



# HEARING NOTICE

## LAND USE REQUEST AFFECTING THIS AREA

### *Audiencia Pública*

*Si necesita ayuda para comprender esta informacion, por favor llame 503-588-6173*

<b>CASE NUMBER:</b>	Class 3 Design Review / Class 3 Site Plan Review / Class 2 Adjustment / Class 2 Driveway Approach Permit Case No. DR-SPR-ADJ-DAP19-08
<b>AMANDA APPLICATION NO:</b>	19-113486-DR / 19-110645-RP/ 19-110655-ZO / 19-115633-ZO
<b>HEARING INFORMATION:</b>	<u>Planning Commission, Tuesday, October 1, 2019, 5:30 P.M., Council Chambers, Room 240, Civic Center, 555 Liberty Street SE, Salem, OR 97301</u>
<b>PROPERTY LOCATION:</b>	1233 Edgewater St NW, Salem OR 97304
<b>OWNER/APPLICANT:</b>	Paul Logan of Northwest Human Services, Inc.
<b>REPRESENTATIVE:</b>	Samuel Thomas of Lenity Architecture, Inc.
<b>DESCRIPTION OF REQUEST:</b>	<p>Summary: Proposed redevelopment and expansion of Northwest Human Services including demolition of several existing structures, two new building additions, and a new main parking lot.</p> <p>Request: A Class 3 Design Review and Class 3 Site Plan Review application for the expansion of an existing outpatient medical services use, with a Class 2 Driveway Approach Permit for a new driveway on Gerth Street NW, and a Class 2 Adjustment request to:</p> <ol style="list-style-type: none"><li>1) Reduce the minimum off-street parking requirement for the use from 156 spaces to 150 spaces, a 3.8 percent reduction.</li><li>2) To allow the maximum building setback of 10 feet to be exceeded in some locations.</li><li>3) To reduce the vehicle use area setback to interior property lines from 5 feet to 0 feet.</li><li>4) To reduce the landscaping requirement for the development site from 15 percent to 13 percent.</li></ol> <p>For property approximately 2.4 acres in size, zoned ESMU (Edgewater/Second Street Mixed-Use Corridor) and located at the 1200 Block of Edgewater Street NW - 97304 (Polk County Assessors Map and Tax Lot numbers: 073W28AB / 05200, 05300, 05700, 05900, and 06200).</p>
<b>CRITERIA TO BE CONSIDERED:</b>	<p><b><u>CLASS 3 DESIGN REVIEW</u></b></p> <p>Pursuant to SRC 225.005(e)(2), a <i>Class 3 Design Review</i> shall be approved if all of the applicable design review guidelines are met.</p> <p>The design review guidelines for the Compact Development Overlay Zone are included under SRC 631.025 and Multiple Family Design Review Guidelines and Standards under 702.010-702.035.</p> <p><b><u>CLASS 3 SITE PLAN REVIEW</u></b></p> <p>Pursuant to SRC 220.005(f)(3), an application for a <i>Class 3 Site Plan Review</i> shall be granted if:</p> <ol style="list-style-type: none"><li>(A) The application meets all applicable standards of the UDC;</li><li>(B) The transportation system provides for the safe, orderly, and efficient circulation of traffic into and out of the proposed development, and negative impacts to the transportation system are mitigated adequately;</li><li>(C) Parking areas and driveways are designed to facilitate safe and efficient movement of vehicles, bicycles, and pedestrians; and</li></ol>

- (D) The proposed development will be adequately served with City water, sewer, stormwater facilities, and other utilities appropriate to the nature of the development.

### **CLASS 2 ADJUSTMENT**

Pursuant to SRC 250.005(d)(2), an application for a *Class 2 Adjustment* shall be granted if all of the following criteria are met:

- (A) The purpose underlying the specific development standard proposed for adjustment is:
- (i) Clearly inapplicable to the proposed development; or
  - (ii) Equally or better met by the proposed development.
- (B) If located within a residential zone, the proposed development will not detract from the livability or appearance of the residential area.
- (C) If more than one adjustment has been requested, the cumulative effect of all the adjustments result in a project which is still consistent with the overall purpose of the zone.

### **CLASS 2 DRIVEWAY APPROACH PERMIT**

Pursuant SRC 804.025(d), a *Class 2 Driveway Approach Permit* shall be granted if:

- (1) The proposed driveway approach meets the standards of this Chapter and the Public Works Design Standards;
- (2) No site conditions prevent placing the driveway approach in the required location;
- (3) The number of driveway approaches onto an arterial are minimized;
- (4) The proposed driveway approach, where possible:
  - (A) Is shared with an adjacent property; or
  - (B) Takes access from the lowest classification of street abutting the property;
- (5) The proposed driveway approach meets vision clearance standards;
- (6) The proposed driveway approach does not create traffic hazards and provides for safe turning movements and access;
- (7) The proposed driveway approach does not result in significant adverse impacts to the vicinity;
- (8) The proposed driveway approach minimizes impact to the functionality of adjacent streets and intersections; and
- (9) The proposed driveway approach balances the adverse impacts to residentially zoned property and the functionality of adjacent streets.

### **HOW TO PROVIDE TESTIMONY:**

Any person wishing to speak either for or against the proposed request may do so in person or by representative at the Public Hearing. Written comments may also be submitted at the Public Hearing. Include case number with the written comments. Prior to the Public Hearing, written comments may be filed with the Salem Planning Division, Community Development Department, 555 Liberty Street SE, Room 305, Salem, Oregon 97301. Only those participating at the hearing, in person or by submission of written testimony, have the right to appeal the decision.

### **HEARING PROCEDURE:**

The hearing will be conducted with the staff presentation first, followed by the applicant's case, neighborhood organization comments, testimony of persons in favor or opposition, and rebuttal by the applicant, if necessary. The applicant has the burden of proof to show that the approval criteria can be satisfied by the facts. Opponents may rebut the applicant's testimony by showing alternative facts or by showing that the evidence submitted does not satisfy the approval criteria. Any participant may request an opportunity to present additional evidence or testimony regarding the application. A ruling will then be made to either continue the Public Hearing to another date or leave the record open to receive additional written testimony.

Failure to raise an issue in person or by letter prior to the close of the Public Hearing with sufficient specificity to provide the opportunity to respond to the issue, precludes appeal to the Land Use Board of Appeals (LUBA) on this issue. A similar failure to raise constitutional issues relating to proposed conditions of approval precludes an action for damages in circuit court.

Following the close of the Public Hearing a decision will be issued and mailed to the

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applicant, property owner, affected neighborhood association, anyone who participated in the hearing, either in person or in writing, and anyone who requested to receive notice of the decision.

**CASE MANAGER:**

**Aaron Panko, Planner III**, City of Salem Planning Division, 555 Liberty Street SE, Room 305, Salem, Oregon 97301. Telephone: 503-540-2356; E-mail: [APanko@cityofsalem.net](mailto:APanko@cityofsalem.net).

**NEIGHBORHOOD ORGANIZATION:**

West Salem Neighborhood Association, Sarah DuVal, Land Use Co-Chair; Email: [sduvalnp@gmail.com](mailto:sduvalnp@gmail.com); West Salem Neighborhood Association, Tyson Pruett, Land Use Co-Chair; Phone: 503-569-5737; Email: [tysonp@dpwcpas.com](mailto:tysonp@dpwcpas.com).

**DOCUMENTATION AND STAFF REPORT:**

Copies of the application, all documents and evidence submitted by the applicant are available for inspection at no cost at the Planning Division office, City Hall, 555 Liberty Street SE, Room 305, during regular business hours. Copies can be obtained at a reasonable cost. The Staff Report will be available seven (7) days prior to the hearing, and will thereafter be posted on the Community Development website:

<https://www.cityofsalem.net/Pages/planning-notices-decisions.aspx>

**ACCESS:**

The Americans with Disabilities Act (ADA) accommodations will be provided on request.

