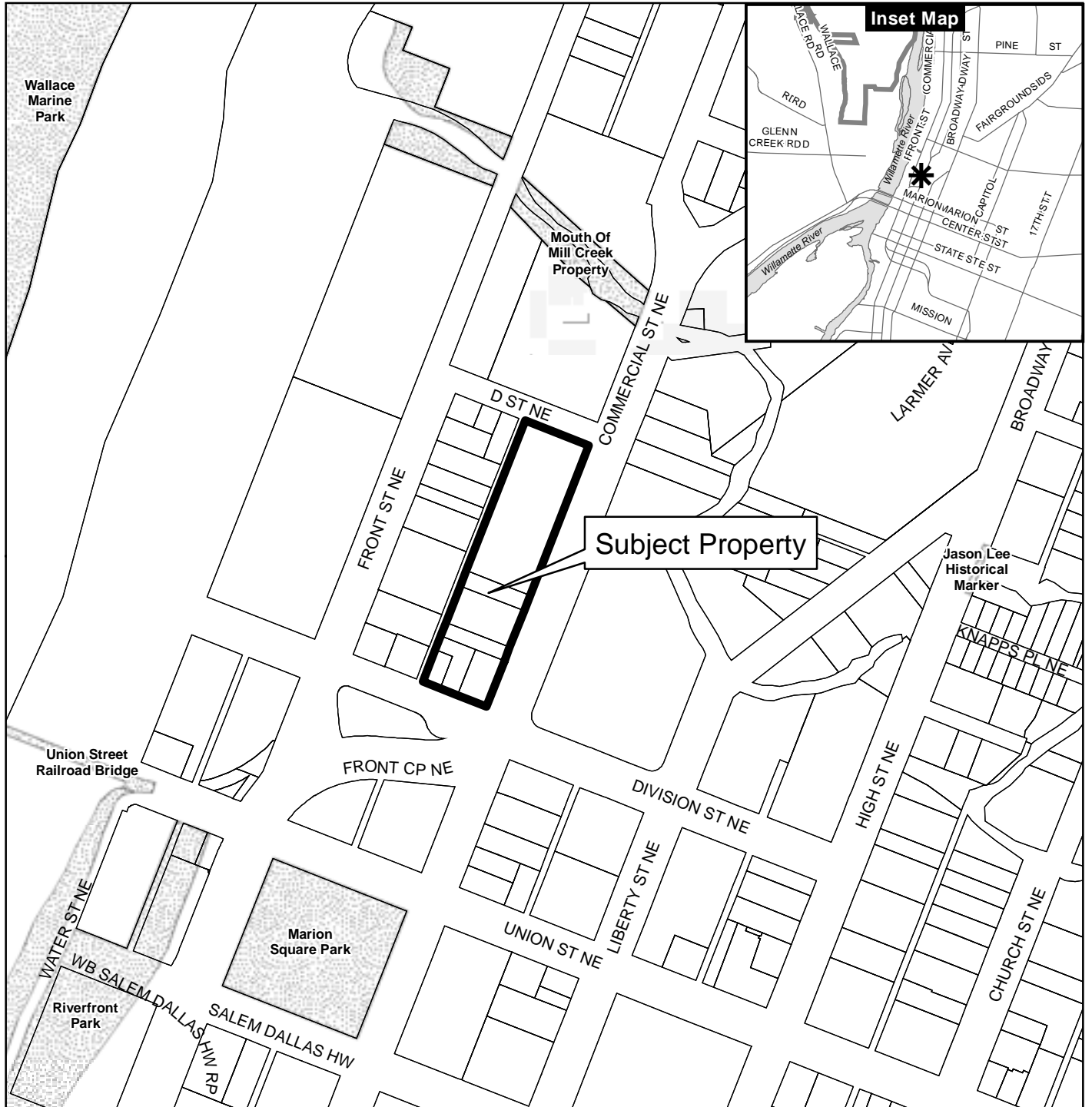
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TTD/TTY telephone 503-588-6439 is also available 24/7

Vicinity Map

700 to 800 Blocks of Commercial Street NE; 253 to 275 Division Street NE



Legend

- Taxlots
- Urban Growth Boundary
- City Limits
- Outside Salem City Limits
- Historic District
- Schools
- Parks



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consultant



Union Gospel Mission
 of Salem

Men's Recovery
 and
 Services Center

715 Commercial St. NE
 Salem, OR 97301

site plan / design review

drawing title

PRELIMINARY
 SITE PLAN

drawn by
 checked by

5/1/19 DESIGN REVIEW REVISIONS
 3/18/19 DESIGN REVIEW
 issued date description

SUMMARY TABLE

ZONE:	CB (89.8% OF SITE AREA - 94,045sf) CO (10.2% OF SITE AREA - 10,721sf)
TOTAL SITE AREA:	104,766 SF
GROSS FLOOR AREA:	TOTAL: 58,282 SF SHELTER USE: 51,285 SF OFFICE USE: 6,997 SF
BUILDING HEIGHT:	52'-0"
PARKING:	FULL SIZE 50 SPACES COMPACT 59 SPACES ACCESSIBLE 5 (FULL SIZE) SPACES TOTAL 114 SPACES
LOT COVERAGE:	BUILDINGS 40,492 SF (38.7%) PARKING 38,360 SF (36.6%) SIDEWALKS 13,707 SF (13.1%) TOTAL 92,559 SF (88.4%)

PROPOSED ADJUSTMENTS

1. MINIMUM PARKING REQUIREMENT FOR SHELTER BUILDINGS.
2. A CONTINUOUS 36" TALL HEDGE IN LIEU OF A 36" TALL DECORATIVE SCREENING WALL AT THE 6' PARKING SETBACK FROM COMMERCIAL ST.
3. N.E. REMOVE THE 5' LANDSCAPE BUFFER TO ALLEY FOR LOADING SPACE.
4. MINIMUM SETBACK BETWEEN VEHICLE USE AREAS AND BUILDINGS

PARKING NOTES

REQUIRED PARKING

USE	AREA	SF/SPACE	REQ. SPACES
SHELTER BUILDING			
SHELTER USE	58,282 SF	1/350 SF*	167 SPACES*
EXISTING RETAIL STORE BUILDING			
RETAIL USE	15,403 SF	1/250 SF	62 SPACES
EXISTING OFFICE BUILDING			
OFFICE USE	1722 SF	1/350 SF	5 SPACES
TOTAL			234 SPACES*

* APPLICANT IS PURSUING AN ADJUSTMENT PER CHAPTER 250 TO THE REQUIRED PARKING LOAD FOR THE SHELTER USE. PLEASE REFER TO THE INCLUDED NARRATIVE FOR DETAILED FINDINGS.

ADJUSTED REQUIRED PARKING

USE	AREA	SF/SPACE	REQ. SPACES
SHELTER			
SHELTER USE	58,282 SF		47 SPACES**
EXISTING RETAIL STORE BUILDING			
RETAIL USE	15,403 SF	1/250 SF	62 SPACES
EXISTING OFFICE BUILDING			
OFFICE USE	1722 SF	1/350 SF	5 SPACES
TOTAL			114 SPACES**

**ADJUSTED REQUIREMENT

PROPOSED PARKING

USE	AREA	SPACES	REQ. SPACES	PROPOSED
SHELTER	58,282 SF	1/3500 SF**	15 SPACES	
OFFICE	1722 SF	4 min.	4 SPACES	
TOTAL			19 SPACES	24 SPACES*

BICYCLE PARKING

USE	AREA	SPACES	REQ. SPACES	PROPOSED
SHELTER	58,282 SF	1/3500 SF**	15 SPACES	
OFFICE	1722 SF	4 min.	4 SPACES	
TOTAL			19 SPACES	24 SPACES*

**FOR THE FIRST 50,000 SF, 1/7000 SF THEREAFTER, ROUNDED TO NEAREST WHOLE NUMBER.

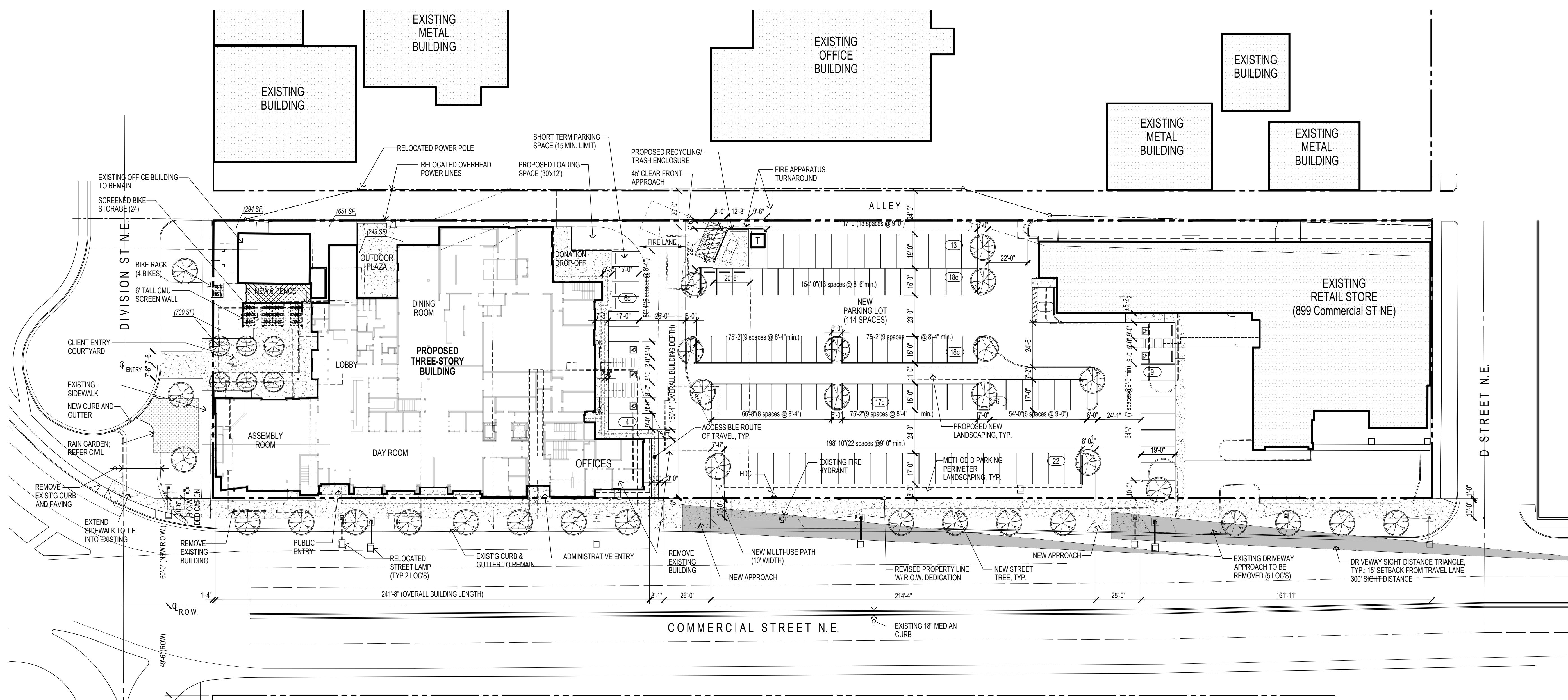
LANDSCAPING NOTES

PROPOSED TOTAL LANDSCAPING AREA:	12,207 SF
TOTAL SITE AREA*:	104,766 SF
PERCENTAGE OF SITE AREA LANDSCAPED:	11.7 %
SITE AREA ZONED CO:	10,721 SF
CO ZONE LANDSCAPING REQUIRED (15%):	1608 SF
CO ZONE LANDSCAPING PROPOSED:	1904 SF

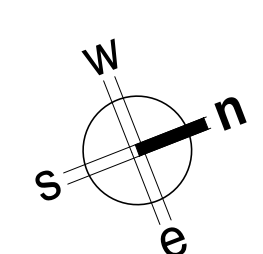
*EXCLUDES 10'-6" RIGHT-OF WAY DEDICATION.

