



HEARING NOTICE

LAND USE REQUEST AFFECTING THIS AREA

There is a development proposal for the property listed in this notice and shown on the attached map. The City is seeking input from neighbors on the proposal. If you have questions or comments about the proposal, contact the case manager.

Esta carta es un aviso sobre una propuesta de desarrollo para la propiedad enumerada y que se muestra en el mapa adjunto. La ciudad está buscando la opinión de los vecinos sobre la propuesta. Si tiene preguntas o comentarios sobre la propuesta, póngase en contacto con nosotros al 503-588-6213

CASE NUMBER:	Historic Design Review Case No. HIS19-40
HEARING INFORMATION:	<u>Historic Landmarks Commission, Thursday, January 16, 2019, 5:30 P.M., Council Chambers, Room 240, Civic Center, 555 Liberty Street SE, Salem, OR 97301</u>
PROPERTY LOCATION:	116 Marion St NE, Salem OR 97301
SUMMARY:	A proposal to construct two new accessory structures, replace existing ramps and fencing, and install security cameras at the Gilbert House Children's Museum.
CASE MANAGER:	Kimberli Fitzgerald, Historic Preservation Officer , City of Salem Planning Division, 555 Liberty Street SE, Room 305, Salem, OR 97301. Telephone: 503-540-2397; E-mail: kfitzgerald@cityofsalem.net .
NEIGHBORHOOD ORGANIZATION:	<i>Neighborhood associations are volunteer organizations of neighbors coming together to make neighborhoods the best they can be. They receive notice of land use applications within their boundaries, and they often submit comments on the applications to the City. Neighborhood association meetings are open to everyone. Contact your neighborhood association to get involved:</i> Central Area Neighborhood Development Organization (CAN-DO), Bruce Hoffman, Land Use Chair; Phone: (503) 781-8542; Email: bruhof@gmail.com .
STAFF REPORT:	The Staff Report will be available seven (7) days prior to the hearing, and will thereafter be posted on the Community Development website: www.cityofsalem.net/notice
ACCESS:	The Americans with Disabilities Act (ADA) accommodations will be provided on request.
CRITERIA:	Salem Revised Code (SRC) Chapter 230.060 - Standards for historic contributing buildings in public historic districts and individually listed public historic resources; (n) Accessory Structures (o) Fences and (g) Alterations & Additions Salem Revised Code (SRC) is available to view at this link: http://bit.ly/salemorcode . Type in the chapter number(s) listed above to view the applicable criteria.

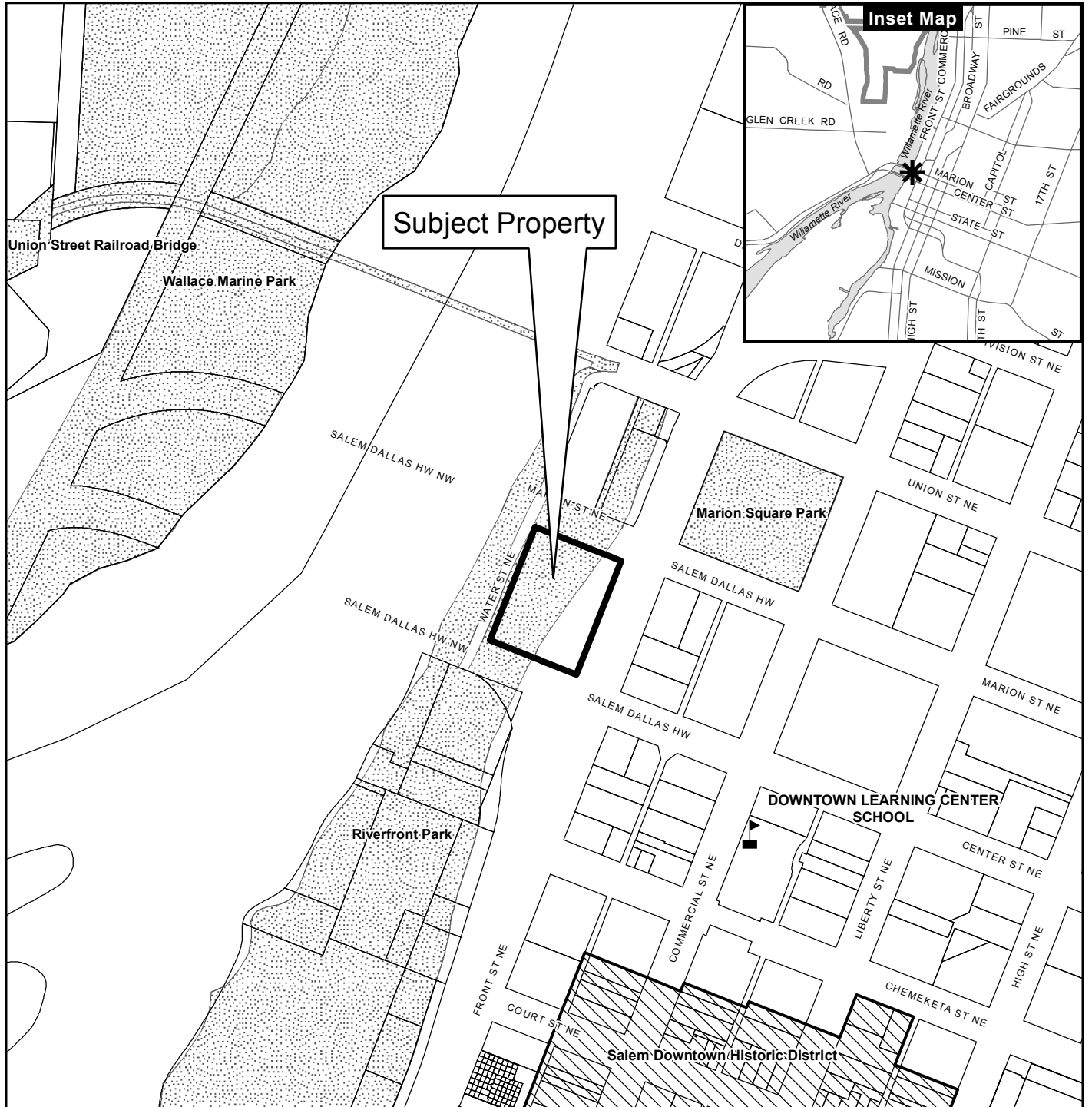
OWNER(S):	City of Salem
APPLICANT / AGENT(S):	Alicia Bay on behalf of Gilbert House Children's Museum
PROPOSAL REQUEST:	A Major Historic Design Review of a proposal to construct two new accessory structures, replace existing ramps and fencing, and install security cameras at the Gilbert House Children's Museum campus, which includes the A.C. Gilbert House (1887), individually listed on the National Register, the Rockenfeld-Bean House (1883), and Parrish House (1860), all designated Salem Local Landmarks, located at 116 Marion St. NE, 97301 (Marion County Assessor Map and Tax Lot number: 073W22DB 07400).
HOW TO PROVIDE TESTIMONY:	Any person wishing to speak either for or against the proposed request may do so in person or by representative at the Public Hearing. Written comments may also be submitted at the Public Hearing. Include case number with the written comments. Prior to the Public Hearing, written comments may be filed with the Salem Planning Division, Community Development Department, 555 Liberty Street SE, Room 305, Salem, Oregon 97301. Only those participating at the hearing, in person or by submission of written testimony, have the right to appeal the decision.
HEARING PROCEDURE:	<p>The hearing will be conducted with the staff presentation first, followed by the applicant's case, neighborhood organization comments, testimony of persons in favor or opposition, and rebuttal by the applicant, if necessary. The applicant has the burden of proof to show that the approval criteria can be satisfied by the facts. Opponents may rebut the applicant's testimony by showing alternative facts or by showing that the evidence submitted does not satisfy the approval criteria. A hearing is not a venue to ask questions of staff, the applicant or the decision maker(s) on this case but rather an opportunity to provide testimony to the decision maker(s) on the merits of the land use case; questions about the application, the recommended conditions of approval, or the Planning Administrator's recommendation, should be directed to the Case Manager prior to the hearing.</p> <p>Any participant may request an opportunity to present additional evidence or testimony regarding the application. A ruling will then be made to either continue the Public Hearing to another date or leave the record open to receive additional written testimony. Failure to raise an issue in person or by letter prior to the close of the Public Hearing with sufficient specificity to provide the opportunity to respond to the issue, precludes appeal to the Land Use Board of Appeals (LUBA) on this issue. A similar failure to raise constitutional issues relating to proposed conditions of approval precludes an action for damages in circuit court.</p> <p>Following the close of the Public Hearing a decision will be issued and mailed to the applicant, property owner, affected neighborhood association, anyone who participated in the hearing, either in person or in writing, and anyone who requested to receive notice of the decision.</p>
MORE INFORMATION:	Documents and evidence submitted by the applicant are available for review and paper copies can be obtained at a reasonable cost. You can also find out more information about the status of the proposed application on the City's online Permit Application Center at https://splash.cityofsalem.net/ . Just enter the permit number(s) listed here: 19-120296-DR
NOTICE MAILING DATE:	December 26, 2019