**NOTICE MAILING DATE:**

September 11, 2019

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**PLEASE PROMPTLY FORWARD A COPY OF THIS NOTICE TO ANY OTHER OWNER, TENANT OR LESSEE.**

**For more information about Planning in Salem:**

<http://www.cityofsalem.net/planning>

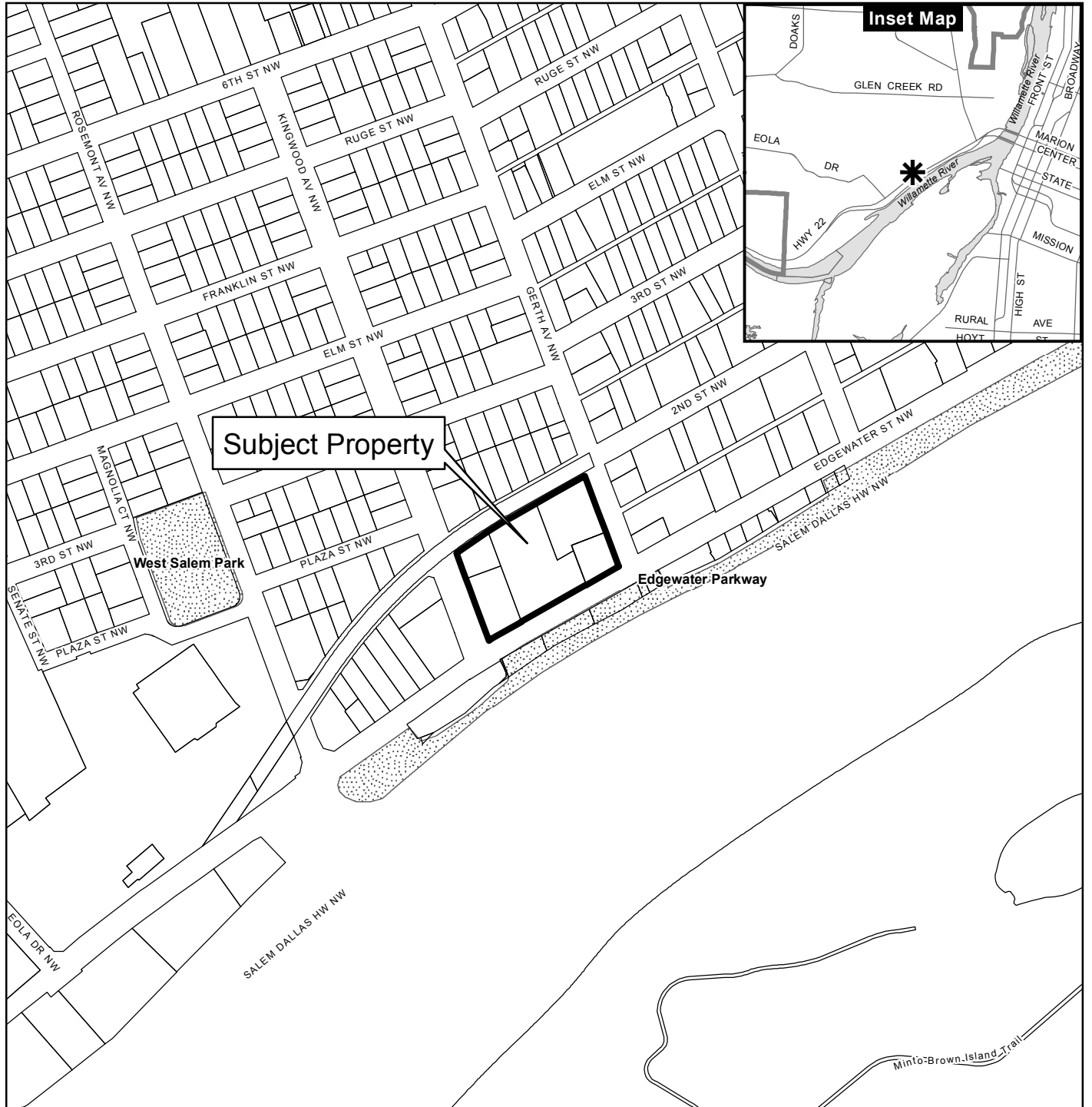
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*It is the City of Salem's policy to assure that no person shall be discriminated against on the grounds of race, religion, color, sex, marital status, familial status, national origin, age, mental or physical disability, sexual orientation, gender identity and source of income, as provided by Salem Revised Code Chapter 97. The City of Salem also fully complies with Title VI of the Civil Rights Act of 1964, and related statutes and regulations, in all programs and activities. Disability-related modification or accommodation, including auxiliary aids or services, in order to participate in this meeting or event, are available upon request. Sign language and interpreters for languages other than English are also available upon request. To request such an accommodation or interpretation, contact the Community Development Department at 503-588-6173 at least three business days before this meeting or event.*








TTD/TTY telephone 503-588-6439 is also available 24/7

# Vicinity Map

## 1233 Edgewater Street NW



### Legend

-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools
-  Parks

**CITY OF Salem**  
 AT YOUR SERVICE  
 Community Development Dept.

0 100 200 400 Feet



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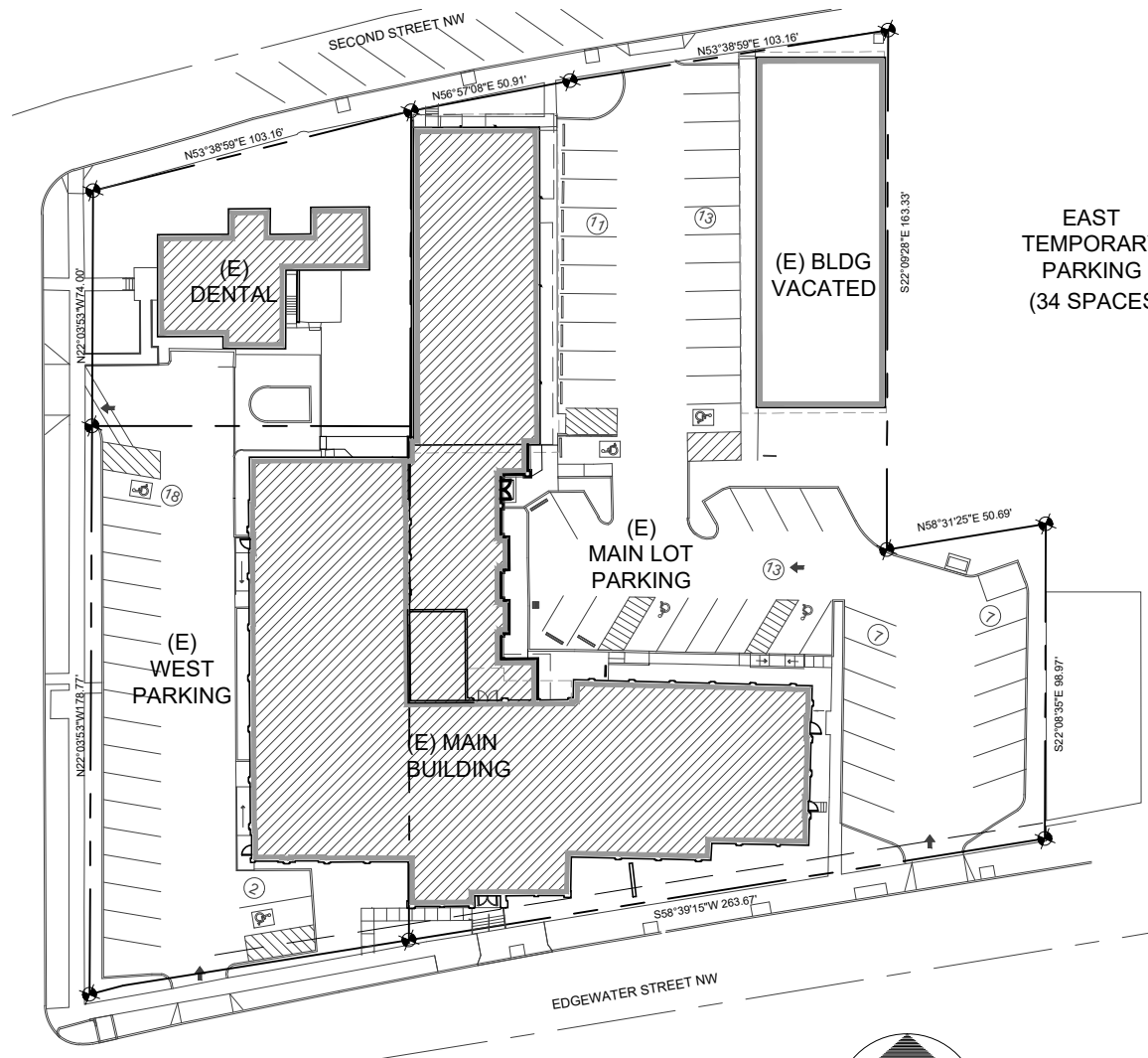
# PARKING COUNT MATRIX FOR PROJECT PHASES

REFER TO SHEET "MP"  
MASTER PLAN FOR  
PROJECT PHASING

PROJECT PHASES	(E) MAIN BLDG Occupied S.F.	BUILDING PHASE 1B - DEMO	SINGLE STORY Addition	TWO STORY Addition	TOTAL BLDG SQ. FOOTAGE	REQUIRED Parking <sup>1</sup>	Parking West Lot	Parking Main Lot	Parking East lot	PROVIDED Total Parking	Delta Parking <sup>4</sup>	FOOT NOTE
PHASE 1A - Construction	19,079	1639			20,718	70	20	42	34	96	26	
PHASE 1B - Construction	19,079	DEMO			19,079	66	16	42	34	92	26	
PHASE 1B - Occupancy	19,079		4962		24,041	80	24	42	34	100	20	
PHASE 1C - Construction	15,029		4962		19,991	68	24	26	34	84	16	
PHASE 1C - Occupancy	15,029		4962	30775	50,766	156	24	65	25	114	-42	2
PHASE 1D - Construction	15,029		4962	30775	50,766	156	24	65	25	114	-42	3
PHASE 1D - Completion	15,029		4962	30775	50,766	156	24	65	25	114	-42	3