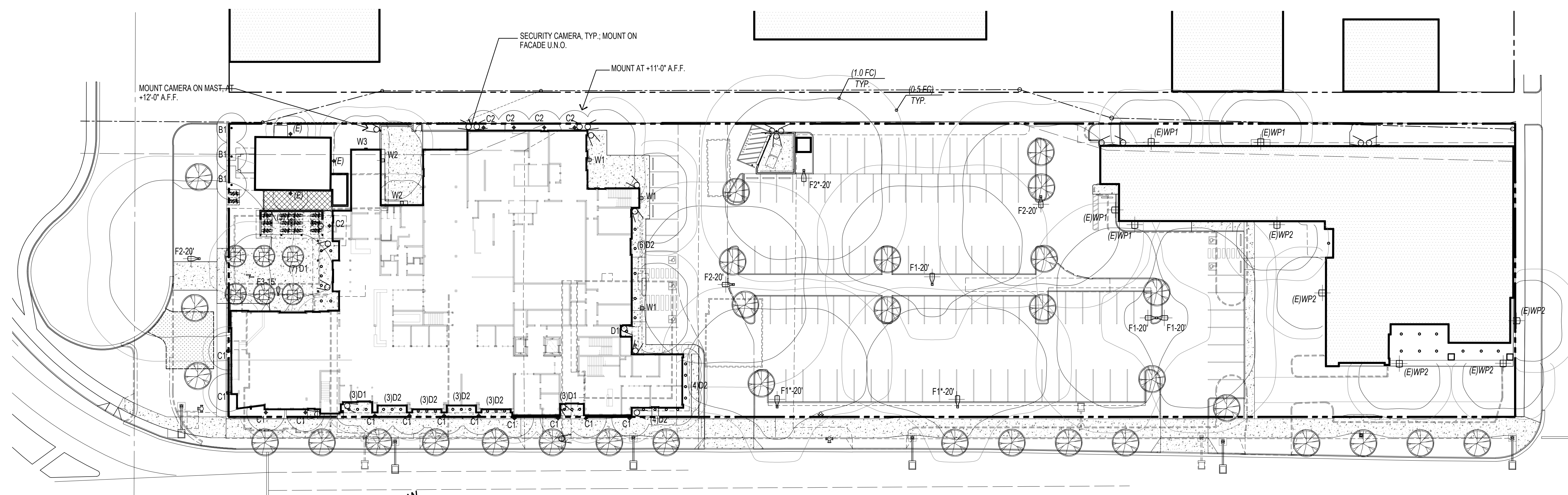
PARKING LOT LANDSCAPING NOTES

OFF STREET PARKING AREA:	41,897 SF
INTERIOR LANDSCAPING REQUIRED (5% MIN):	2095 SF
INTERIOR PARKING LANDSCAPING PROPOSED:	3674 SF
REQUIRED INTERIOR TREES (1/12 STALLS):	10 Trees
PROPOSED INTERIOR TREES:	13 Trees



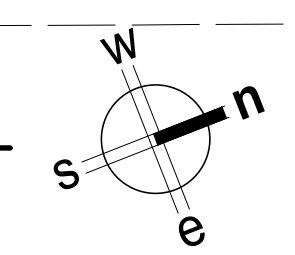
PRELIMINARY SITE PLAN
 SCALE: 1" = 30'-0"





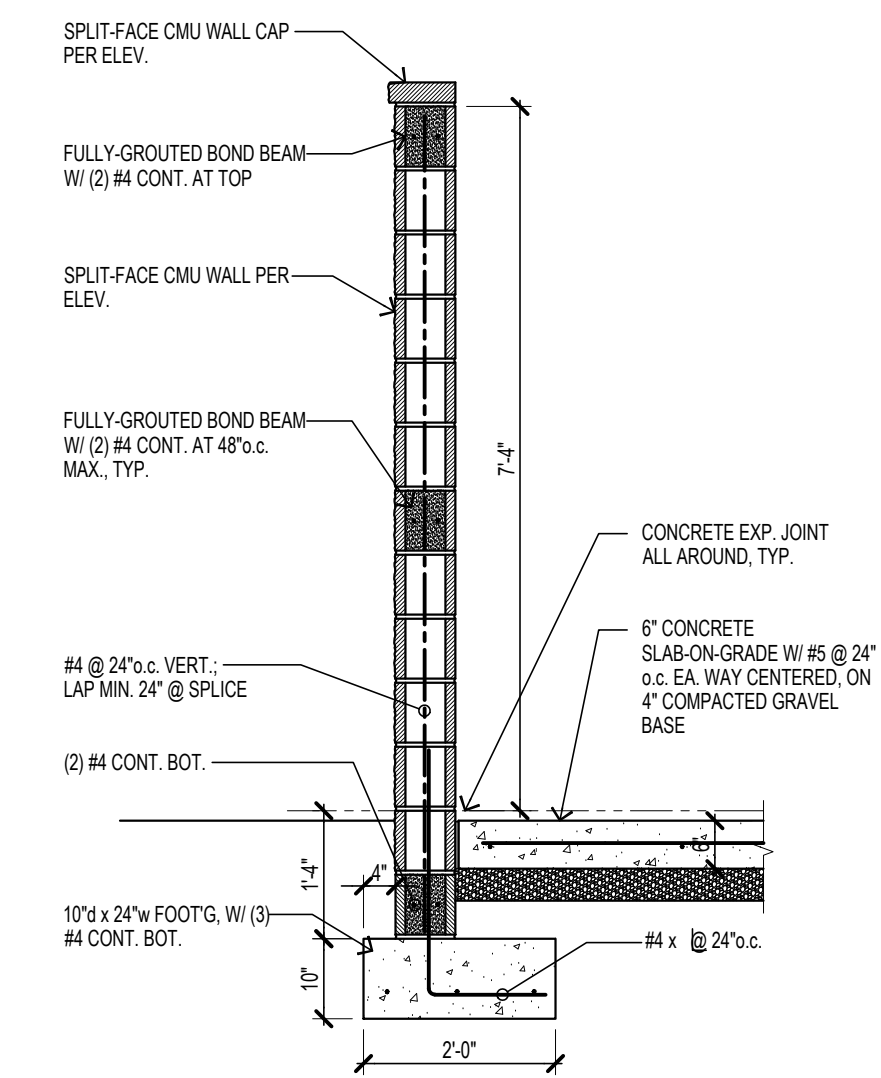
SITE LIGHTING/SECURITY CAMERA PLAN

SCALE: 1" = 30'-0"