PLEASE PROMPTLY FORWARD A COPY OF THIS NOTICE TO ANY OTHER OWNER, TENANT OR LESSEE.
For more information about Planning in Salem:
<http://www.cityofsalem.net/planning>






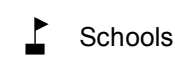

It is the City of Salem's policy to assure that no person shall be discriminated against on the grounds of race, religion, color, sex, marital status, familial status, national origin, age, mental or physical disability, sexual orientation, gender identity and source of income, as provided by Salem Revised Code Chapter 97. The City of Salem also fully complies with Title VI of the Civil Rights Act of 1964, and related statutes and regulations, in all programs and activities. Disability-related modification or accommodation, including auxiliary aids or services, in order to participate in this meeting or event, are available upon request. Sign language and interpreters for languages other than English are also available upon request. To request such an accommodation or interpretation, contact the Community Development Department at 503-588-6173 at least three business days before this meeting or event.

TTD/TTY telephone 503-588-6439 is also available 24/7

Vicinity Map 116 Marion St NE



Legend

-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools
-  Parks

CITY OF Salem
AT YOUR SERVICE
Community Development Dept.

0 100 200 400 Feet



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**AC GILBERT
BUBBLE
HOUSE &
POTIONS LAB**
116 MARION ST NE,
SALEM, OR 97301

OWNER CONTACT:
**AC GILBERT CHILDREN'S
MUSEUM**
ALICIA BAY
EXECUTIVEDIRECTOR@ACGILBERT.ORG

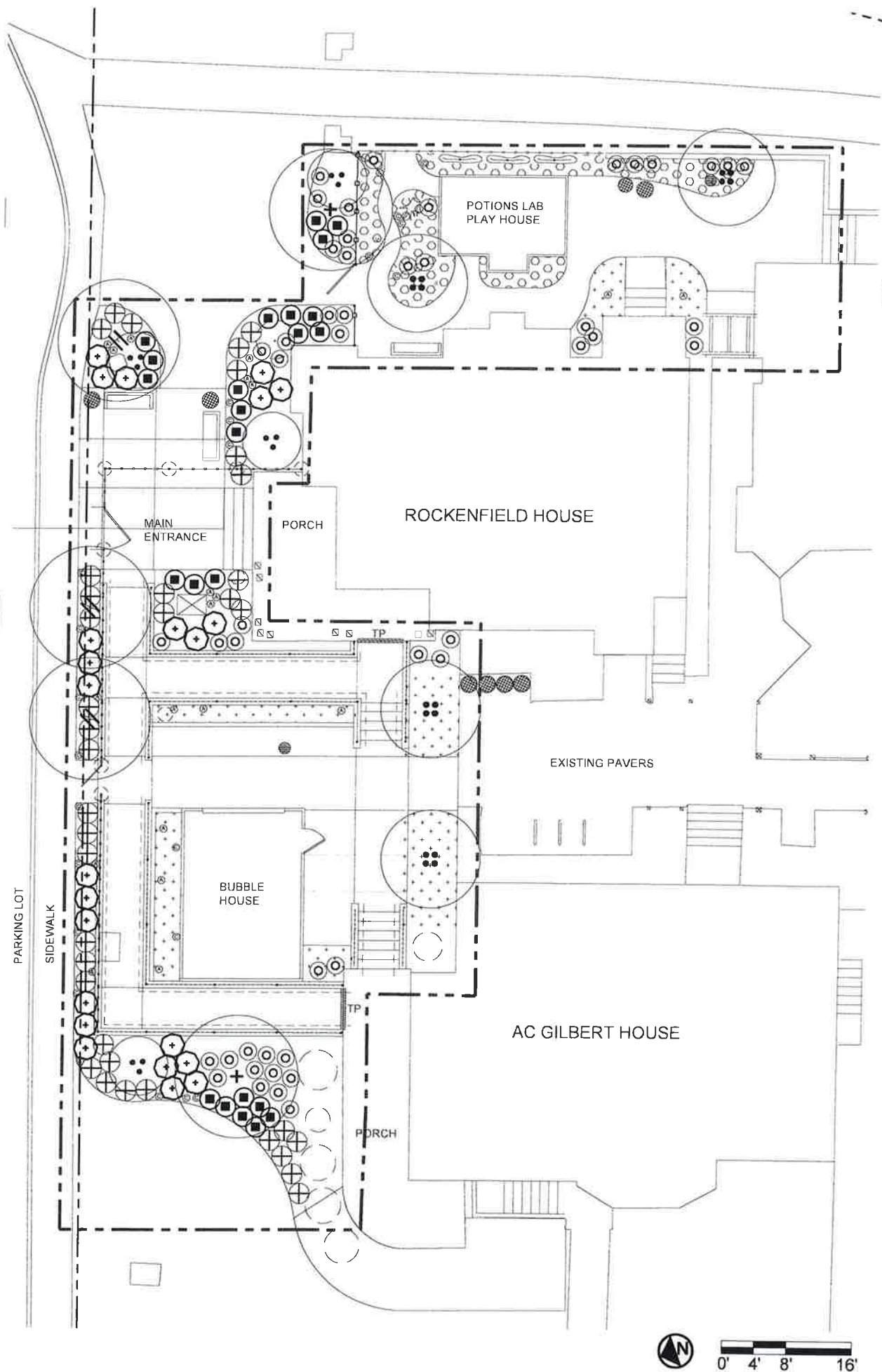
DESIGN CONTACT:
**LEARNING LANDSCAPES
DESIGN LLC**
JAIME ENGLISH
503-915-7022
jaime@learninglandscapesdesign.com