**FOOT NOTE:**

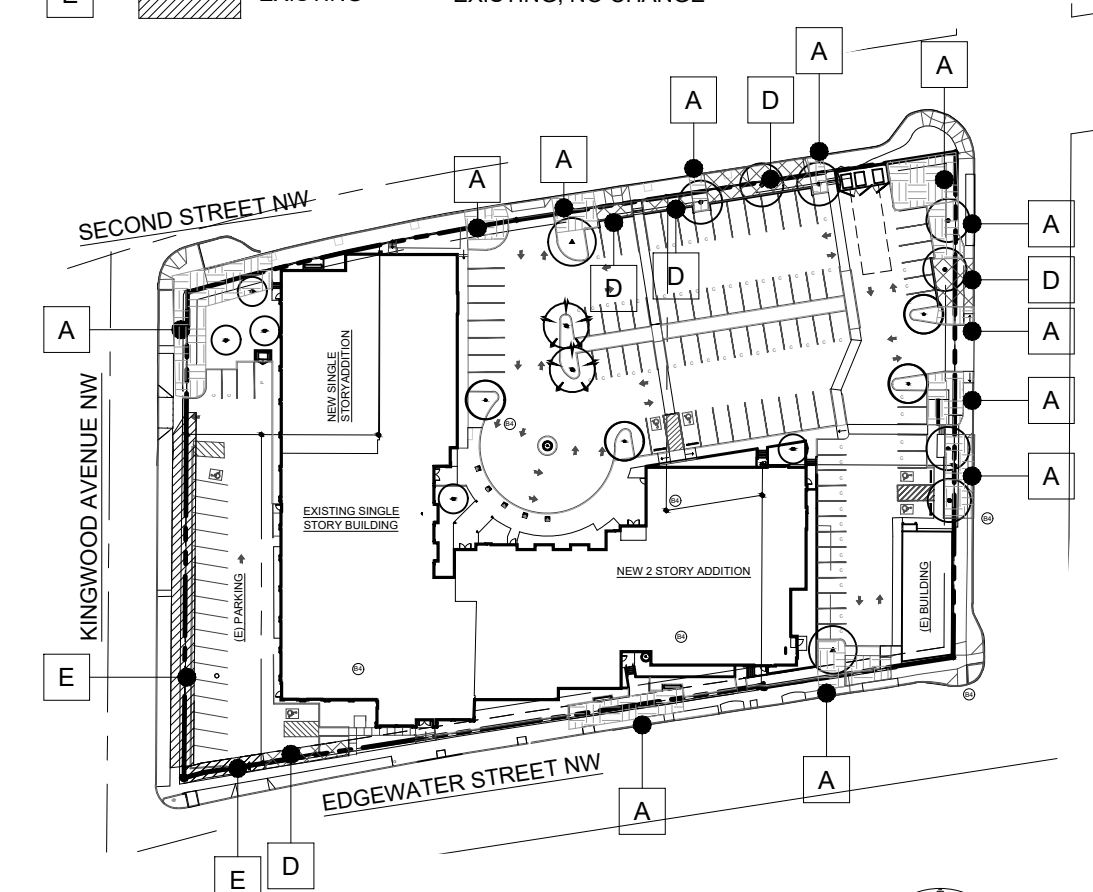
1. Required Parking equals 1 Space/ 350 s.f. of Medical Services. Count includes 11 spaces for existing retail building at 1 space / 250 square feet.
2. Deficiency of parking for a duration of 1 to 2 weeks while final parking is completed in Phase D including 2nd street parking with 36 spaces dedicated for block #3. See Adjustment 2.
3. Adjustment requested for final parking count to include 36 dedicated space to NWHS on Block 3. Deficiency of 6 spaces.
4. Delta Parking is the difference of REQUIRED Parking and PROVIDED Parking. Negative numbers refers to number of space below the required amount. See associated footnotes.



EXISTING SITE REFERENCE PLAN  
60' = 1'-0"

**LANDSCAPE SCREENING**

- A METHOD A 10' MIN. LANDSCAPE STRIP OR BIOSWALE
- D METHOD D 6' MIN. LANDSCAPE STRIP WITH 3' HIGH MIN. CONCRETE WALL WITH THIN BRICK TO MATCH BUILDING
- E EXISTING EXISTING, NO CHANGE



SITE BUFFER PLAN  
100' = 1'-0"

**SUBSTANTIAL ADDITIONS OR REDEVELOPMENT:** ADDITIONS TO BUILDINGS THAT ENLARGE AN EXISTING BUILDING FACADE AREA FACING A PUBLIC STREET RIGHT-OF-WAY BY MORE THAN 60 PERCENT SHALL MEET ALL APPLICABLE DEVELOPMENT STANDARDS AND DESIGN REVIEW GUIDELINES OR STANDARDS IN THIS CHAPTER. CONTINUED DEVELOPMENT THAT IS REBUILT FOLLOWING DAMAGE OR DESTRUCTION SHALL MEET ALL APPLICABLE DEVELOPMENT STANDARDS AND DESIGN REVIEW GUIDELINES OR STANDARDS IN THIS CHAPTER.

**METHODOLOGY:**  
REVIEW GUIDELINES WITH ADJUSTMENTS

DRIVEWAY VISION CLEARANCE (10' X 50') AS SHOWN ON PLAN

LANDSCAPING

NEW CONCRETE PEDESTRIAN WALK WAY.

PEDESTRIAN CONNECTION W/ VISUAL CONTRAST OR TACTILE FINISH TEXTURE

WATER DETENTION AREA

**PROJECT ENHANCEMENT:** SEC. 535.010 (h)

- P1 #1 PROJECT ENHANCEMENT: SEC. 535.010 (h)(1) CLOSURE OF ONE DRIVE APPROACH ON EDGEWATER STREET.
- P2 #2 PROJECT ENHANCEMENT: SEC. 535.010 (h)(4)(A&C) PEDESTRIAN CONNECT WITH PAVERS OR SCORED/COLORED CEMENT. DEFINED WITH CANOPIES OR ARCADES
- P3 #3 PROJECT ENHANCEMENT: SEC. 535.010 (h)(6) PEDESTRIAN-ORIENTED DESIGN FEATURE
- P4 #4 PROJECT ENHANCEMENT: SEC. 535.010 (h)(8) INSTALLATION OF LANDSCAPING AND IRRIGATION USING A PLAN DESIGNED BY AN OREGON LANDSCAPE ARCHITECT.
- P5 #5 PROJECT ENHANCEMENT: SEC. 535.010 (h)(15) USE OF NATIVE PLANT MATERIALS TO MEET MINIMUM LANDSCAPING REQUIREMENTS.
- P6 #6 PROJECT ENHANCEMENT: SEC. 535.010 (h)(12) CONSTRUCTION OF ONE BUILDING AT LEAST TWO STORIES IN HEIGHT.

**ADJUSTMENTS:**

- A1 ADJUSTMENT: (NOT NEED PER PLANNING COMMENTS)
- A2 ADJUSTMENT: Sec. 806.015 - (a)MINIMUM OFF-STREET PARKING:  
*Minimum off-street parking (including the 2nd Street parking expansion) will not be met by 6 spaces. 150 space provide of the 156 spaces required. The developed site is faces 4 streets and adequate street parking is available to meet the functional parking need of the development.*
- A3 ADJUSTMENT: Sec. 535.10(d) BUILDING SET BACK OF 0 FEET WITH-10 FEET MAX WITH PEDESTRIAN ENHANCEMENT  
*New building adjacent to Edgewater, Gerth, Kingwood are greater than 0'. Some areas with pedestrian enhancements are greater than 10' - ADJUSTMENT REQUESTED.*
- A4 ADJUSTMENT: Sec. 535.10(d) VEHICLE USE AREAS SET BACK OF 5 FEET TO PROPERTY LINE.  
*Vehicle use at new areas within the existing interior property lines of Block 3 do not meet the 5' setback-ADJUSTMENT REQUESTED.*
- A5 ADJUSTMENT: Sec. 535.010(i)(3) DEVELOPMENT SITE LANDSCAPING. A minimum of 15% of the developed site.  
*13% landscaping achieved and +2% was used a pedestrian enhancements ADJUSTMENT REQUESTED.*

# Northwest Human Services



VICINITY MAP  
NOT TO SCALE

**PROJECT STATISTICS:**

EXISTING ZONE:	ESMU - EDGEWATER/SECOND STREET MIXED-USE CORRIDOR ZONE
<b>PROJECT AREA:</b>	104,426 SQ. FT.
SITE AREA 2.4 ACRES	104,426 SQ. FT.
BUILDING AREA	35,994 SQ. FT. (34.4%)
1ST FLOOR	14,872 SQ. FT.
2ND FLOOR	50,766 SQ. FT.
EXISTING RETAIL BUILDING:	1,717 SQ. FT. (1.6%) NO CHANGES TO (1211 EDGEWATER) EXISTING BUILDING
BUILDING COVERAGE:	37,611 SQ. FT. (36.0%) NO MAX / MIN REQUIRED
OPEN SPACE:	13,346 SQ. FT. (12.6%)
DRIVEWAYS / PARKING:	42,630 SQ. FT. (40.6%)
WALKS / HARDSCAPE:	8,709 SQ. FT. (8.2%)
SPECIAL SETBACK:	2,130 SQ. FT. (2.6%)
TOTAL:	104,426 SQ. FT. (100%)