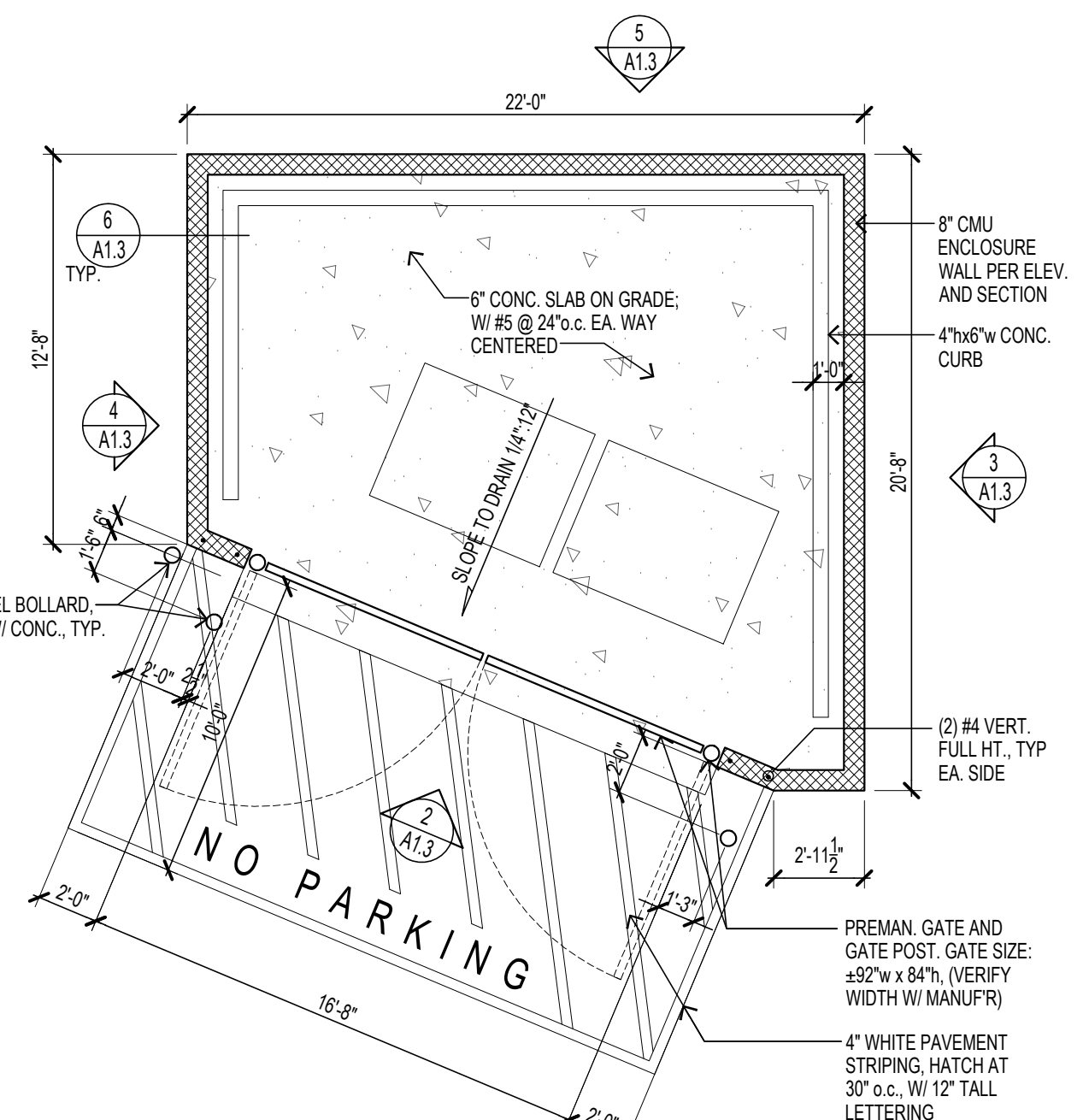


EXTERIOR LIGHTING SCHEDULE

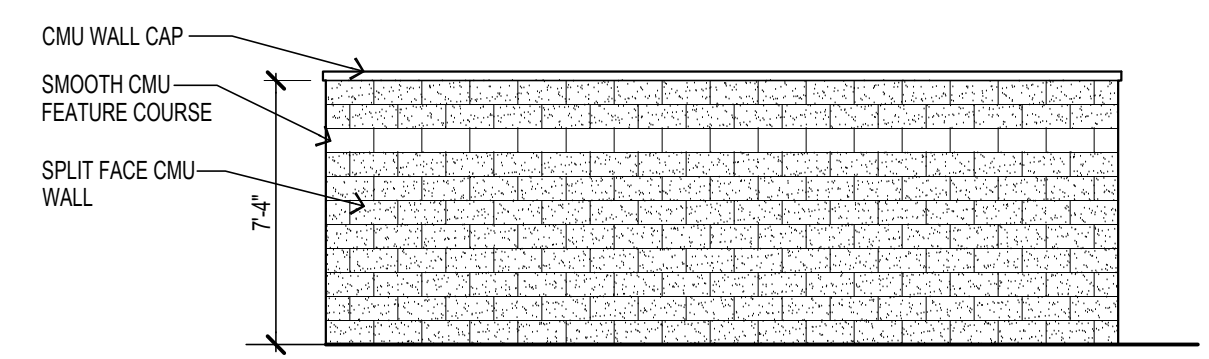
TYPE	DESCRIPTION	LOCATION	MANUF.	MODEL	LAMP	FINISH	NOTES
B1	Bollard	Exterior	Hydrel	3120C H6 4COB 40K; MVOLT SYM STG	72W LED	Steel Gray	
C1	Surface-mounted Cylinder	Exterior	Lumiere Lighting	9004-W2-RW-LED3590-W-BK-L2-UNV-WIS	10W LED Up/Dn	Black	Cutoff fixture
C2	Surface-mounted Cylinder	Exterior	Lumiere Lighting	9004-W1-RW-LED3590-W-BK-L2-UNV-WIS	20W LED Dn	Black	Cutoff fixture
C3	Surface-mounted Cylinder	Exterior	Lumiere Lighting	1003-A2-RCS-RW-LED3590-F-BK-L2-UNV-RSM	2-20W LED Dn	Black	
D1	Recessed LED Downlight 4" aperture	Exterior	Aculux	AS4S0 A 22LM 35K 80CRI 35D GZ1 MVOLT ICAT 4SQDBV BD BLSF	22.5W LED	Black	
D2	Recessed LED Downlight 3" aperture	Exterior	Aculux	AS3S0 D G4 12LM 35K 80CRI 35D GZ1 MVOLT ICAT 3SQDD BD SF	11W LED	Black	
F1-X	Parking Lot Area Light	Exterior	Lithonia	DSF1 LED P5 30K T4M MVOLT SPA (EGS) DDBXD	138W LED	Dark Bronze	Pole height Indicated; EGS Shield at *; Cutoff fixture w/ forward wide throw
F2-X	Parking Lot Area Light	Exterior	Lithonia	DSF1 LED P5 30K T5M MVOLT SPA (EGS) DDBXD	138W LED	Dark Bronze	Pole height Indicated; Type V throw; EGS at *; Cutoff fixture w/ forward wide throw
F3-X	Parking Lot Area Light	Exterior	Lithonia	DSF1 LED P3 30K T4M MVOLT SPA (EGS) DDBXD	102W LED	Dark Bronze	Pole height Indicated; forward wide throw
W1	Wall Pack Area Light	Exterior	Lithonia	WST LED P3 4000K VV MVOLT DDBXD	50W LED	Dark Bronze	Sloped Ceiling: 1:12 Slope w/ 36" length at low end. Flat ceiling at "A".
W2	Wall Pack Area Light	Exterior	Lithonia	WST LED P2 3000K VV MVOLT DDBXD	25W LED	Dark Bronze	Install per NEC 700.148.15 so that lighting activates when power is interrupted.
W3	Wall Pack Area Light	Exterior	Lithonia	WST LED P2 3000K VV MVOLT DDBXD	25W LED	Dark Bronze	Wall-mounted Exit Sign LED, Battery Backup. Green Letters
(E)WP1	Existing Wall Pak	Exterior			250W MH		
(E)WP2	Existing Wall Pak	Exterior			250W MH		
(E)	Existing Wall Entry Fixture	Exterior			100W MH		



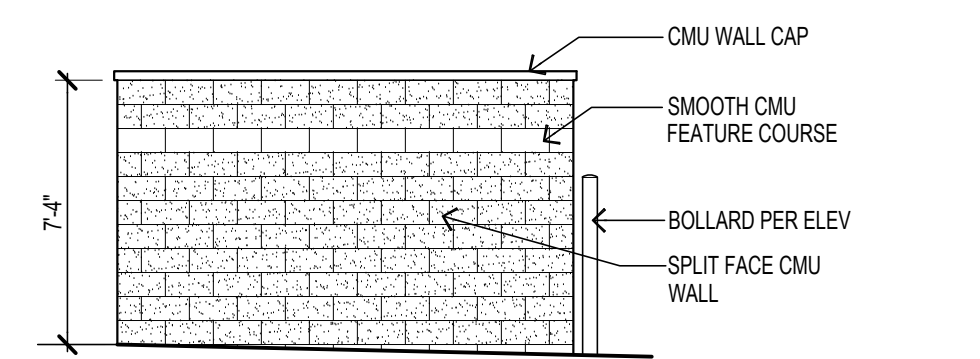
6 SECTION - DUMPSTER ENCLOSURE
 A1.3 SCALE: 1/2" = 1'-0"



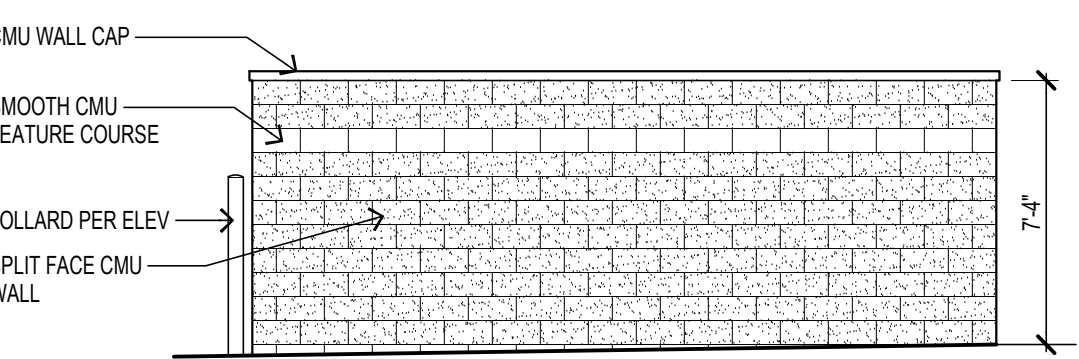
1 DETAIL PLAN - DUMPSTER ENCLOSURE
 A1.3 SCALE: 3/16" = 1'-0"



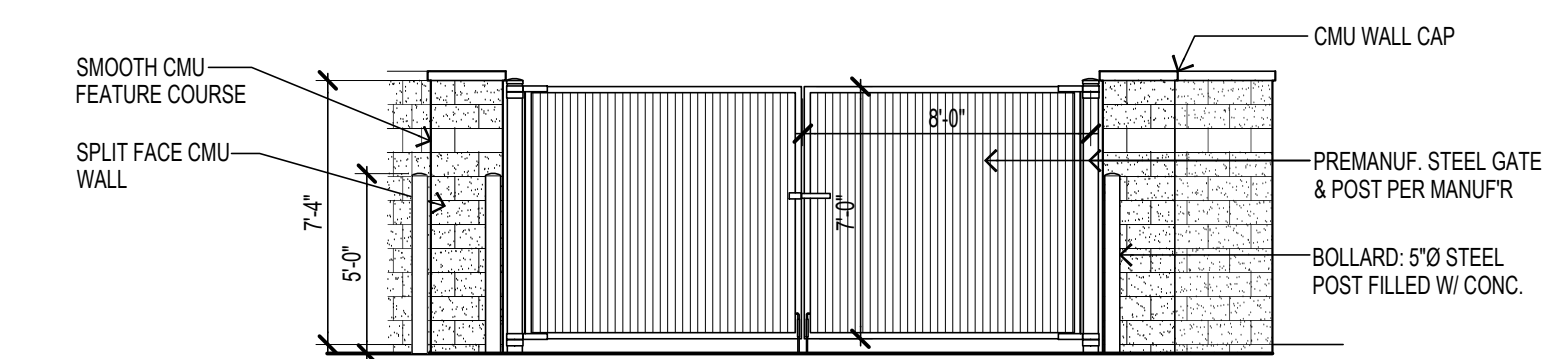
5 ELEVATION - DUMPSTER ENCLOSURE
 A1.3 SCALE: 3/16" = 1'-0"