PERMIT SET

AUGUST 30, 2019

**PLANTING
PLAN**

L4.0



PLANT LEGEND

--- PROPERTY LINE
- - - - - LIMIT OF WORK

TREES

- CORNUS NUTTALLII X FLORIDA - 'EDDIE'S WHITE WONDER'; 2" CAL, B&B, BRANCHED @ 6'
- AMELANCHIER ALNIFOLIA 'AUTUMN BRILLIANCE' - AUTUMN BRILLIANCE SERVICE BERRY; 1 1/2" CAL, B&B
- CERCIS CANADENSIS - EASTERN REDBUD 2" CAL, B&B, BRANCHED @ 6'
- EXISTING ESPALIER TO REMAIN

7
L5.2

SHRUBS AND GROUNDCOVER 8-9

L5.2

- ALOYSIA CITRODORA - LEMON VERBINA 1 GAL CONT.
- ROSEMARINUS 'SHIMMERING STARS' 1 GAL CONT.
- LAVANDULA ANGUSTIFOLIA 'BETTY'S BLUE' 1 GAL CONT.
- SALVIA ELEGANS 1 GAL CONT.
- POLYSTICHUM MUNITUM - WESTERN SWORD FERN 1 GAL CONT.
- ALLIUM GIGANTEUM - WHITE GIANT ALLIUM 7 BULBS EACH SPECIES
- CROCUS CHRYSANTHUS - PRINCE CLAUS CROCUS 15 BULBS EACH SPECIES
- CUT FLOWER MIX (385 SF)
1 GAL CONT, 18" O.C TRIANGULAR SPACING- PLANT IN GROUPS OF 3'S AND 5'S
9% VIOLA ODORATA: SWEET VIOLET (PERENNIAL PANSY)
9% COREOPSIS 'DAY BREAK'
9% COREOPSIS 'ZAGREB' 1 GAL CONT, 2' O.C.
9% LEUCANTHEMUM 'ALASKA - DAISY
9% RUDBECKIA HIRTA 'PRAIRIE SUN - BLACK-EYED SUSAN
9% ESCHSCHOLZIA CALIFORNICA - CALIFORNIA POPPY
27% STIPA TENUISSIMA - MEXICAN FEATHER GRASS
9% MATRICARIA CHAMOMILLA - CHAMOMILE
10% ALLIUM 'SILVER SPRING' - ALLIUM
- PICKING GARDEN MIX (245 SF)
1 GAL, 18" O.C., TRIANGULAR SPACING,
PLANT IN GROUPS OF 3-5 BY SPECIES
7% ALCHEMILLA MOLLIS - LADY'S MANTLE
7% COREOPSIS - TICKSEED
7% ECHINACEA - CONEFLOWER
7% MUSCARI - GRAPE HYACINTH
7% MYOSOTIS SYLVATICA - FORGET-ME-NOT
7% OREGANUM VULGARE - OREGANO
7% SEDUM SPECTABILE 'AUTUMN JOY' - AUTUMN JOY STONECROP
7% STACHYS BYZANTINA 'SILVER CARPET' - LAMB'S EAR
7% PAPAVER RHOEAS - 'CORN POPPY'
7% LUNARIA ANNUA - 'SILVER DOLLAR PLANT'
30% BOUTELOUA GRACILIS 'BLONDE AMBITION'- BLUE GRAMA GRASS
- PLANTER MIX
1 GAL CONTAINERS
(2) MINTMENTHA SPICATA 'MOROCCAN' - MOROCCAN MINT
(1) SCHIZACHYRIUM SCOPARIUM 'BLUE HEAVEN' - LITTLE BLUE STEM
(1) IPOMOEA BATATAS 'BLACKIE' - SWEET POTATO VINE

PLANTING / IRRIGATION NOTES

- ALL NEW PLANTING AREAS SHALL BE IRRIGATED UTILIZING A DESIGN BUILD FULLY AUTOMATIC IRRIGATION SYSTEM PROVIDED BY CONTRACTOR.
- THERE IS AN EXISTING IRRIGATION SYSTEM ON SITE THAT MUST BE PROTECTED AND MODIFIED, SEE SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE TOPSOIL, SOIL AMENDMENTS AND MULCH AS SPECIFIED.
- ALL PLANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS AND SPECIFICATIONS PROVIDED AS PART OF THE CONSTRUCTION DOCUMENT PACKAGE.
- QUANTITIES ARE LISTED FOR THE CONTRACTOR'S CONVENIENCE ONLY. ALL COUNTS MUST BE VERIFIED BY THE CONTRACTOR. IN THE CASE OF A DISCREPANCY BETWEEN THE LEGEND AND THE PLAN, PLANTS INDICATED ON THE PLAN SHALL SUPERCEDE QUANTITIES LISTED IN THE LEGEND.

SOIL PREPARATION NOTES

- A. PREPARATION:
CONTRACTOR TO PREPARE PLANTING AREAS AS OUTLINED IN THE SPECIFICATIONS. SEE SITE PREPARATION SPEC FOR FULL INFORMATION.
- REMOVE PLANTING NOT IDENTIFIED FOR PROTECTION, SOD AND INVASIVE PLANTS
 - FINISH GRADING: GRADE PLANTING BEDS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
 - LIGHTLY SCARIFYING TOP 3" OF SOIL.
 - PREPARE PLANTING SOIL PER C. BELOW.

B. SITE CONDITIONS:

- THE PLANTING SOIL SHALL BE PREPARED ONLY WHEN WEATHER AND SOIL CONDITIONS ALLOW. DO NOT ATTEMPT SOIL PREPARATION WORK WHEN WEATHER OR SOIL CONDITIONS WOULD CONTRIBUTE TO POOR OR IMPROPER MIXING, VOIDS, OR OTHER ADVERSE CONDITIONS.
- EXAMINE THE ENTIRE SITE FOR CONDITIONS THAT WILL ADVERSELY AFFECT EXECUTION, PERMANENCE AND QUALITY OF WORK, AND SURVIVAL OF PLANT MATERIALS. PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
- DO NOT ALLOW RUNOFF OF TOPSOIL AND FERTILIZERS TO LEAVE SITE OR ENTERING STORM SYSTEMS, OR ANY WATERWAY.

C. PLANTING SOIL:

- THIS SPECIFICATION APPLIES ONLY TO ON-SITE MODIFIED PLANTING SOIL. IF TOP SOIL WAS NOT STOCKPILED NEW PLANTING SOIL MUST BE PROVIDED.
- ON-SITE AMENDED TOP SOIL PLANTING SOIL: EXISTING, NATIVE SURFACE TOPSOIL FORMED UNDER NATURAL CONDITIONS WITH THE DUFF LAYER RETAINED DURING EXCAVATION PROCESS COMBINED WITH SOIL AMENDMENTS TO PRODUCE ACCEPTABLE PLANTING SOIL.
 - 50% TOP SOIL: VERIFY SUITABILITY OF NATIVE SURFACE TOPSOIL TO PRODUCE VIABLE PLANTING SOIL. CLEAN SOIL OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, AND OTHER EXTRANEIOUS MATERIALS HARMFUL TO PLANT GROWTH.
 - 50% COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, PH RANGE OF 5.5 TO 8; ORGANIC MATTER CONTENT 50%; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 1/2-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISIMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS.
- FERTILIZER: PERMAMATRIX@ BSP FOUNDATION
 - APPLY AT 12 LBS. PER 1,000SF. TO ALL PLANTED, SEED, AND LAWN AREAS.

D. PLANTING:

- LOCATE PLANTS ON SITE WHERE DESIRED. FOLLOW DETAILS FOR LAYOUT.
- 2DIG HOLE AND BACK FILL ALL PLANTING HOLES WITH PLANTING SOIL AS OUTLINED ABOVE AND PER DETAIL.
- MULCH ALL PLANTING AREAS WITH 3" OF WOOD FIBER MULCH.
- WATER UNTIL PLANTS ARE ESTABLISHED.