**LANDSCAPING:** (AREAS ADJUSTED TO SPECIAL SETBACK ON EDGEWATER ST.)

SITE AREA	104,426 SQ. FT.
SPECIAL SETBACK:	2,130 SQ. FT. (2.6%)
SITE AREA MINUS SPECIAL SETBACK:	102,296 SQ. FT. (97.4%)
LANDSCAPE / OPEN SPACE:	13,346 SQ. FT. (13.0%)
PEDESTRIAN PLAZA:	2,475 SQ. FT. (2.4%)
PROJECT ENHANCEMENT #2:	150 SQ. FT. (0.2%)
LANDSCAPE AREA:	15,971 SQ. FT. (15.6%) (ACTUAL)
TYPE 'A' LANDSCAPE PER SCR 807	(15%) (REQUIRED)

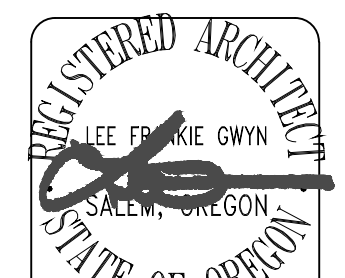
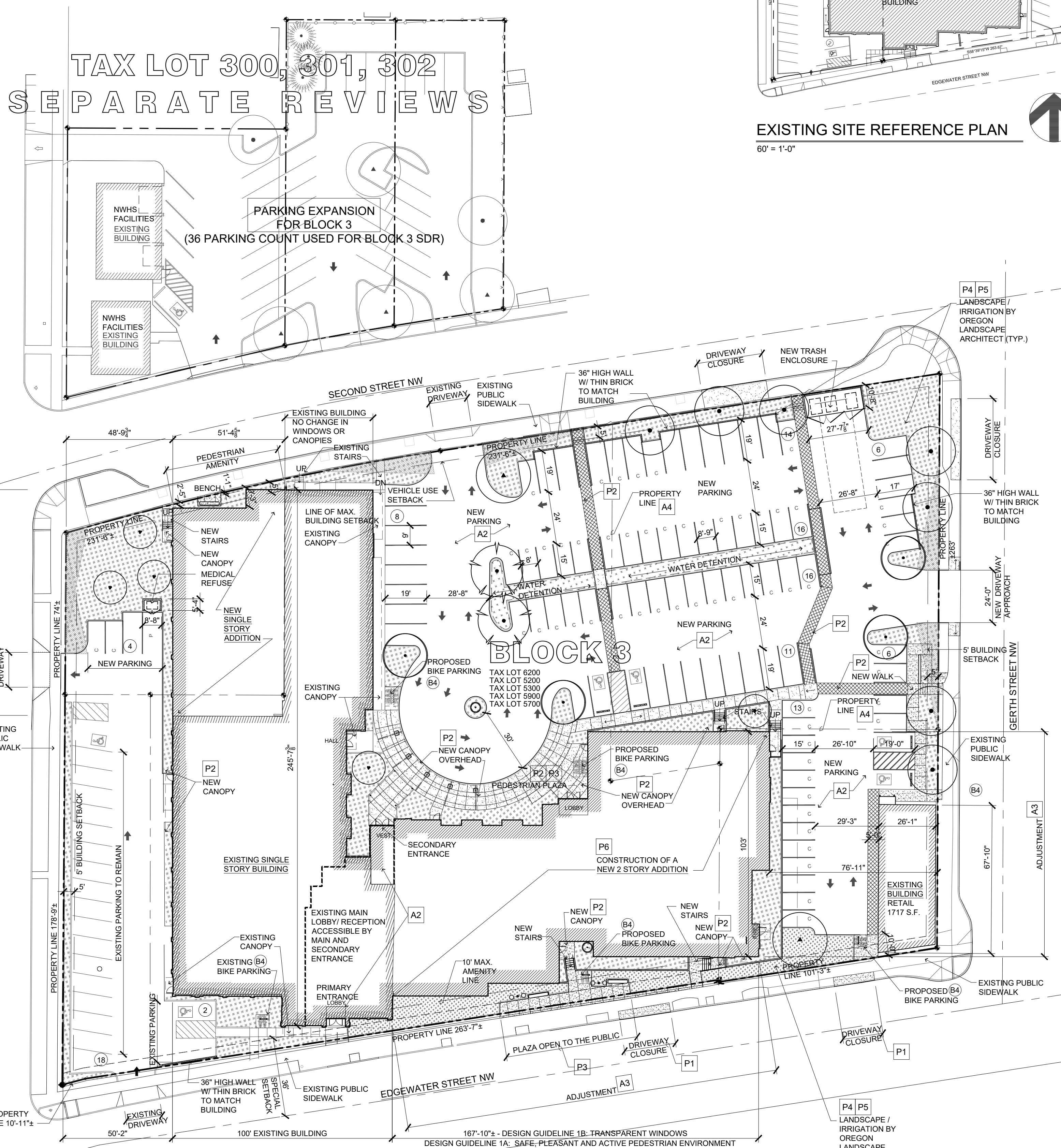
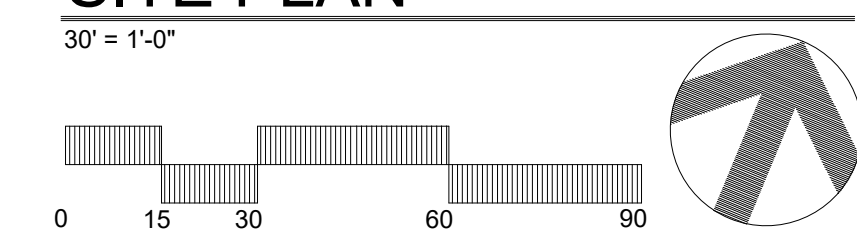
INTERIOR OFF-STREET PARKING AREA LANDSCAPING - SEC. 806-5  
PARKING AREA < 50,000 S.F.: 5% MIN. LANDSCAPE AREA REQUIRED

**NEW PARKING AREA & MANUEVERING AREA:** 33,442 S.F.  
LANDSCAPE AREA REQUIRED: 1672 S.F. LANDSCAPE AREA REQUIRED  
LANDSCAPE AREA PROVIDED: 1991 S.F. (5.95%)

<b>PARKING REQUIRED:</b>	
MEDICAL SERVICES:	50,766 / 350 = 145 SPACES
RETAIL:	2670 / 250 = 11 SPACES
TOTAL:	156 SPACES
<b>PARKING PROVIDED:</b> (B) =PARKING COUNT ON PLAN	
MAIN SITE:	114 SPACES
2ND STREET PARKING EXPANSION:	36 SPACES
(SEPARATE REVIEW) TOTAL:	150 SPACES

<b>BICYCLE PARKING REQUIRED:</b>	=PARKING COUNT ON PLAN
MEDICAL SERVICES:	(1 SPACE PER 3500 S.F.) 50,766 / 3500 = 15 SPACES
RETAIL SERVICES:	(1 SPACE PER 1000 S.F.) 1717 / 1000 = 2 SPACES (4 MIN.)
<b>BICYCLE PARKING PROVIDED:</b> (B) =PARKING COUNT ON PLAN	
MEDICAL SERVICES:	16 SPACES
RETAIL SERVICES:	4 SPACES

## SITE PLAN



**CLASS III - SITE PLAN REVIEW**  
A NEW BUILDING ADDITION AND REMODEL FOR NW HUMAN SERVICES  
1233 Edgewater St. NW, Salem, OR