4 ELEVATION - DUMPSTER ENCLOSURE
 A1.3 SCALE: 3/16" = 1'-0"



3 ELEVATION - DUMPSTER ENCLOSURE
 A1.3 SCALE: 3/16" = 1'-0"



2 ELEVATION - DUMPSTER ENCLOSURE
 A1.3 SCALE: 3/16" = 1'-0"

project name



Union Gospel Mission
 of Salem

Men's Recovery
 and
 Services Center

715 Commercial St. NE
 Salem, OR 97301

site plan / design review

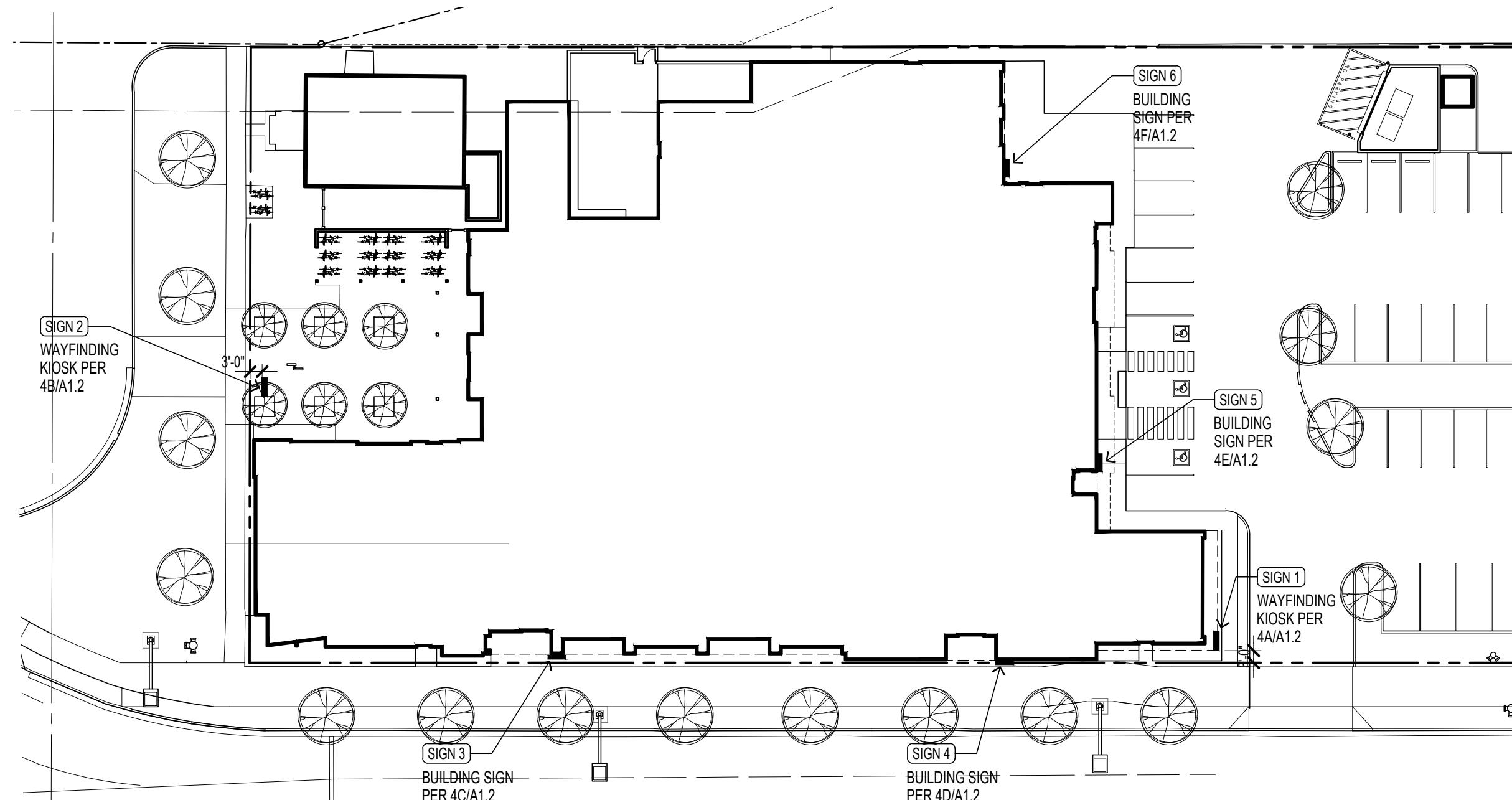
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**SITE LIGHTING
 AND SECURITY
 CAMERA PLAN**

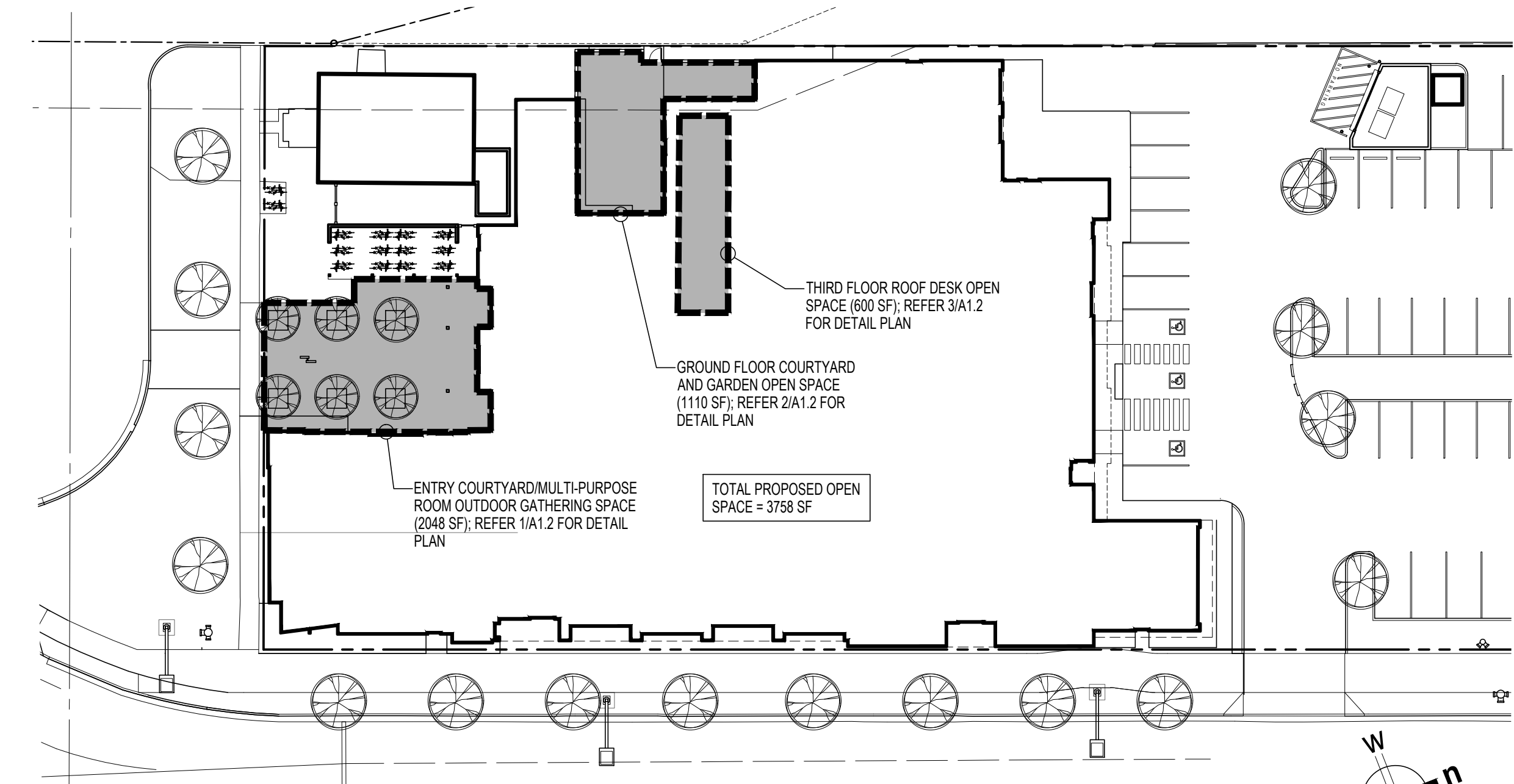
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checked by

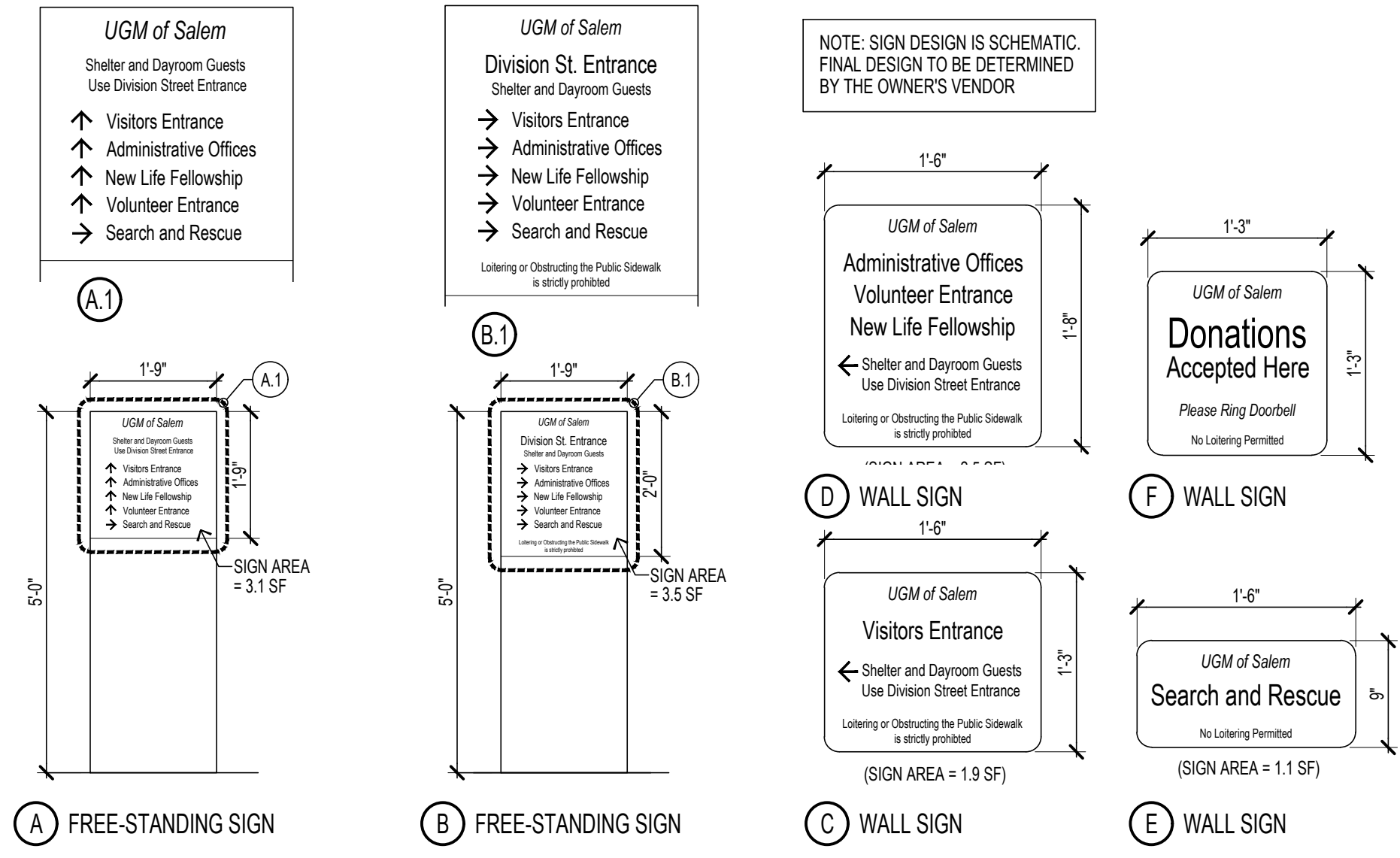
5/1/19	DESIGN REVIEW REVISIONS
3/18/19	DESIGN REVIEW
issued	date description