E. CLEAN UP:

- KEEP PROJECT SITE FREE FROM ACCUMULATION OF DEBRIS, TOPSOIL, AND OTHER MATERIAL.
- AT COMPLETION OF EACH AREA OF WORK, COMPLETELY REMOVE DEBRIS, EQUIPMENT, AND SURPLUS MATERIALS.
- ANY PAVED AREA OR SURFACES STAINED OR SOILED FROM LANDSCAPING MATERIALS SHALL BE CLEANED WITH A POWER SWEEPER USING WATER UNDER PRESSURE.





AC GILBERT ENTRANCE & PLAY PH I.

116 MARION ST NE,
SALEM, OR 97301

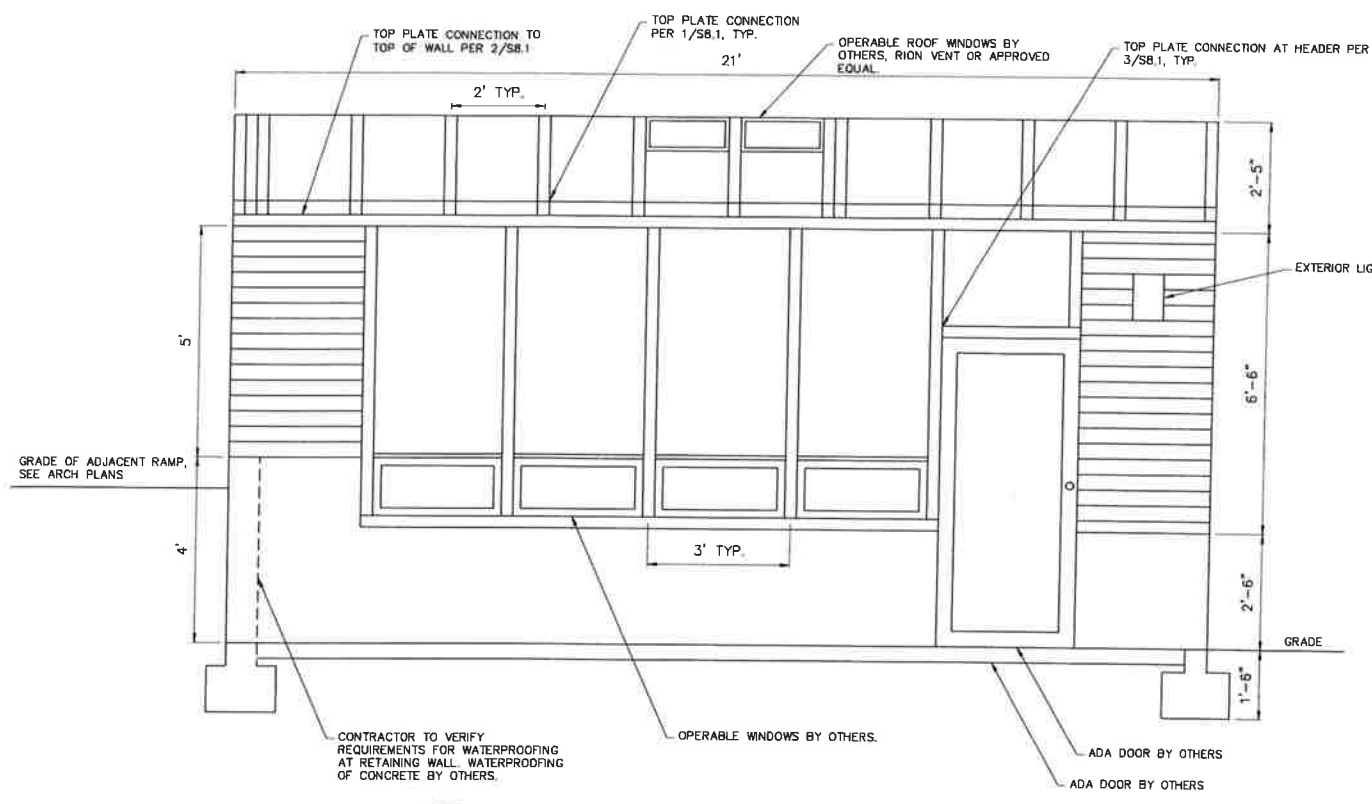
OWNER CONTACT:
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ALICIA BAY
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DESIGN CONTACT:
LEARNING LANDSCAPES DESIGN LLC
JAIME ENGLISH
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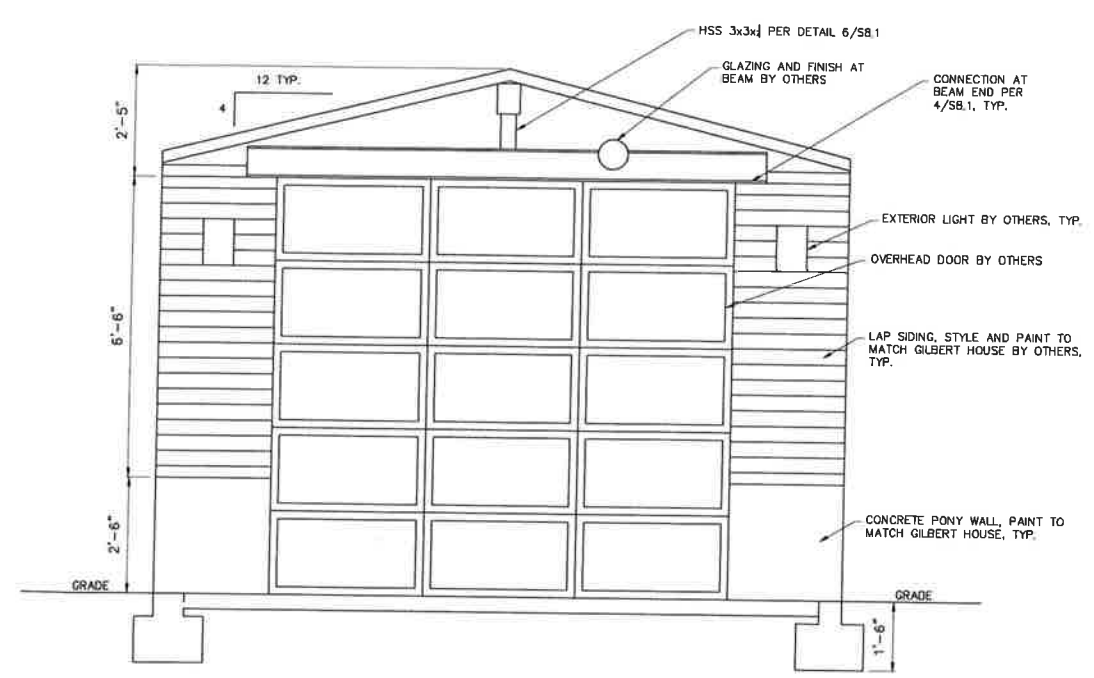
PERMIT SET