# SITE PLAN

DATE: 07/22/19  
REVISID DATE: 08/30/2019

SHEET S1

CLASS III SITE PLAN REVIEW

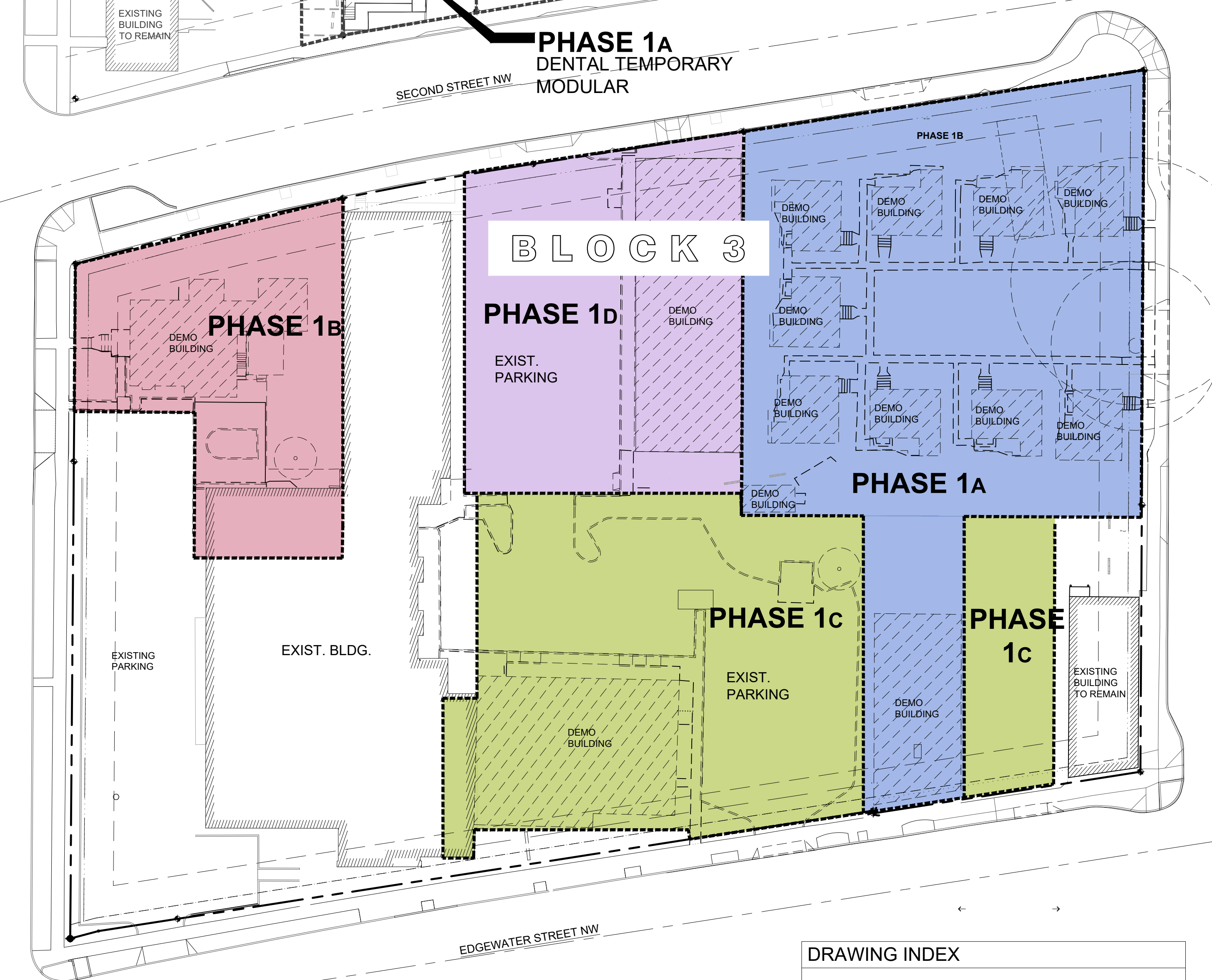
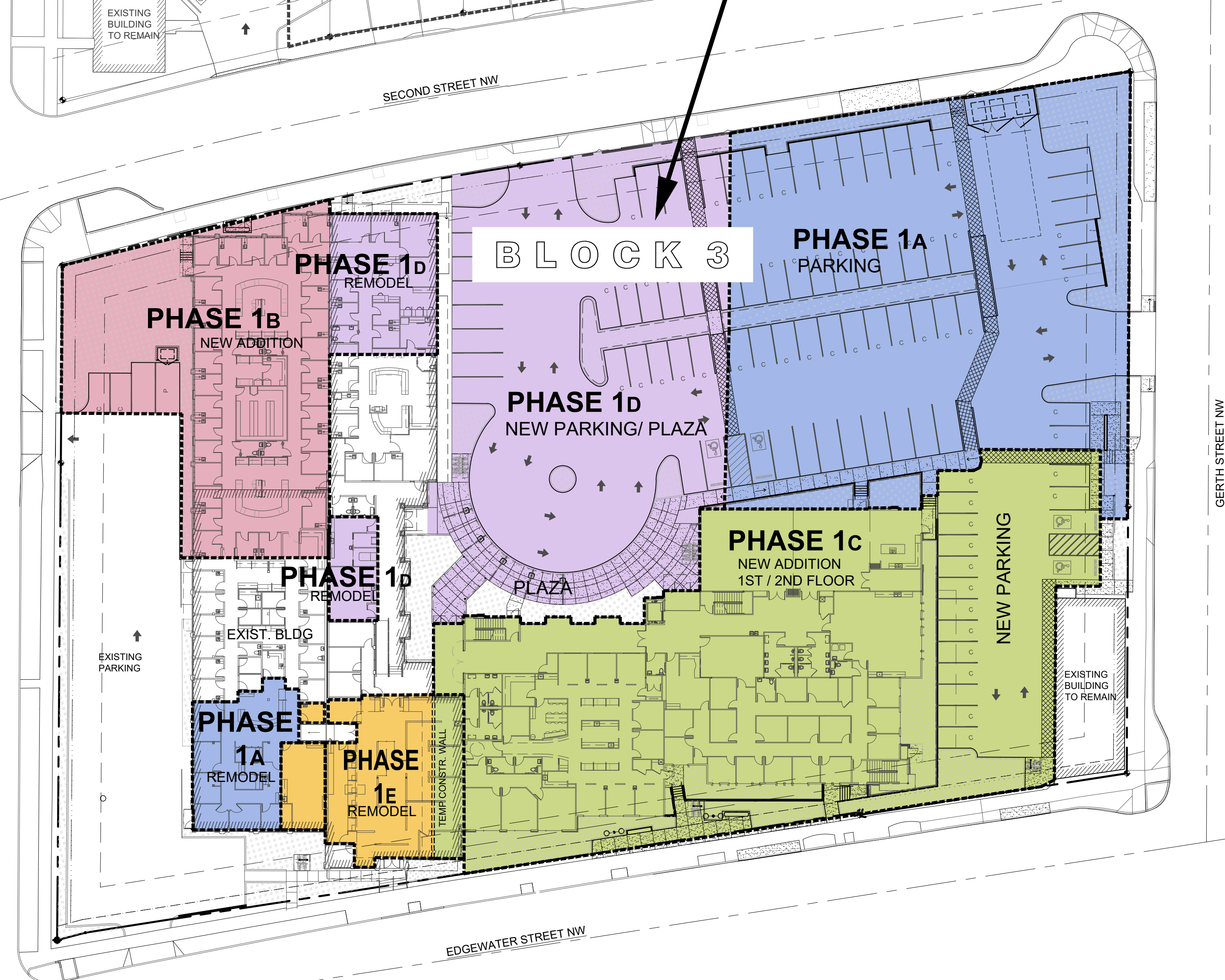
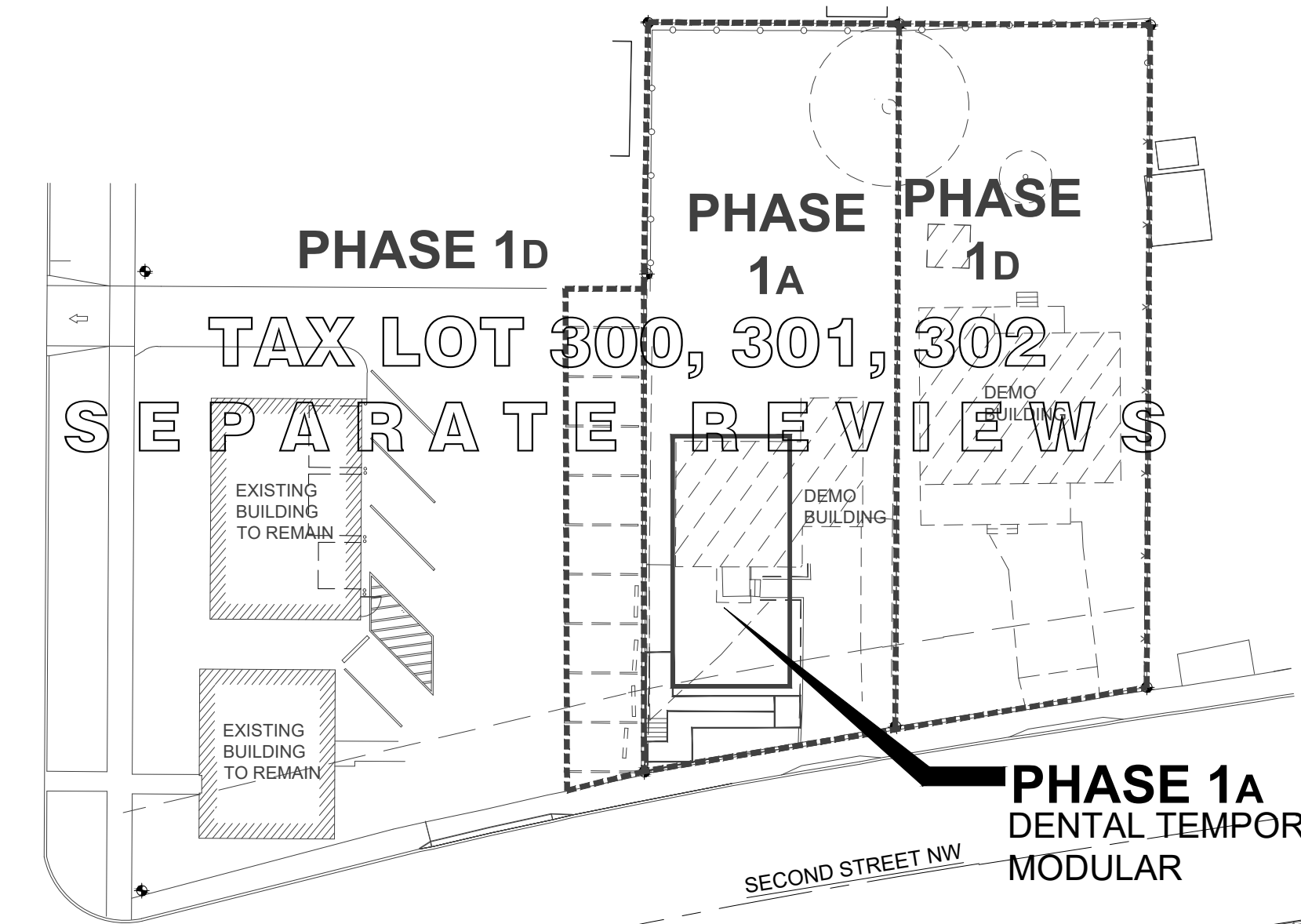
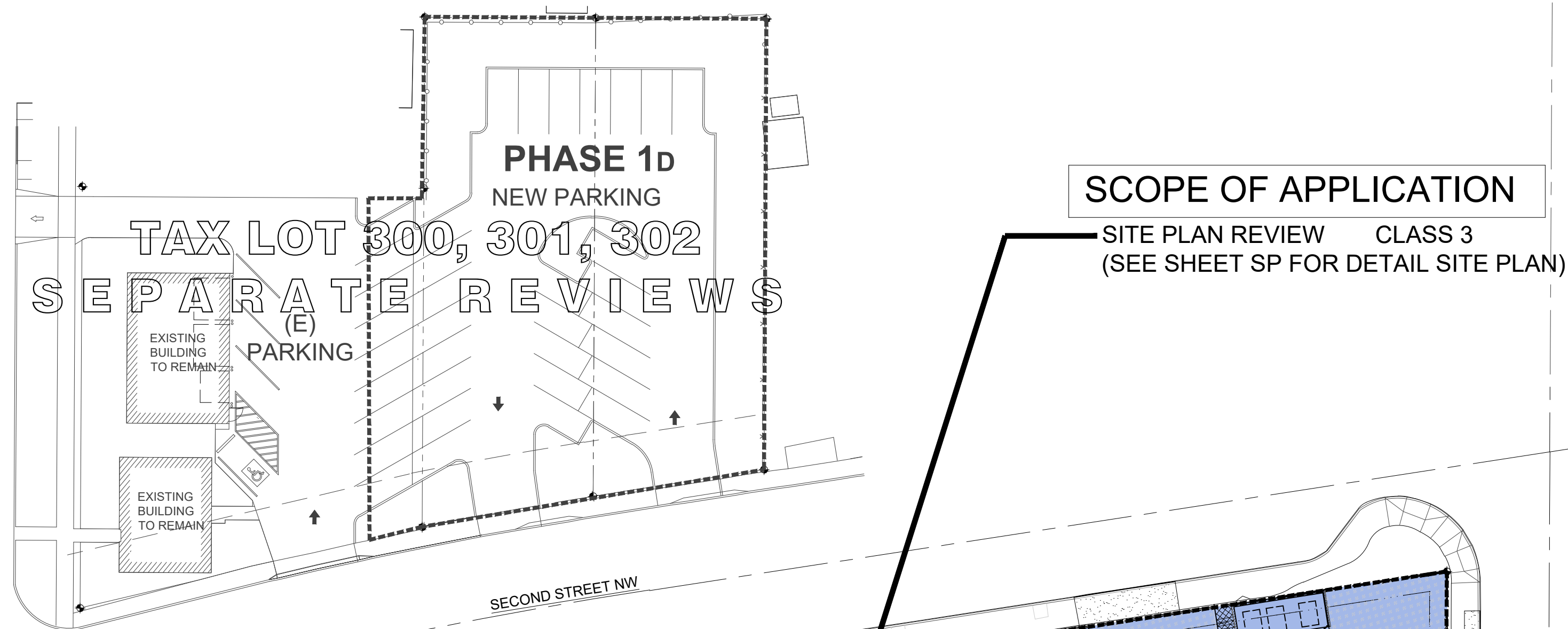