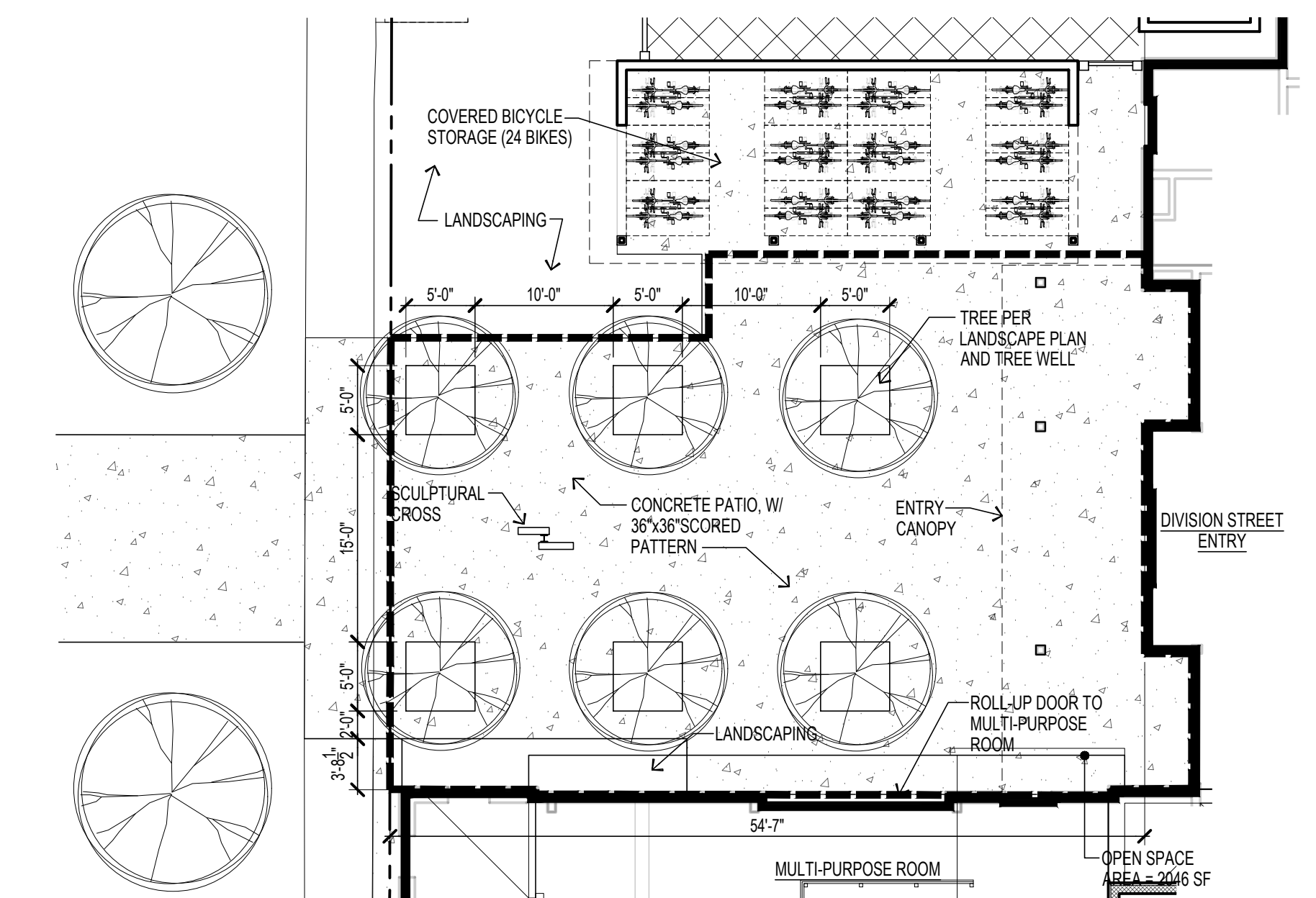
SIGNAGE SITE PLAN
SCALE: 1" = 30'-0"



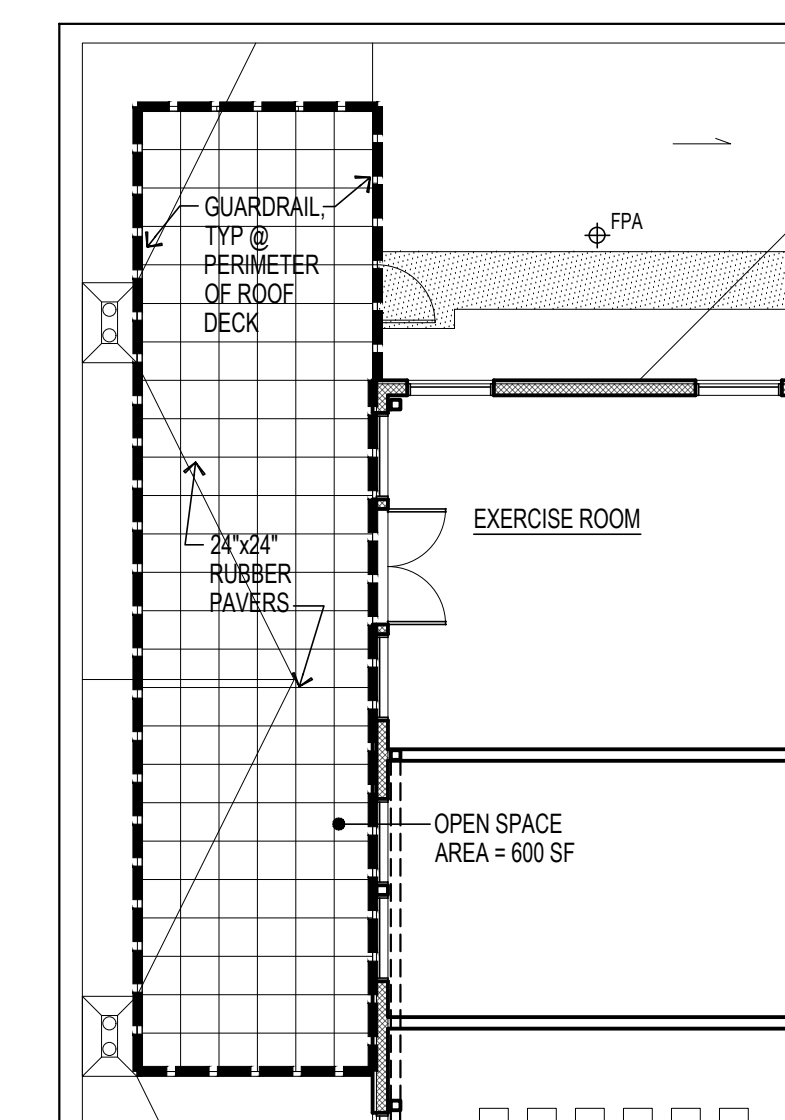
OPEN SPACE SITE PLAN
SCALE: 1" = 30'-0"



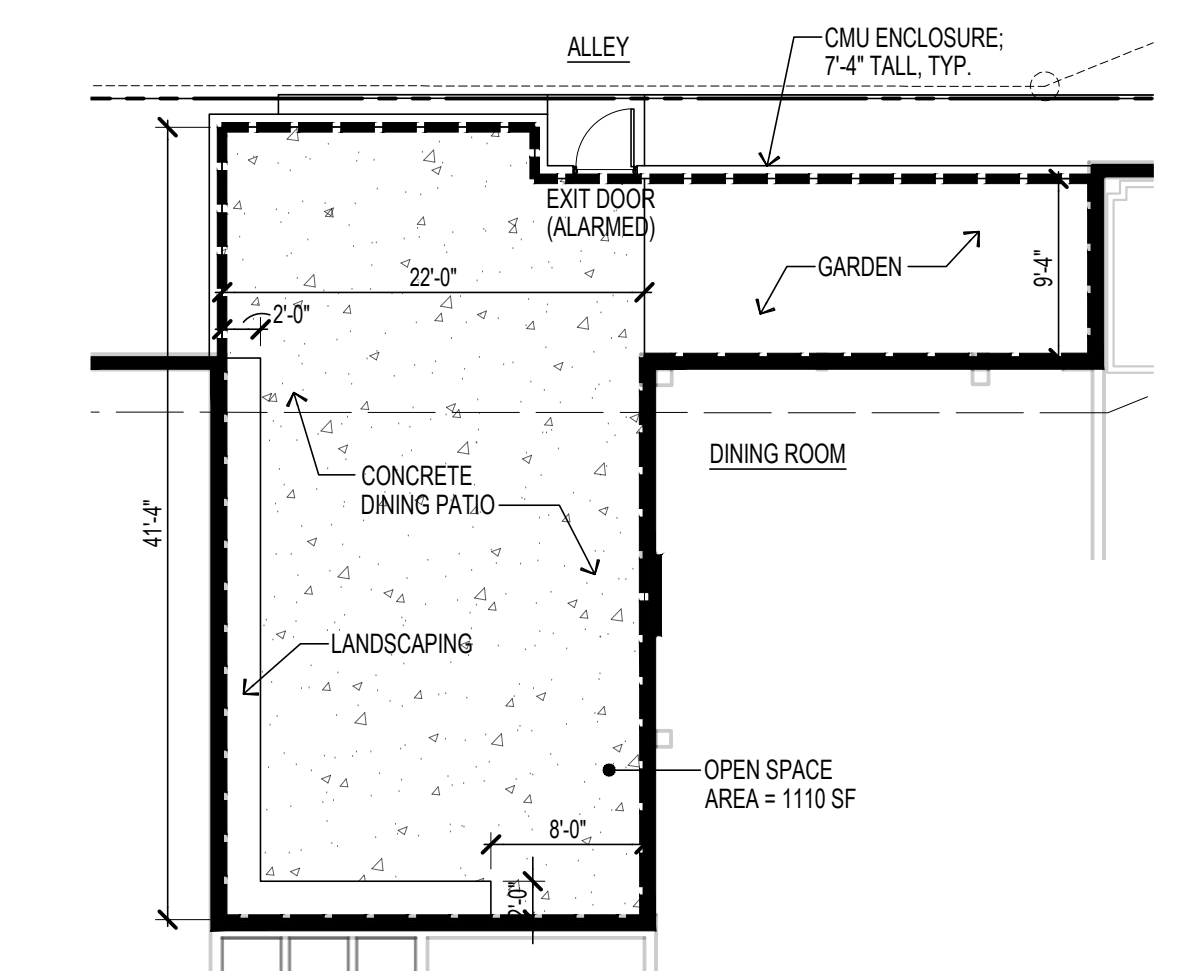
4 DETAIL - SCHEMATIC SITE SIGNAGE
SCALE: NONE