AUGUST 30, 2019

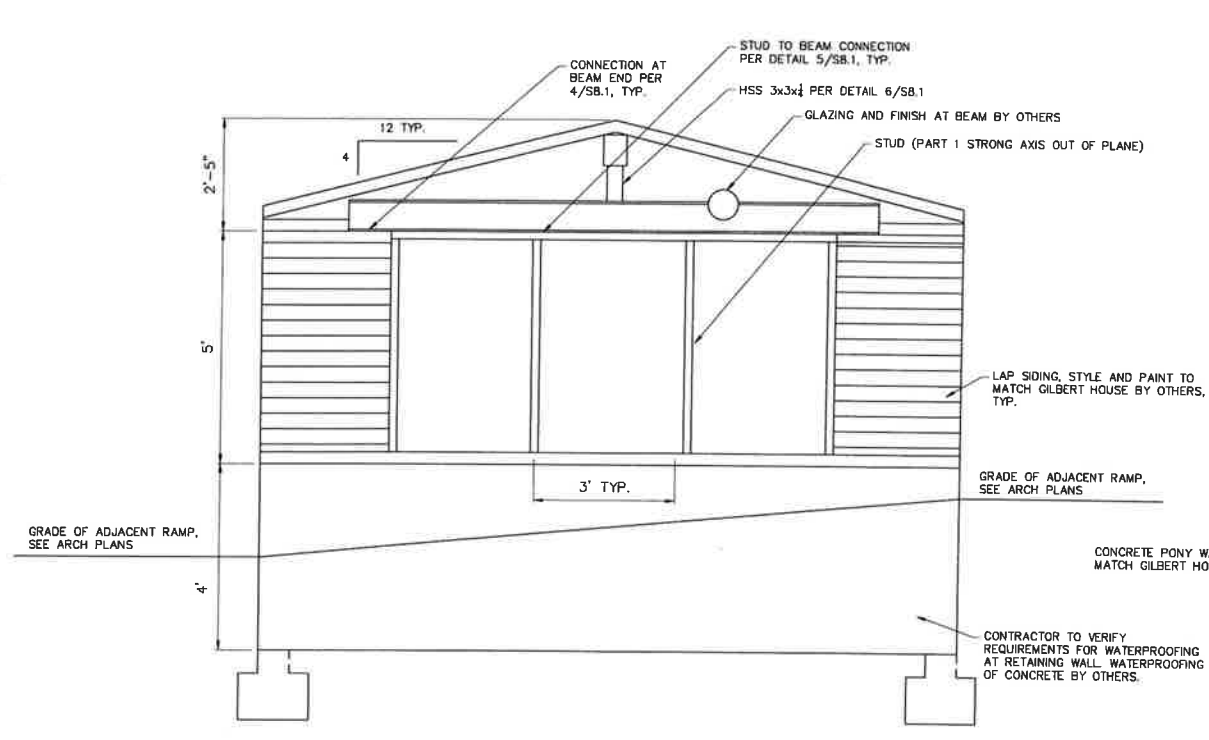
STRUCTURAL ELEVATIONS



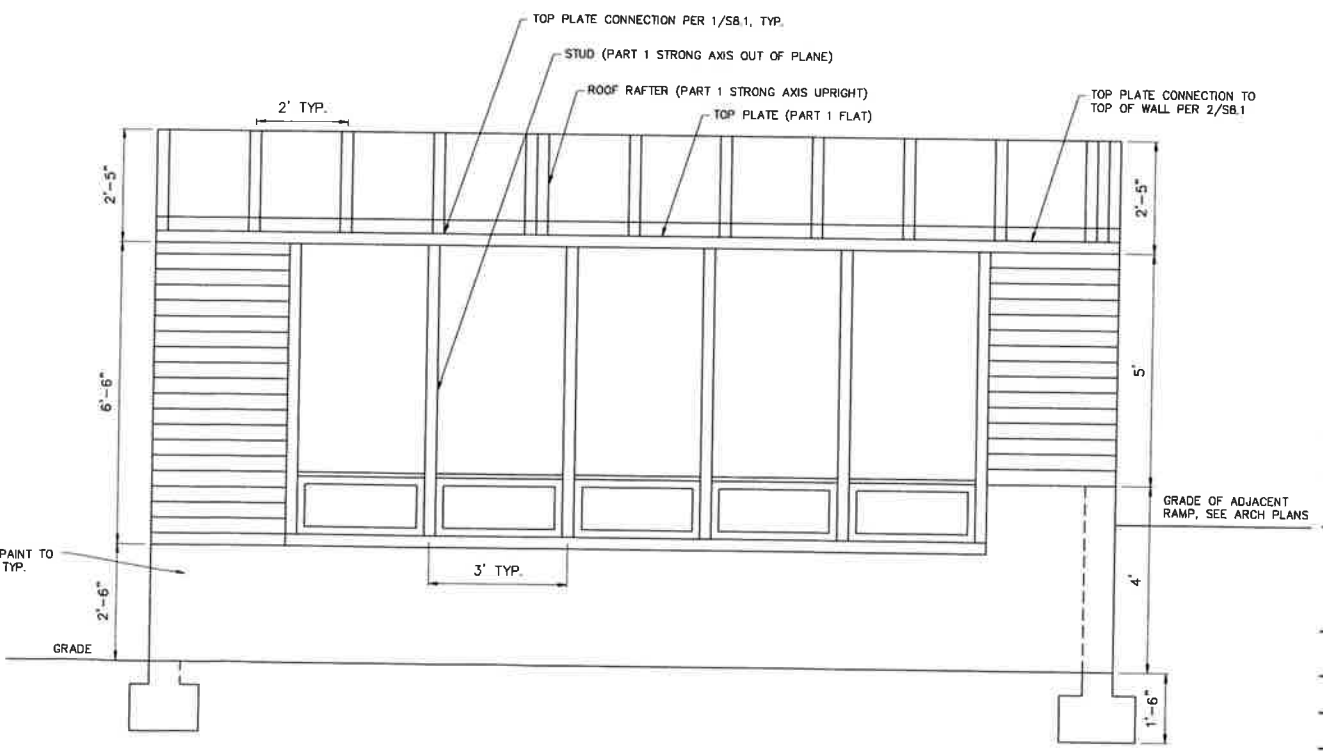
1 S3.1 LEFT ELEVATION
HOR. SCALE 1/2" = 1'
(IN FEET)



2 S3.1 FRONT ELEVATION
HOR. SCALE 1/2" = 1'
(IN FEET)



3 S3.1 REAR ELEVATION
HOR. SCALE 1/2" = 1'
(IN FEET)



4 S3.1 RIGHT ELEVATION
HOR. SCALE 1/2" = 1'
(IN FEET)

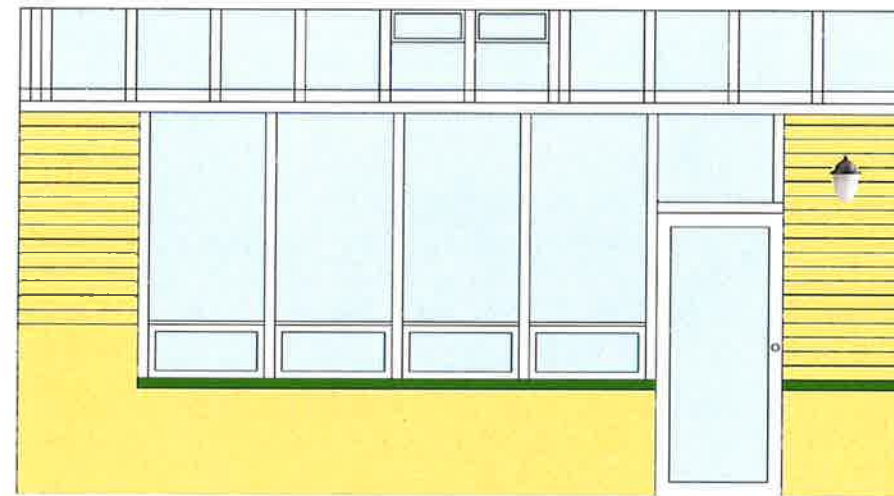
PROPOSED COLOR OPTIONS FOR BUBBLE FACTORY EXTERIOR

ADJACENT TO GILBERT HOUSE

Color treatment will be the same on all sides. Green is our preferred accent color.