# SITE PLAN REVIEW FOR BLOCK 3 - NW HUMAN SERVICES

## MASTER PLAN PHASING

### PHASE 1:

- A SITE DEMOLITION - BUILDINGS / SITE PREP- NORTH EAST STAGING AREA. NEW PARKING AND SITE IMPROVEMENTS  
INTERIOR REMODEL- PSYCHIATRIC SERVICES  
2ND STREET (CENTER LOT) SITE DEMOLITION - BUILDINGS - PLACEMENT OF TEMPORARY DENTAL MODULAR WITH EXISTING TEMPORARY PARKING
- B SITE DEMOLITION - BUILDINGS / SITE PREP- NORTHWEST NEW SINGLE STORY PRIMARY CARE BUILDING ADDITION - SITE IMPROVEMENTS
- C SITE DEMOLITION - BUILDINGS / SITE PREP- SOUTHEAST NEW TWO STORY BUILDING ADDITION  
NEW PARKING AND SITE IMPROVEMENTS- SOUTHEAST
- D SITE DEMOLITION - BUILDINGS / SITE PREP- 2ND ST. NORTH STAGING AREA. NEW PARKING AND SITE IMPROVEMENTS  
SITE DEMOLITION - BUILDING / SITE PREP-NORTH-CENTRAL PARKING IMPROVEMENT AND PLAZA  
INTERIOR REMODEL BLOOD DRAW / LAB / CONFERENCE ROOM  
INTERIOR REMODEL NORTH-EAST EXISTING CLINIC BUILDING
- E INTERIOR REMODEL LOBBY / WAITING



PHASING PLAN - CONSTRUCTION

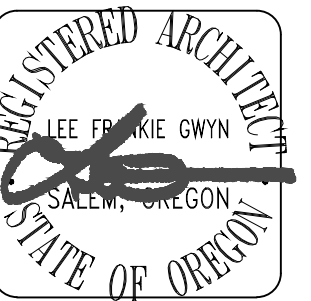
SCALE: 1"= 30'-0"

PHASING PLAN - SITE DEMOLITION

SCALE: 1"= 30'-0"

### DRAWING INDEX

MP	MASTER PLAN
SP	SITE PLAN
C1.0	GRADING PLAN
C1.1	GRADING PLAN
C2.0	UTILITY PLAN
C3.0	SURFACING PLAN
C3.1	SURFACING PLAN
C4.0	CONSTRUCTION NOTES
C4.1	CONSTRUCTION NOTES



CLASS III - SITE PLAN REVIEW  
A NEW BUILDING ADDITION  
AND REMODEL FOR  
NW HUMAN SERVICES  
1233 Edgewater St. NW, Salem, OR