1 OPEN SPACE PLAN - ENTRY COURTYARD
SCALE: 1" = 10'-0"



3 OPEN SPACE PLAN - ROOF DECK
SCALE: 1" = 10'-0"



2 OPEN SPACE PLAN - ENTRY COURTYARD
SCALE: 1" = 10'-0"

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project name



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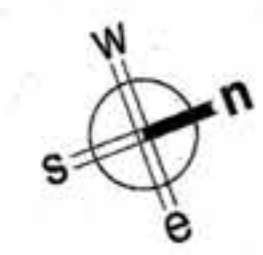
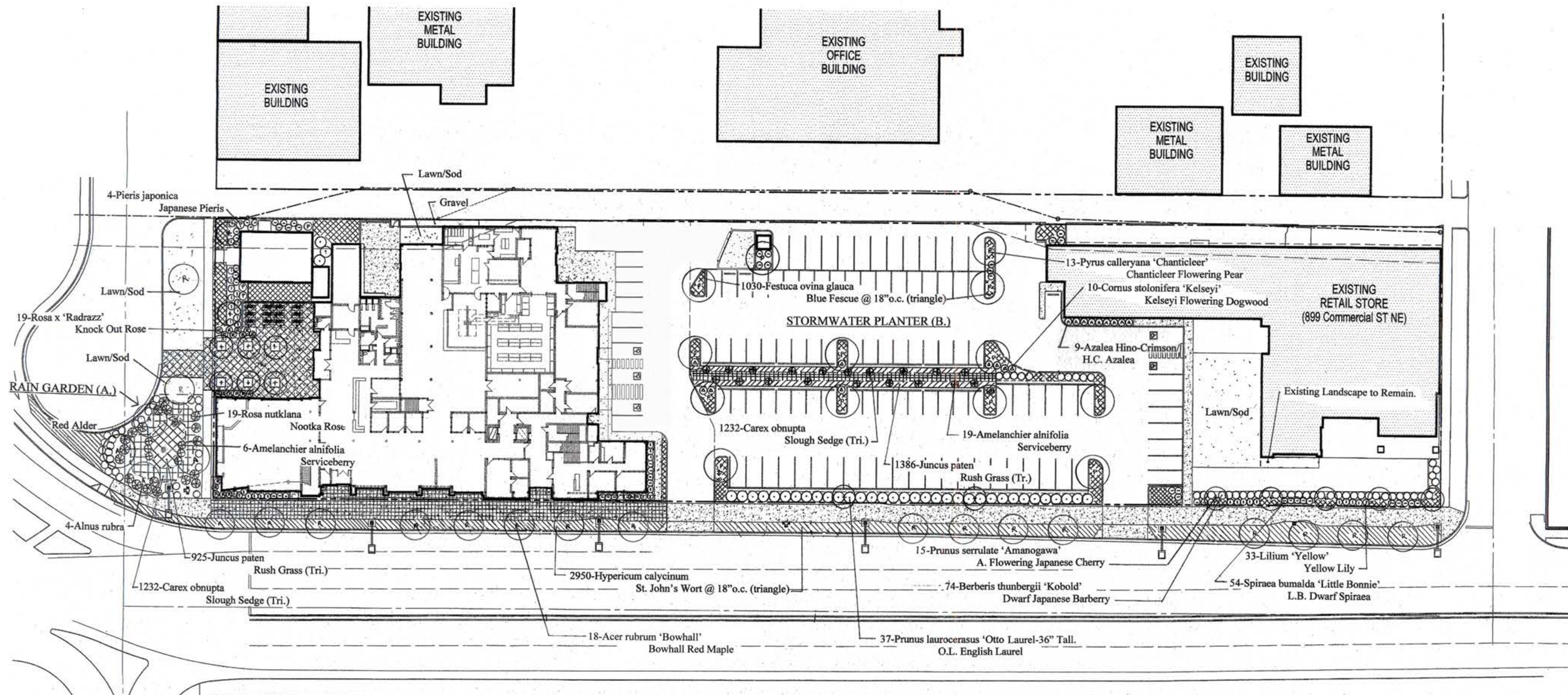
OPEN SPACE PLANS

SIGN CONCEPT PLAN

drawn by _____
checked by _____

5/1/19 DESIGN REVIEW REVISIONS
3/18/19 DESIGN REVIEW
issued date description

A1.2



LANDSCAPE PLAN

SCALE: 1" = 30'-0"

Irrigation Notes:

1. Automatic Irrigation System will be installed, design or Notes will be shown at Permit stage of project.
2. No Irrigation will be in right-of-way, street trees will be watered by landscape contractor for (1) one year, as apart of their landscape contract.

**RAIN GARDEN (A.)
PLANT MATERIALS LIST & LEGEND**

Quan.	Sym.	Botanical/Common Name	Size	Condition
Trees				
4	(A)	Alnus rubra/ Red Alder	2" cal.	B & B
Shrubs				
6	(+)	Amelanchier alnifolia/ Serviceberry	3 gal.	Container
19	(*)	Rosa nutklana/ Nootka Rose	3 gal.	Container
Ground Covers				
1232	(##)	Carex obnupta/ Slough Sedge (Tri.)	9" o.c.	Plugs
925	(X)	Juncus paten/ Rush Grass (Tri.)	9" o.c.	Plugs

VEGETATIVE SWALE (B.)

Shrubs				
19	(+)	Amelanchier alnifolia/ Serviceberry	9" o.c.	Plugs
Ground Covers				
1232	(##)	Carex obnupta/ Slough Sedge (Tri.)	9" o.c.	Plugs
1386	(//)	Juncus paten/ Rush Grass (Tr.)	9" o.c.	Plugs

PLANT MATERIALS LIST & LEGEND

Quan.	Sym.	Botanical/Common Name	Size	Condition
Trees				
18	(R)	Acer rubrum 'Bowhall' Bowhall Red Maple	2" cal.	B & B
15	(+)	Prunus serrulate 'Amanogawa'/ A. Flowering Japanese Cherry	2" cal.	B & B
13	(P)	Pyrus calleryana 'Chanticleer'/ Chanticleer Flowering Pear	2" cal.	B & B
Shrubs				
9	(^)	Azalea Hino-Crimson/ Hino Crimson Azalea	3 gal.	Container
74	(O)	Berberis thunbergii 'Kobold'/ Dwarf Japanese Barberry	3 gal.	Container
10	(A)	Cornus stolonifera 'Kelseyi'/ Kelseyi Flowering Dogwood	2 gal.	Container
1030	(X)	Festuca ovina glauca/ Blue Fescue @ 18" o.c. (triangle)	1 gal.	Container
33	(I)	Lilium 'Yellow'/ Yellow Lily	2 gal.	Container
4	(P)	Pieris japonica/ Japanese Pieris	5 gal.	Container
54	(-)	Spiraea bumalda 'Little Bonnie'/ L.B. Dwarf Spiraea	3 gal.	Container
37	(O)	Prunus laurocerasus 'Otto Luyken'/ O.L. English Laurel	3 gal.	Container
19	(R)	Rosa x 'Radrazz'/ Knock Out Rose	3 gal.	Container
Ground Covers				
2950	(//)	Hypericum calycinum/ St. John's Wort @ 18" o.c. (triangle) 4"		Pots

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MERRICK LENTZ ARCHITECT
ARCHITECTURE - PLANNING

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78
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project name
UGM Hope
Has a New Address
Union Gospel Mission
of Salem
Men's Recovery
and
Services Center
715 Commercial St. NE
Salem, OR 97301

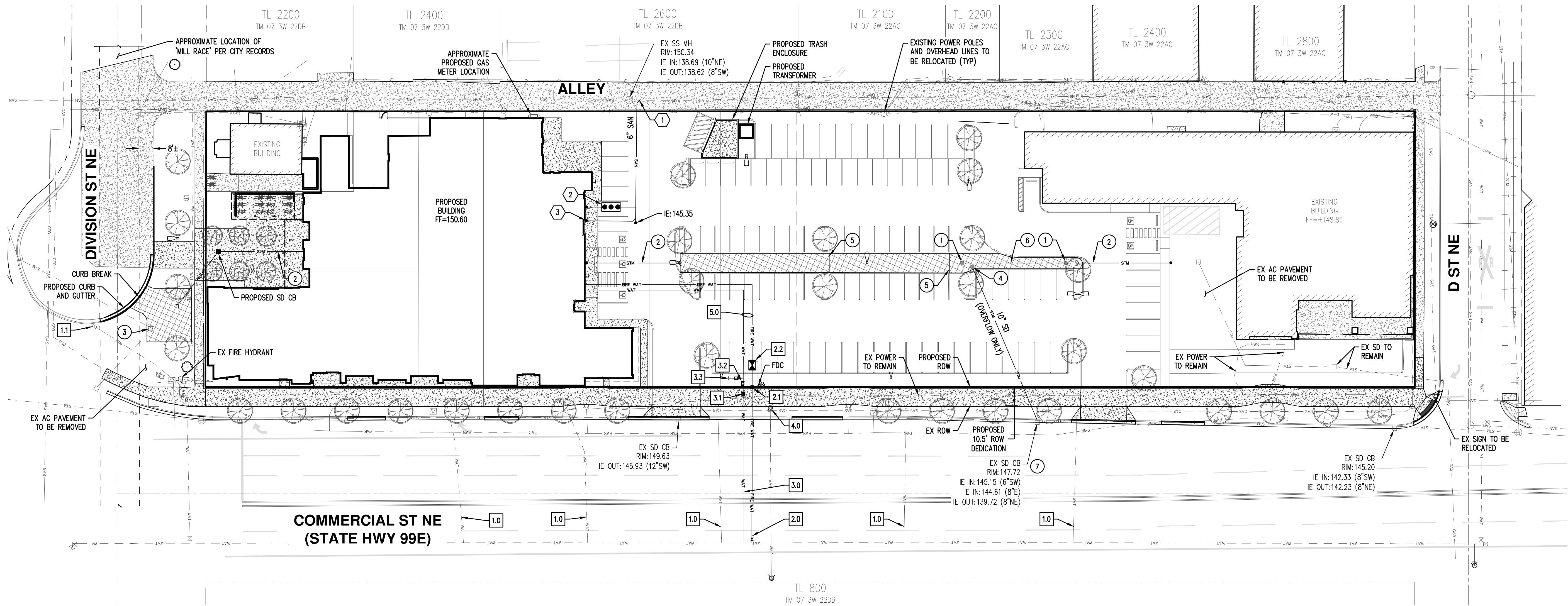
design review

drawing title
Landscape Plan

drawn by **AJL**
checked by **AJL**
Landscape Change 4/8/19 - AJL
Landscape Change 4/23/19 - AJL

issued date 4/3/19

L1.1



STORM DRAIN (SD) KEYED NOTES

1. BEEHIVE OVERFLOW, RIM:147.80.
2. ROOF DRAIN STUB.
3. EXISTING STORM DRAIN CATCH BASIN, CONVERT TO BEEHIVE OVERFLOW.
4. EMERGENCY OVERFLOW.
5. CHECK DAM.
6. PERFORATED STORM DRAIN.
7. CONNECT TO EXISTING SD CB, OVERFLOW ONLY.

SANITARY SEWER (SS) KEYED NOTES

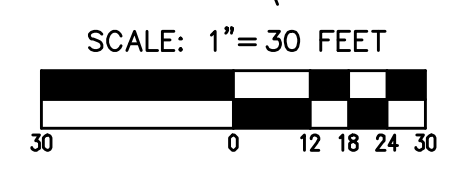
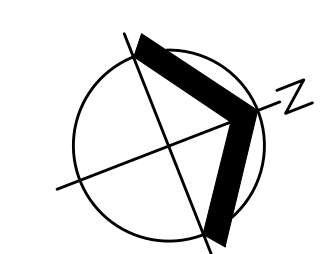
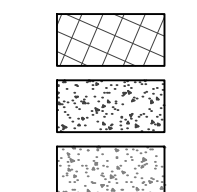
1. CONNECT NEW SANITARY SEWER TO EXISTING.
2. PROPOSED GREASE INTERCEPTOR.
3. SS SERVICE AT BUILDING, 6" IE:145.60.

WATER AND FIRE KEYED NOTES

- 1.0 EXISTING SERVICE TO BE ABANDONED.
- 1.1 EXISTING SERVICE TO REMAIN.
- 2.0 NEW 6" FIRE SERVICE, DIRECTIONAL BORE OR SURFACE RESTORATION PER ODOT STANDARDS.
- 2.1 ISOLATION VALVE AT PROPERTY LINE.
- 2.2 6" DCDA WITH FDC.
- 3.0 NEW 2" DOMESTIC SERVICE, DIRECTIONAL BORE OR SURFACE RESTORATION PER ODOT STANDARDS.
- 3.1 NEW 2" WATER METER.
- 3.2 NEW 2.5" DOUBLE CHECK ASSEMBLY.
- 3.3 IRRIGATION DOUBLE CHECK AND POINT OF CONNECTION.
- 4.0 EXISTING FIRE HYDRANT, 1560 GPM, 74 PSI STATIC PRESSURE PER HYDRANT FLOW TEST 18-103805-WA, 70 PSI RESIDUAL.
- 5.0 COMMON TRENCH (1) 6" C900 FIRE SERVICE AND (1) 2" SCH 80 DOMESTIC SERVICE.