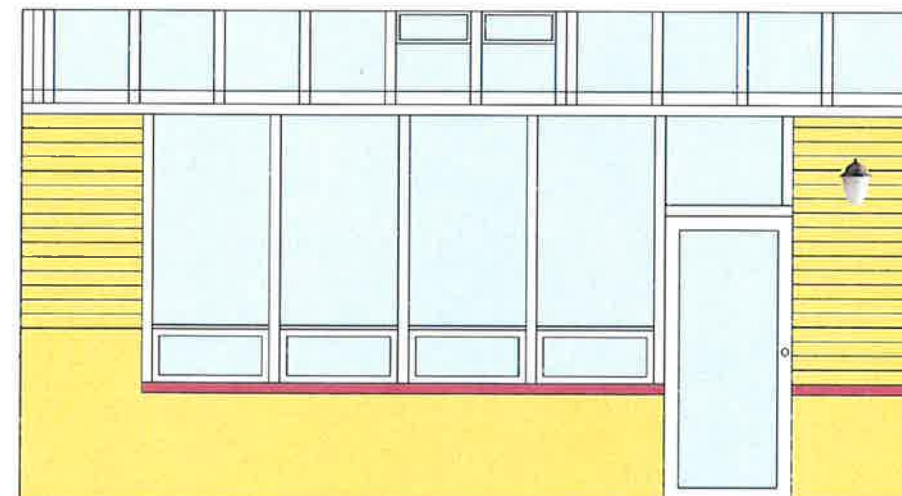


Porch post showing all colors used on Gilbert House.



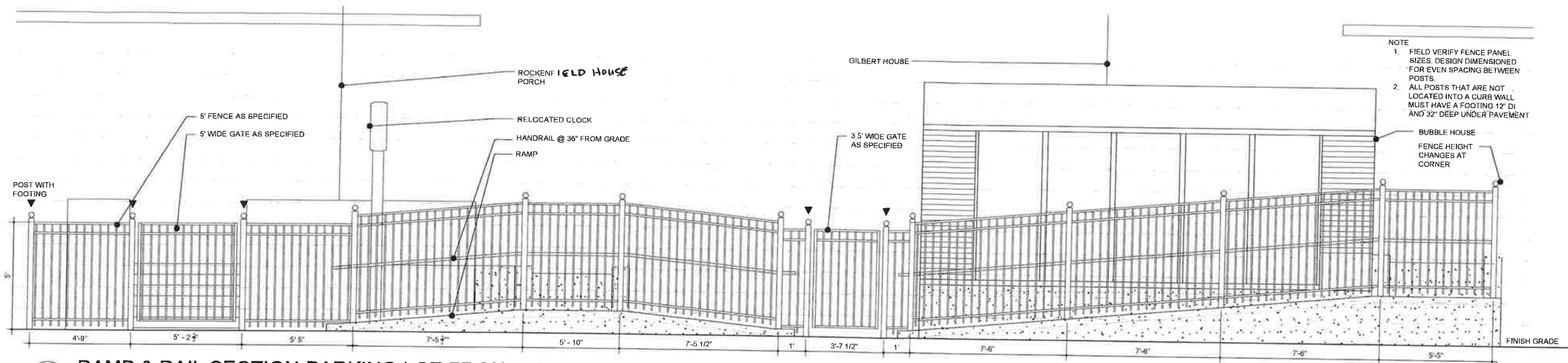
Bubble House Facade

Paint color, siding, concrete foundation & acorn lights to match Gilbert House Exterior

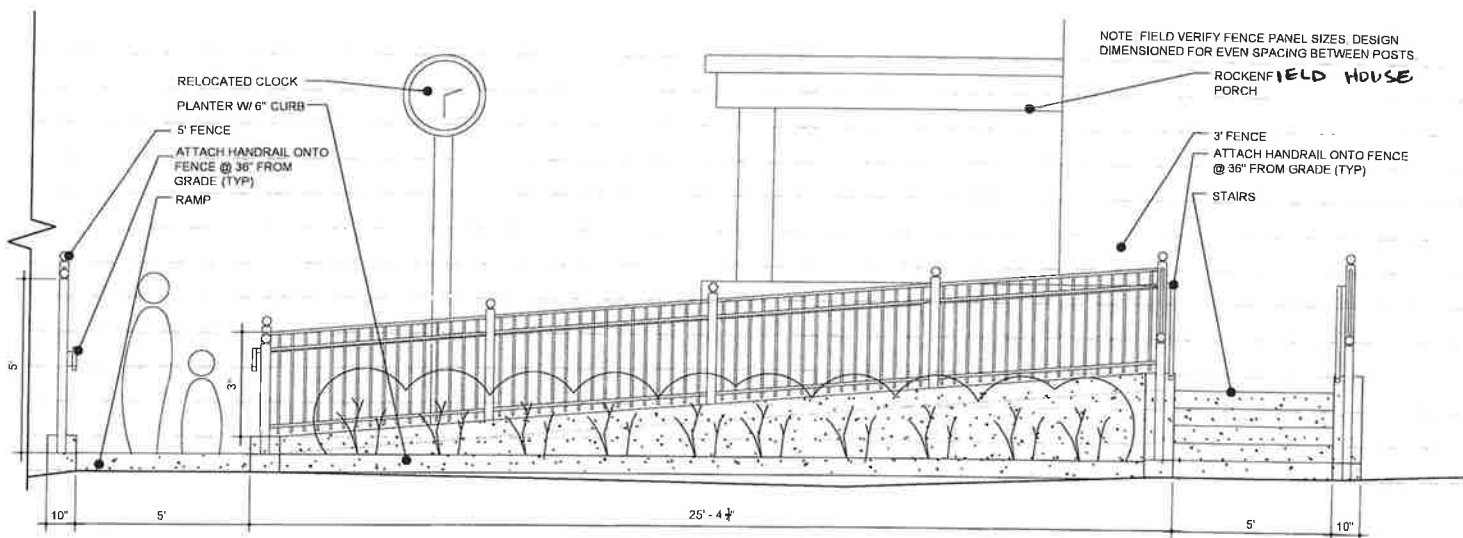


Bubble House Facade

Paint color, siding, concrete foundation & acorn lights to match Gilbert House Exterior