MASTER PLAN

DATE  
07/22/19

REVISED DATE  
08/30/2019

SHEET

MP

CLASS III SITE PLAN REVIEW

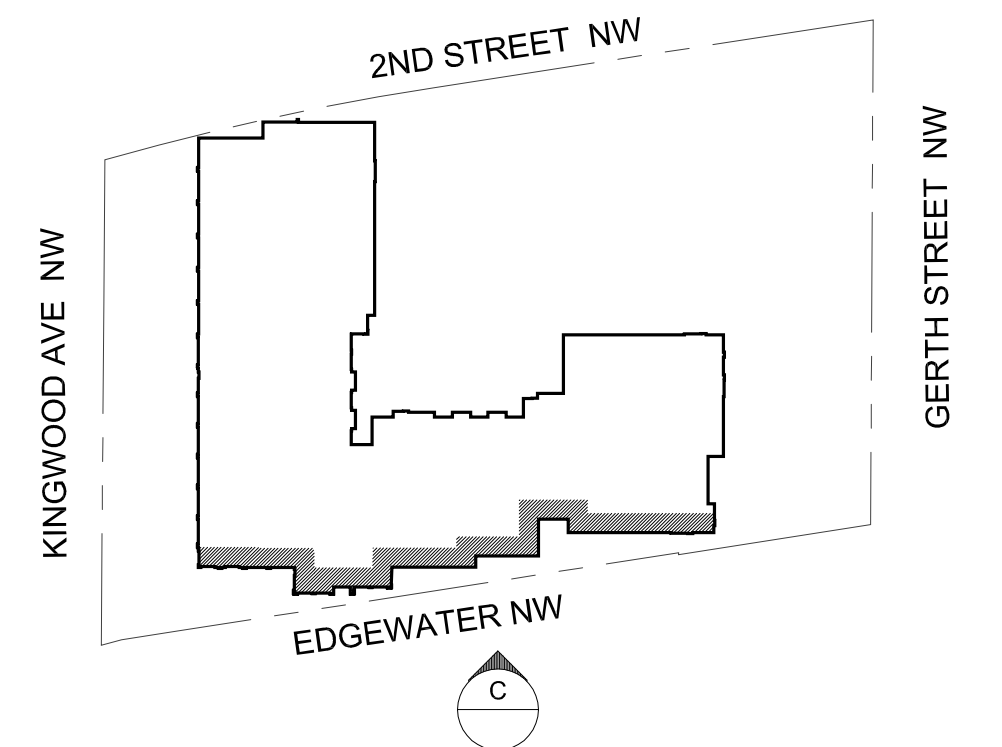
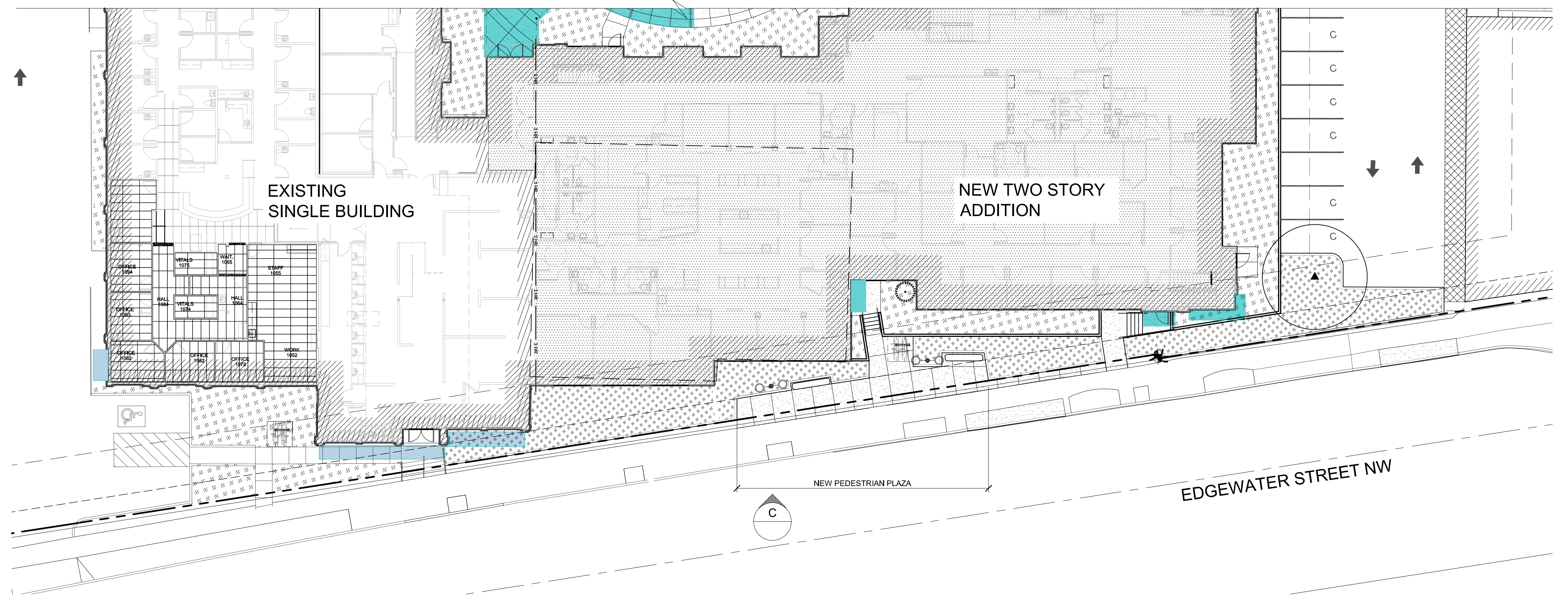






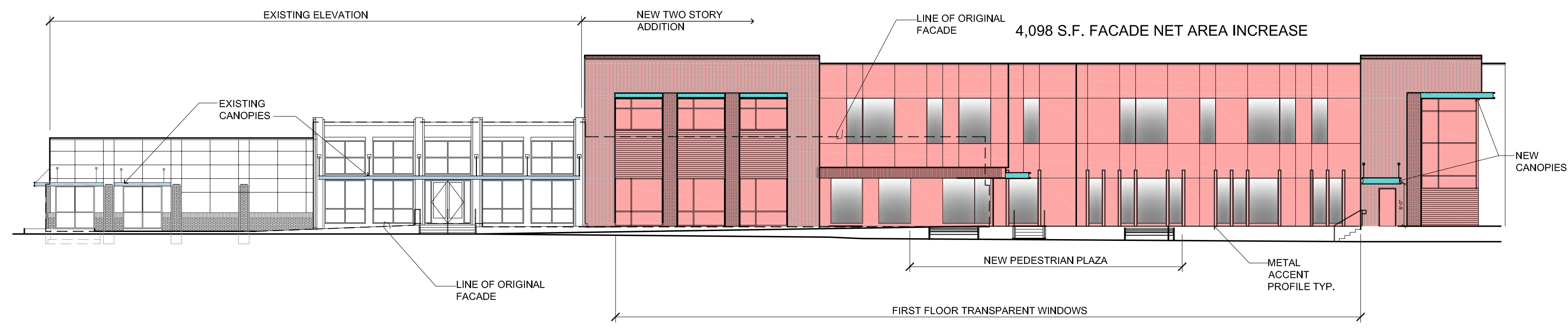






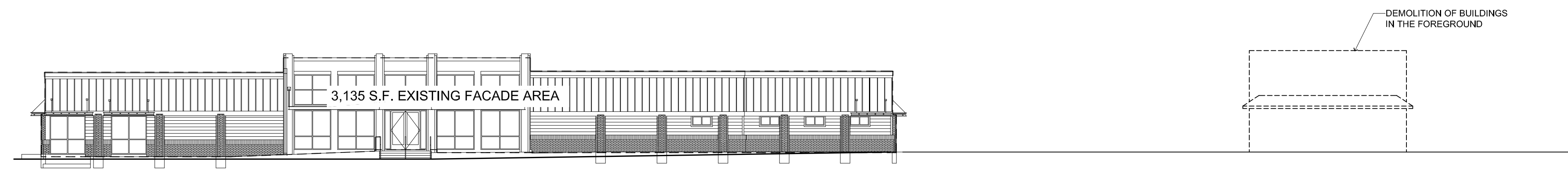
**SITE / FLOOR PLAN- PARTIAL**

SCALE: 1/16" = 1'-0"



**C SOUTH ELEVATION - PROPOSED**

SCALE: 1/16" = 1'-0"



**SOUTH ELEVATION - EXISTING**

**MATERIALS LEGEND**

- NEW BUILDING FACADE
- BRICK - STACK BOND
- BRICK - RUNNING BOND
- SIDING - ALURA WOOD PATTERN
- SIDING - CEMENT BOARD W/ REVEAL JOINTS
- NEW CANOPIES
- EXISTING CANOPIES