LEGEND

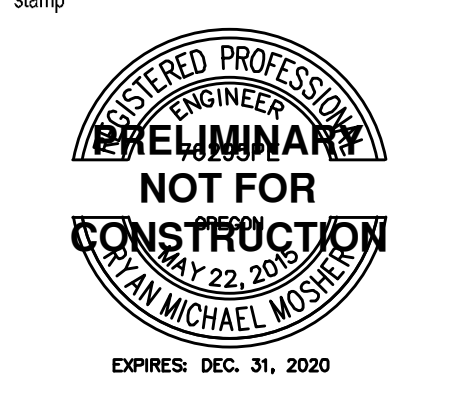
- PROPOSED GSI FACILITY (APPROXIMATE)
- PROPOSED CONCRETE SURFACING
- EXISTING CONCRETE SURFACING



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AKS
AKS ENGINEERING & FORESTRY, LLC
3700 FINNER ROAD, N. STE. 1
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ENGINEERING - SURVEYING - NATURAL RESOURCES
FORESTRY - PLANNING - LANDSCAPE ARCHITECTURE
AKS JOB #6441



Union Gospel Mission
of Salem

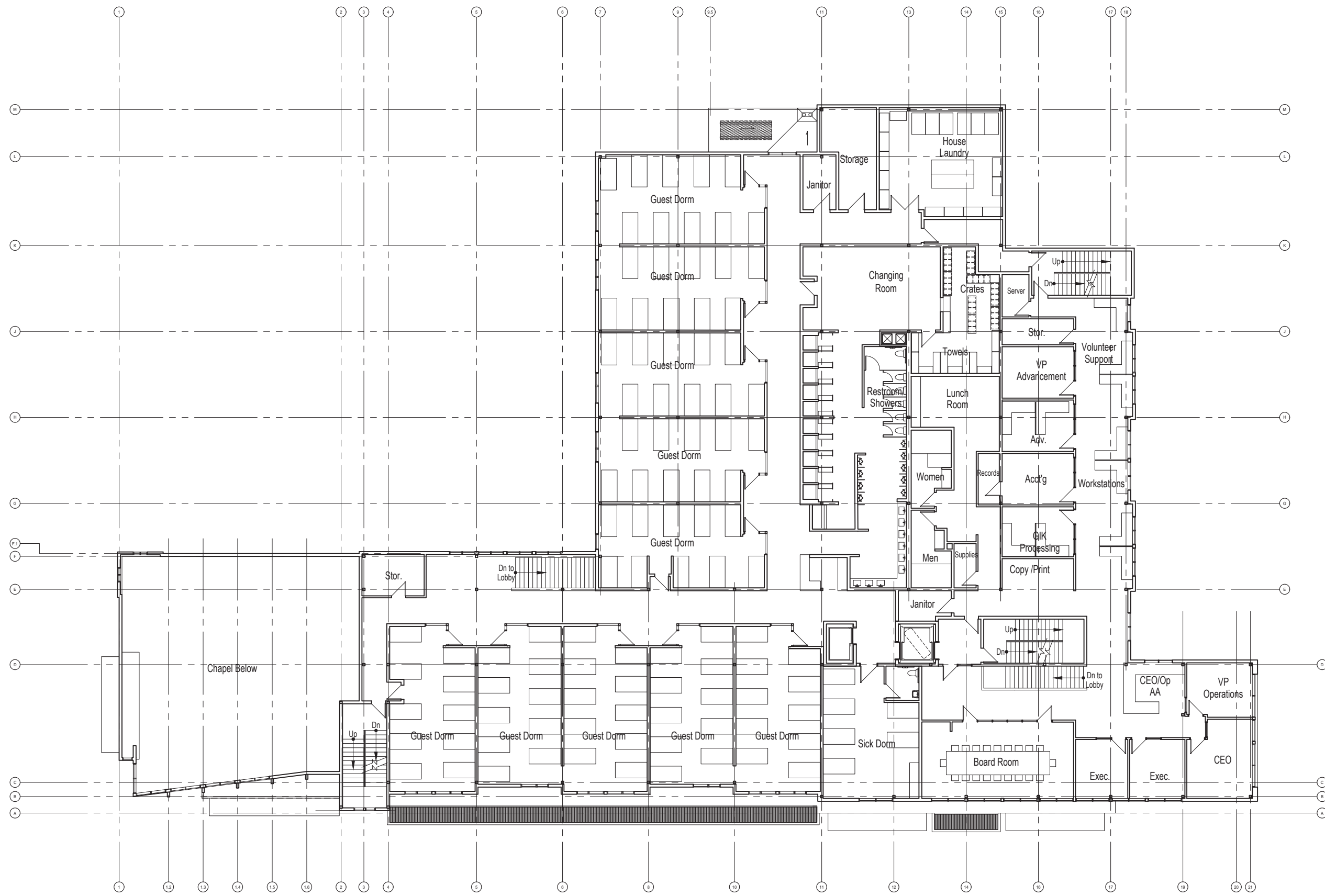
**Men's Emergency
Shelter**

715 Commercial St. NE
Salem, OR 97301

SITE PLAN REVIEW

drawing title
**PRELIMINARY
COMPOSITE UTILITY
PLAN**

drawn by	LG
checked by	RM
3/19/2019	LAND USE SUBMITTAL
5/2/2019	COMPLETENESS RESUBMITTAL
issued	date description



SECOND FLOOR PLAN
SCALE: 3/32" = 1'-0"

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project name



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**Men's Recovery
and
Services Center**

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Salem, OR 97301

site plan / design review

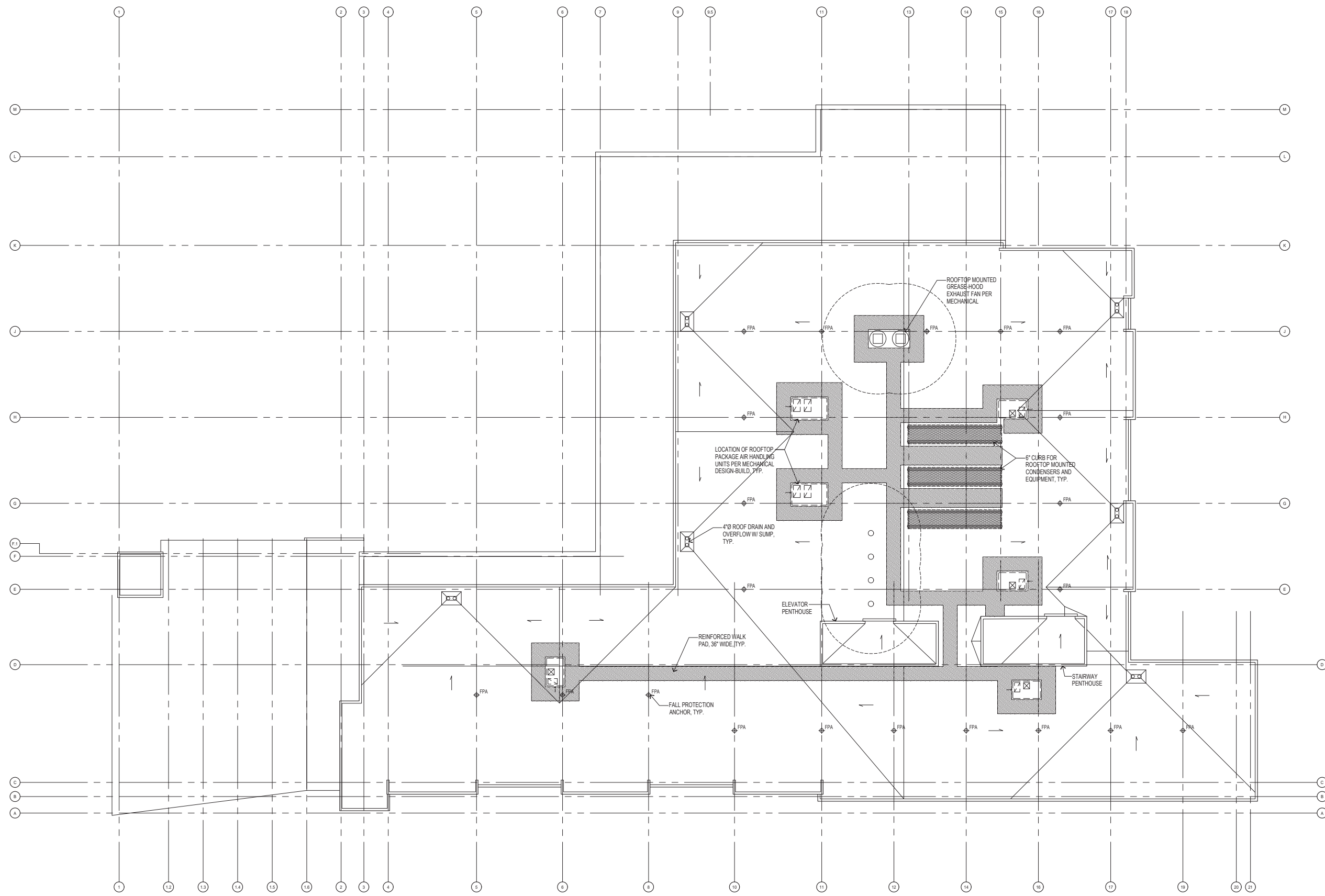
drawing title

SECOND FLOOR PLAN

drawn by

checked by

3/18/19 DESIGN REVIEW
issued date description



ROOF PLAN
SCALE: 3/32" = 1'-0"

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ROOF PLAN

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issued date description

A2.4

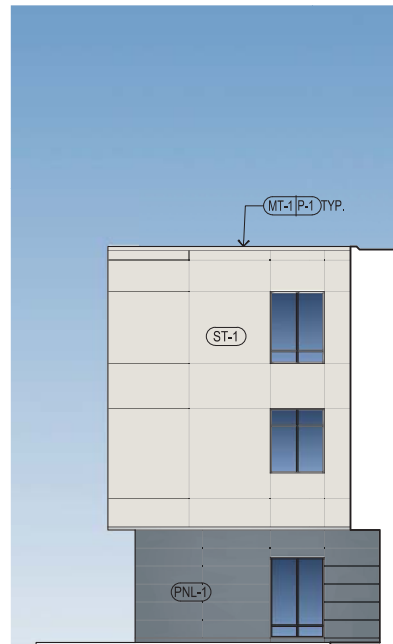
COMMERCIAL STREET NE FACADE NOTES

TOTAL FACADE LENGTH: 235'-7"
 LENGTH OF GROUND FLOOR TRANSPARENCY: 147'-8"
 AREA OF GROUND FLOOR TRANSPARENCY: 62.7%
 LENGTH OF BUILDING AWNINGS: 175'-6" (74.5%)
 *GROUND FLOOR WINDOWS ARE MINIMUM 6' TALL, MEASUREMENT PER SRC 112.030 (b)



ELEVATION - EAST (COMMERCIAL ST. N.E.)