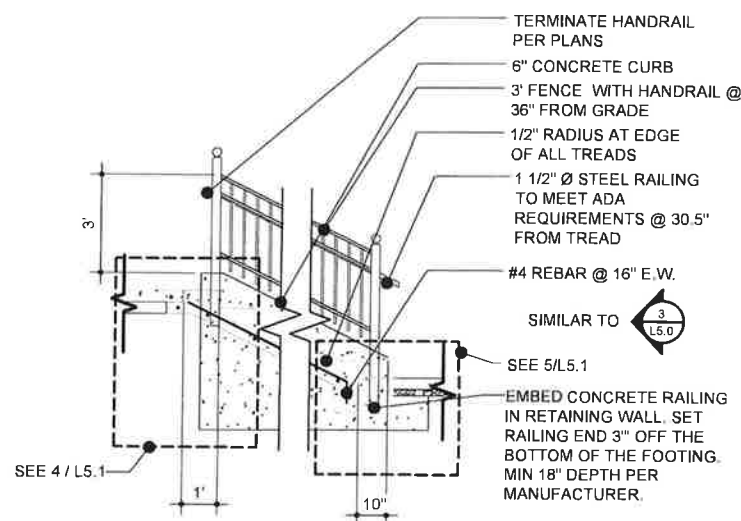


1 RAMP & RAIL SECTION-PARKING LOT FRONTAGE
SIDE ELEVATION

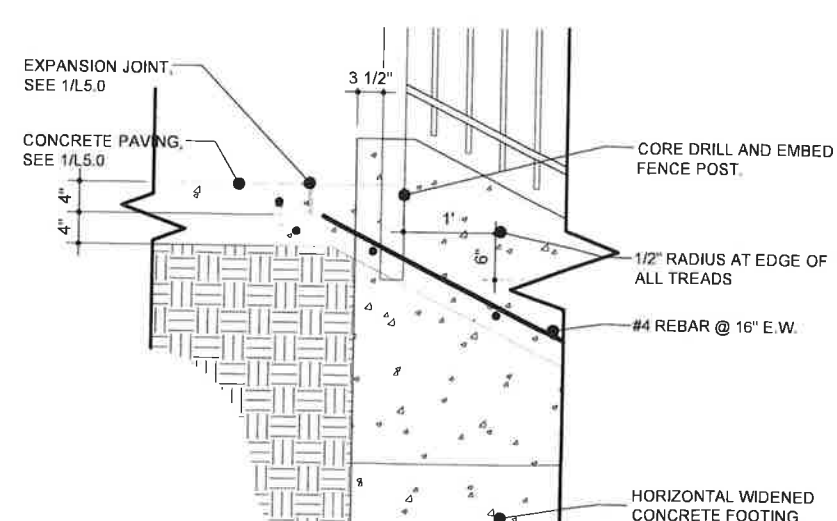


2 RAMP & RAIL SECTION - PLANTER
SIDE ELEVATION

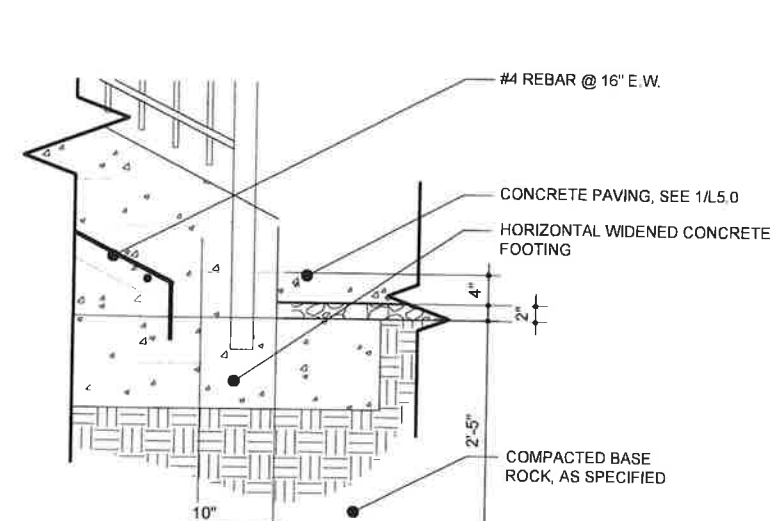
* Bubble House in relation to Gilbert House facade



3 CONCRETE STEPS & RAILING (TYP)
SIDE ELEVATION



4 HANDRAIL POST ATTACH. TOP OF STAIR
SECTION



5 HANDRAIL POST ATTACH. BOTTOM OF STAIR
SECTION



REGISTERED
721

MICHELLE G MATHIS
OREGON
8-31-09
LANDSCAPE ARCHITECT

AC GILBERT BUBBLE HOUSE & POTIONS LAB

116 MARION ST NE,
SALEM, OR 97301

OWNER CONTACT:
AC GILBERT CHILDREN'S
MUSEUM
ALICIA BAY
EXECUTIVEDIRECTOR@ACGILBERT.ORG

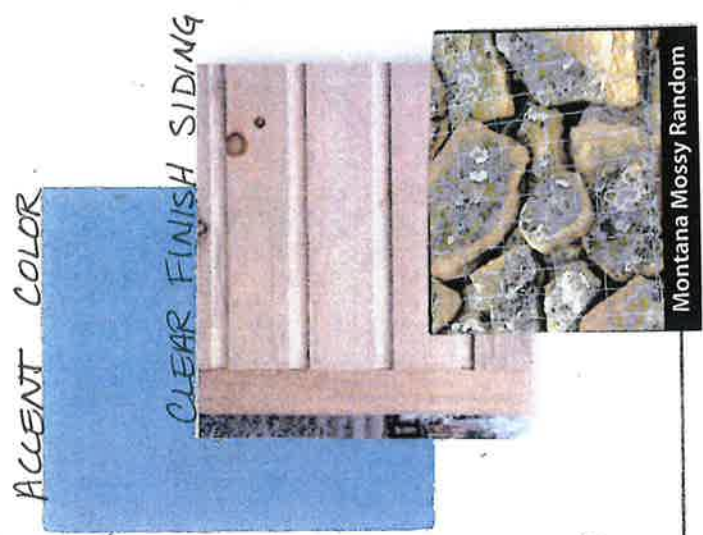
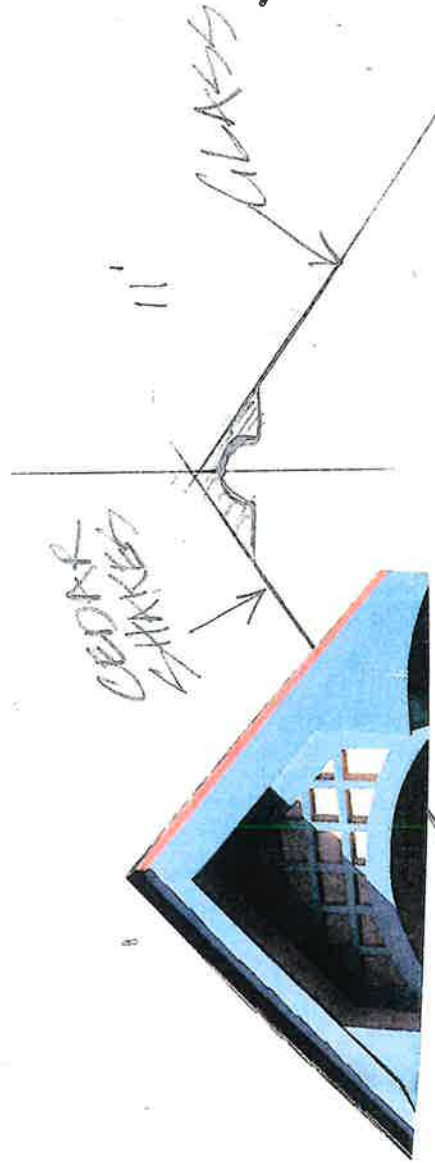
DESIGN CONTACT:
LEARNING LANDSCAPES
DESIGN LLC
JAIME ENGLISH
503-915-7022
jaime@learninglandscapesdesign.com