**lenity**  
architecture, inc.

3150 Kellea Court SE, Salem, Oregon 97301  
503.399.1090 503.399.0585  
www.lenityarchitecture.com

**northwest**  
human services

A NEW BUILDING ADDITION  
AND REMODEL FOR  
NW HUMAN SERVICES  
1233 Edgewater St. NW, Salem, OR

**EXHIBIT "C"**  
**SOUTH ELEVATION**  
**EDGEWATER ST.**

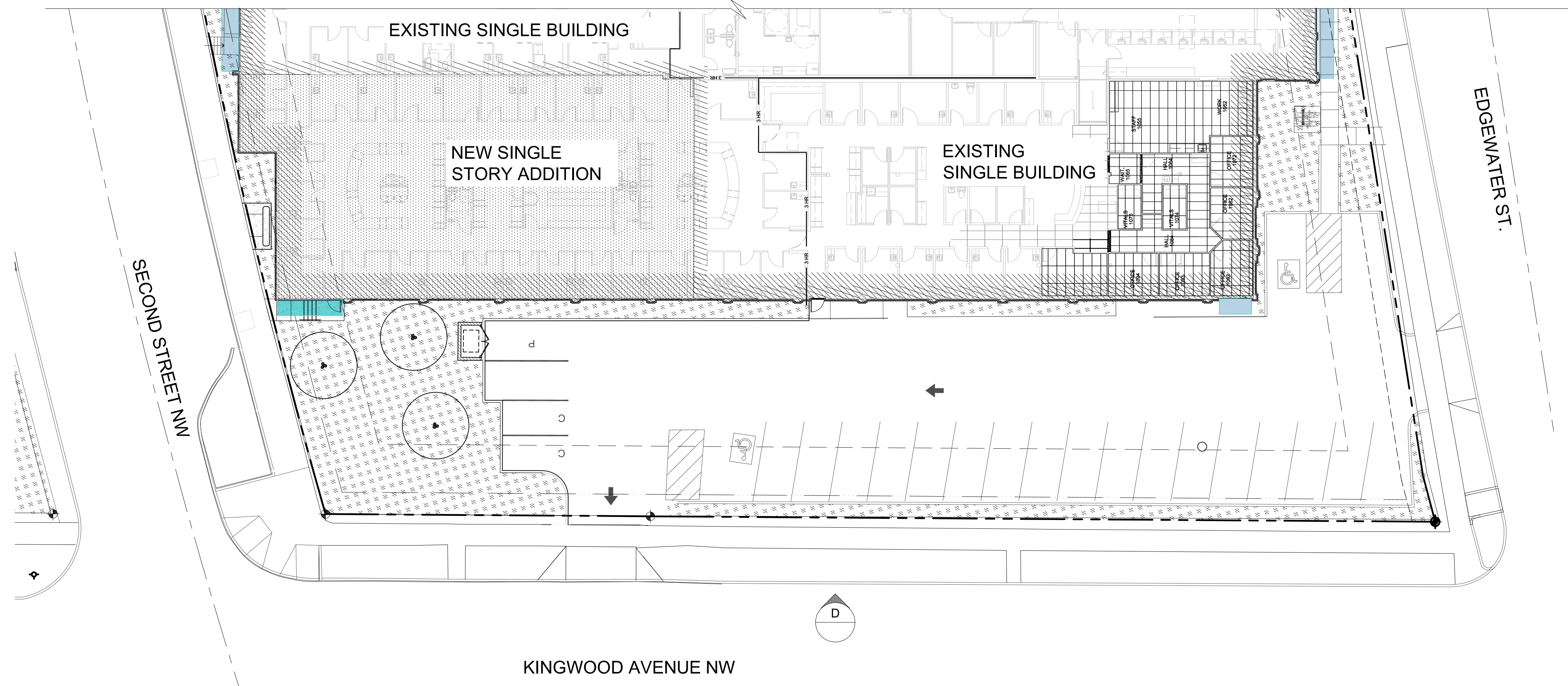
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06/12/19

REVISED DATE

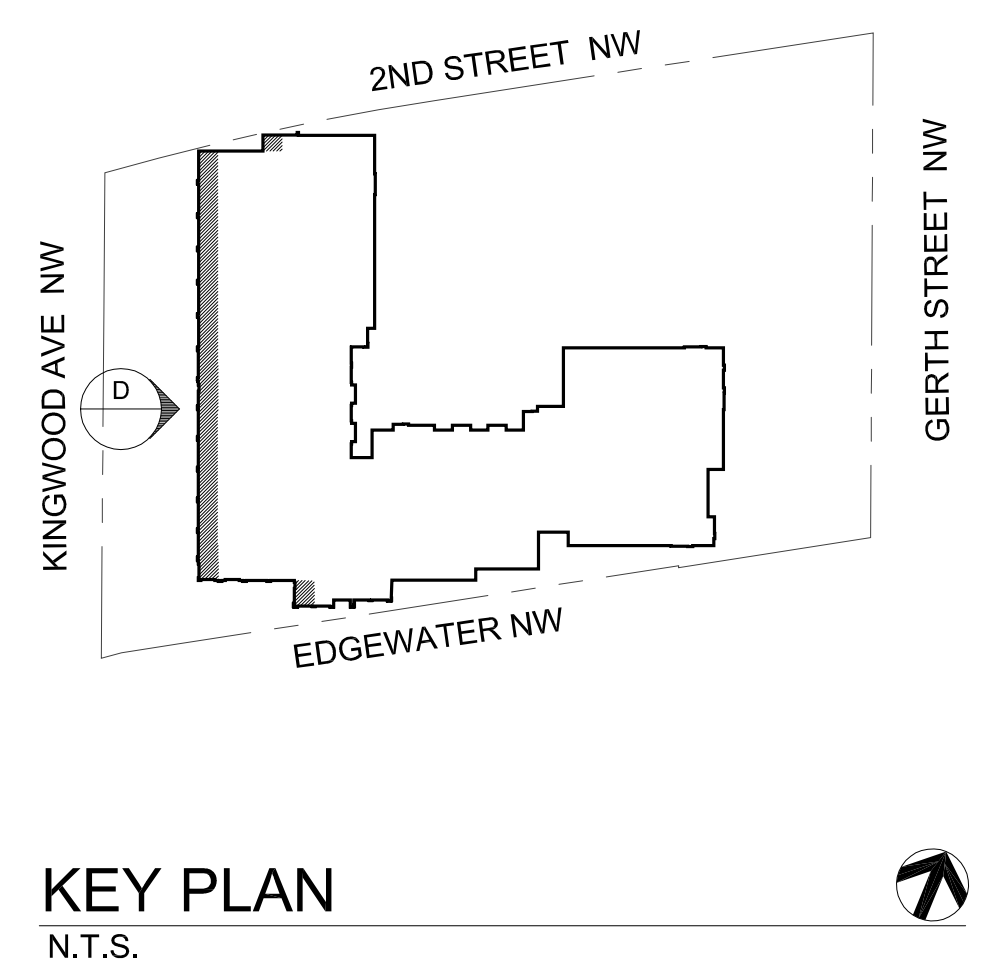
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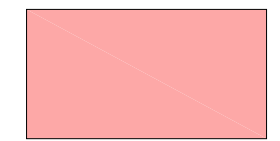
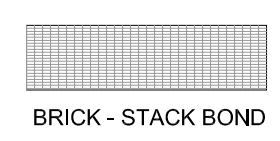

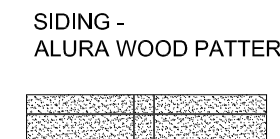
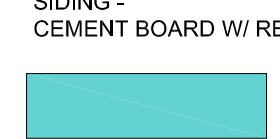
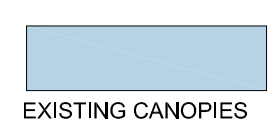



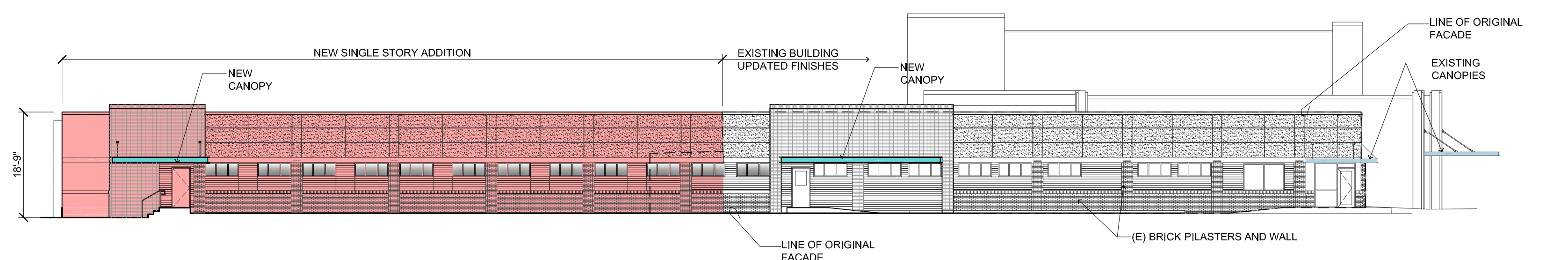


**SITE / FLOOR PLAN- PARTIAL**  
SCALE: 1/16" = 1'-0"



**KEY PLAN**  
N.T.S.

- MATERIALS LEGEND**
-  NEW BUILDING FACADE
  -  BRICK - STACK BOND
  -  BRICK - RUNNING BOND
  -  SIDING - ALURA WOOD PATTERN
  -  SIDING - CEMENT BOARD W/ REVEAL JOINTS
  -  NEW CANOPIES
  -  EXISTING CANOPIES



**D WEST ELEVATION - PROPOSED**  
SCALE: 1/16" = 1'-0"



**WEST ELEVATION - EXISTING**

**lenity**  
architecture, inc.  
3150 Ketta Court SE, Salem, Oregon 97301  
P 503.399.1090 F 503.399.0585  
W lenityarchitecture.com

**northwest**  
humanservices

A NEW BUILDING ADDITION  
AND REMODEL FOR  
NW HUMAN SERVICES  
1233 Edgewater St. NW, Salem, OR

EXHIBIT "D"  
WEST ELEVATION  
KINGWOOD AVE.

DATE  
06/12/19

REVISED DATE

SHEET  
D

06/12/2019 10:10 AM dcmale\_ark0172019 1112.dwg (1/16" = 1'-0") 1233 Edgewater St. NW, Salem, OR





2ND SREET - NORTH VIEW - PEDESTRIAN DROP-OFF



EDGEWATER STREET - SOUTH EAST VIEW - PEDESTRIAN ENHANCEMENT / PLAZA





GERTH SREET NW - SOUTHWEST VIEW



2ND STREET. NW - NORTHWEST VIEW