SCALE: 3/32" = 1'-0"



ELEVATION - WEST (PARKING LOT)

SCALE: 3/32" = 1'-0"



ELEVATION - NORTH

SCALE: 3/32" = 1'-0"

EXTERIOR FINISH SCHEDULE

TAG	DESCRIPTION	MANUFACTURER	MODEL/FINISH	NOTES
BR-1	Brick Veneer Panel	The Best Panel Company 270.788.3535	UBI-A-Crete System #710 Winter Storm	With corner units and loose thin bricks for details as required; grout color:
ST-1	Direct-Applied System: Acrylic Stucco over cement board	Dryvit	Dryvit Cement Board IRO Color: P-1	
ST-2	Plaster Base: Direct-Applied System	Dryvit	Dryvit Cement Board IRO Color: P-4	w/ high impact reinforcing mesh
PNL-1	Fiber Cement Panel		Color: P-1	24" panel, stacked layup, vertical seams per elev.; Conceal fasteners
PNL-2	Fiber Cement Panel		Color: P-2	24" x 96" panel, running bond layup w/ 50% offset; Conceal fasteners
PNL-3	Fiber Cement Panel		Color: P-2	24" panel, stacked layup; vertical seams per elev.; Conceal fasteners
FC-1	Fiber Cement Lap siding	Woodstone 800.963.9844	Rustic Series Color: Mountain Cedar	Caulk; OSB 223, or eq.
MS-1	Metal Siding, Compuated	AEP-Span 800.733.4955	No-Wave Compuated Color: Slate Gray	Horizontal orientation
AVN-1	Fabric-covered Awning	Fabric: Sunbrella	Color: Black Clarity 8008-0000	Architect to make final color selection from Manufacturer's color samples
MT-1	Prefinished metal trim/finishing		Color: P-1, unless noted otherwise	
MT-2	Steel Fabrication per elevation	Various	Color: P-3, unless noted otherwise	
MT-3	Prefinished aluminum brake metal panel		Color: Match storefront system color	
MT-4	Prefinished aluminum brake metal panel		Color: P-3, unless noted otherwise	
MT-5	Prefinished metal trim		Color per elevation	
SF-1	Storefront system	Kaeneer	Tribo VIG 451T Color: Permafluor Charcoal	Front-Glazed
SF-2	Curtain Wall system	Kaeneer	1800 Wall System 4 Color: Permafluor Charcoal	
TR-1	1x, FRC Trim (3/4" nom.)		Finish: Smooth Color: Per Elevation	Match adjacent finish-color if not designated
TR-2	3/4x, FRC Trim (1" nom.)		Finish: Smooth Color: Per Elevation	Match adjacent finish-color if not designated

EXTERIOR PAINT COLORS

TAG	MANUFACTURER	COLOR	FINISH
P-1	Shenar Williams	SW7038 Ogden White	
P-2	Shenar Williams	SW9040 Storm Cloud	
P-3	Shenar Williams	SW7036 Iron Ore	
P-4	Shenar Williams	SW7075 Web Gray	
P-5	Shenar Williams	Match AEP Siding Color	

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Men's Recovery and Services Center

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site plan / design review

drawing title

EXTERIOR ELEVATIONS (COLOR)

drawn by

checked by

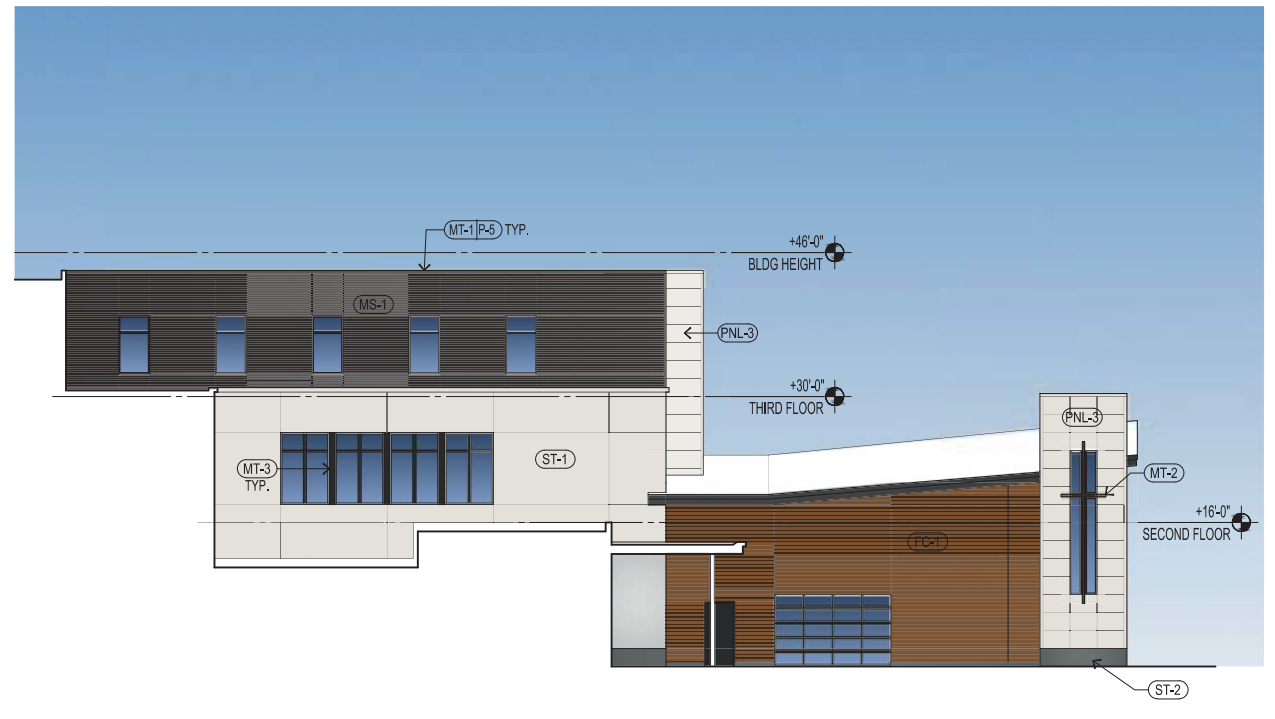
3/18/19 DESIGN REVIEW

issued date description

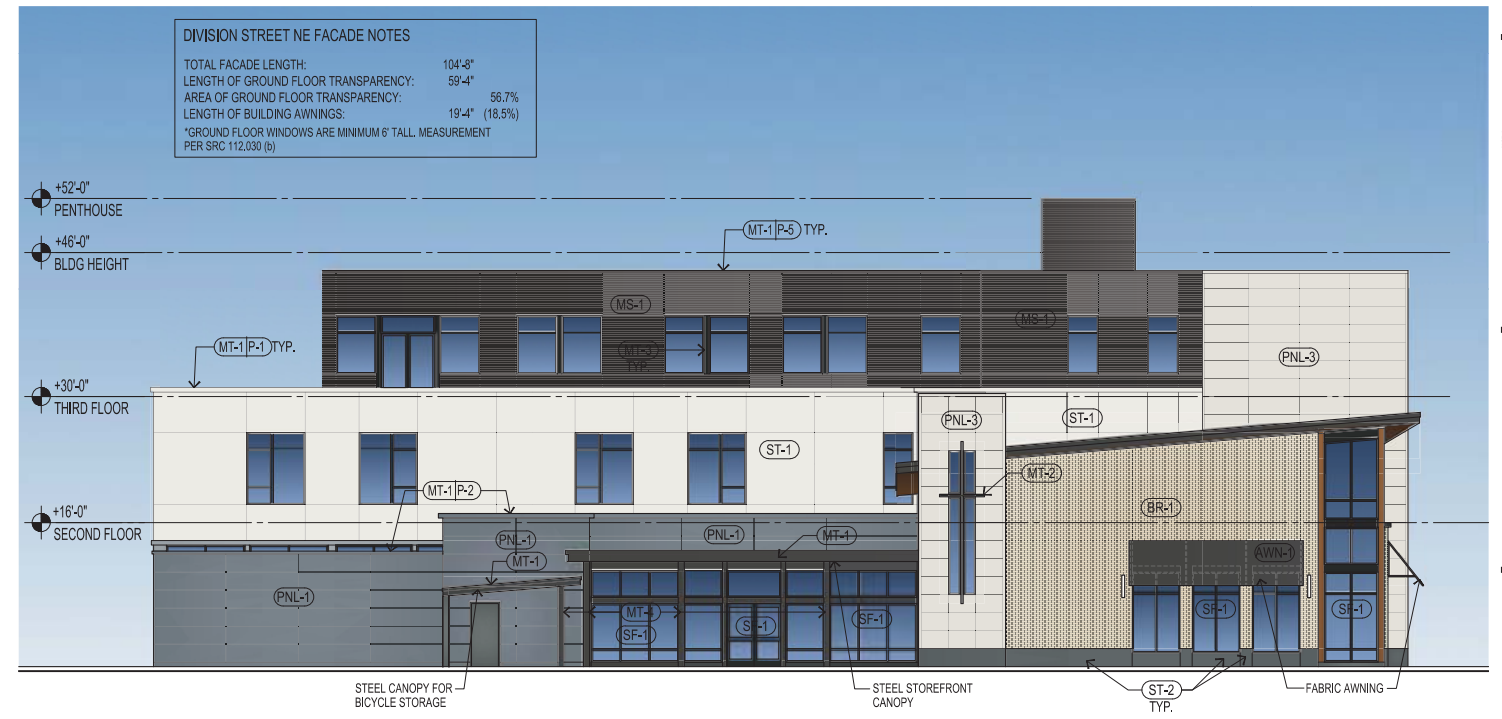
A3.1



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ELEVATION - EAST (ENTRY COURTYARD)
 SCALE: 3/32" = 1'-0"



ELEVATION - SOUTH (DIVISION ST. N.E.)
 SCALE: 3/32" = 1'-0"



ELEVATION - SOUTH (INTERIOR COURTYARD)
 SCALE: 3/32" = 1'-0"



ELEVATION - WEST (ALLEY)
 SCALE: 3/32" = 1'-0"

project name



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EXTERIOR ELEVATIONS
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VIEW FROM SOUTHEAST



CLIENT ENTRY

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EXTERIOR
 PERSPECTIVE VIEWS

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A3.3

P-1 (PNL-1)
Color: SW7636 Origami White

ST-1 Exterior Stucco
Color: SW7636 Origami White

FC-1
Lap Siding
Woodtone Rustic, James Hardie
Color: Mountain Cedar

BR-1 Exterior Brick
The Best Panel Company, Util-A-Crete System
#710 Winter Storm

AWN-1
Sunbrella Black Clarity

P-3
Color: SW7069 Iron Ore

P-2 (PNL-2/PNL-3)
Color: SW6249 Storm Cloud

ST-2 Exterior Stucco
Color: SW7075 Web Gray

MS-1
Corrugated Metal Siding
AEP-Span Nu-Wave Corrugate
Color: Slate Gray

UGM Salem
Men's Recovery and Services Center