PERMIT SET

AUGUST 30, 2019

DETAILS

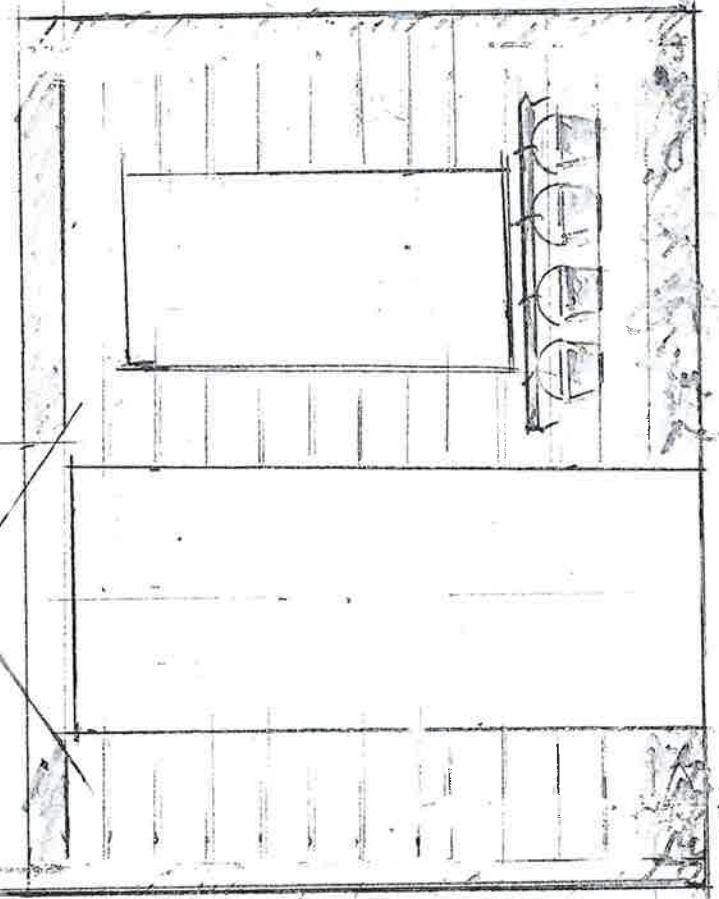
L5.1



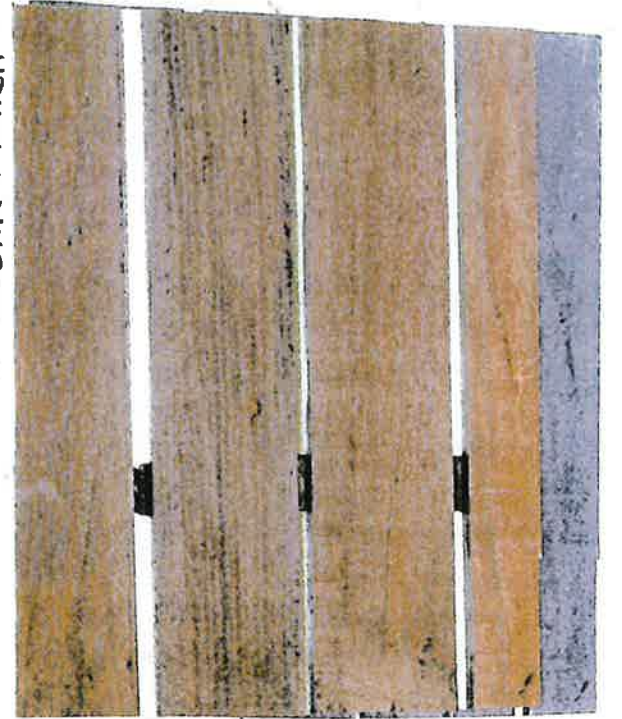
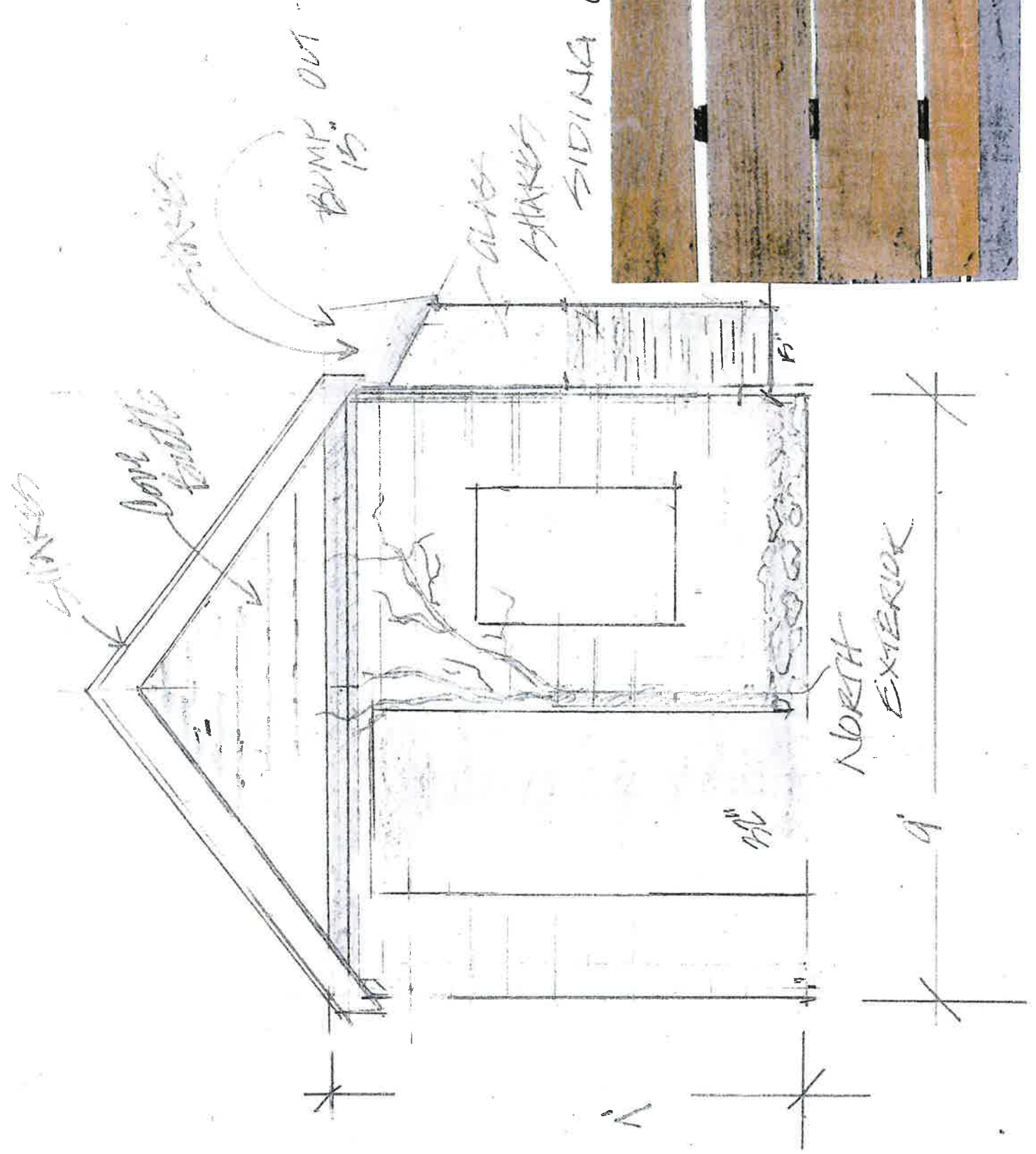
Montana Mossy Random

ACCENT COLOR
CLEAR FINISH SIDING

ROCK FOUNDATION



SOUTH EXTERIOR

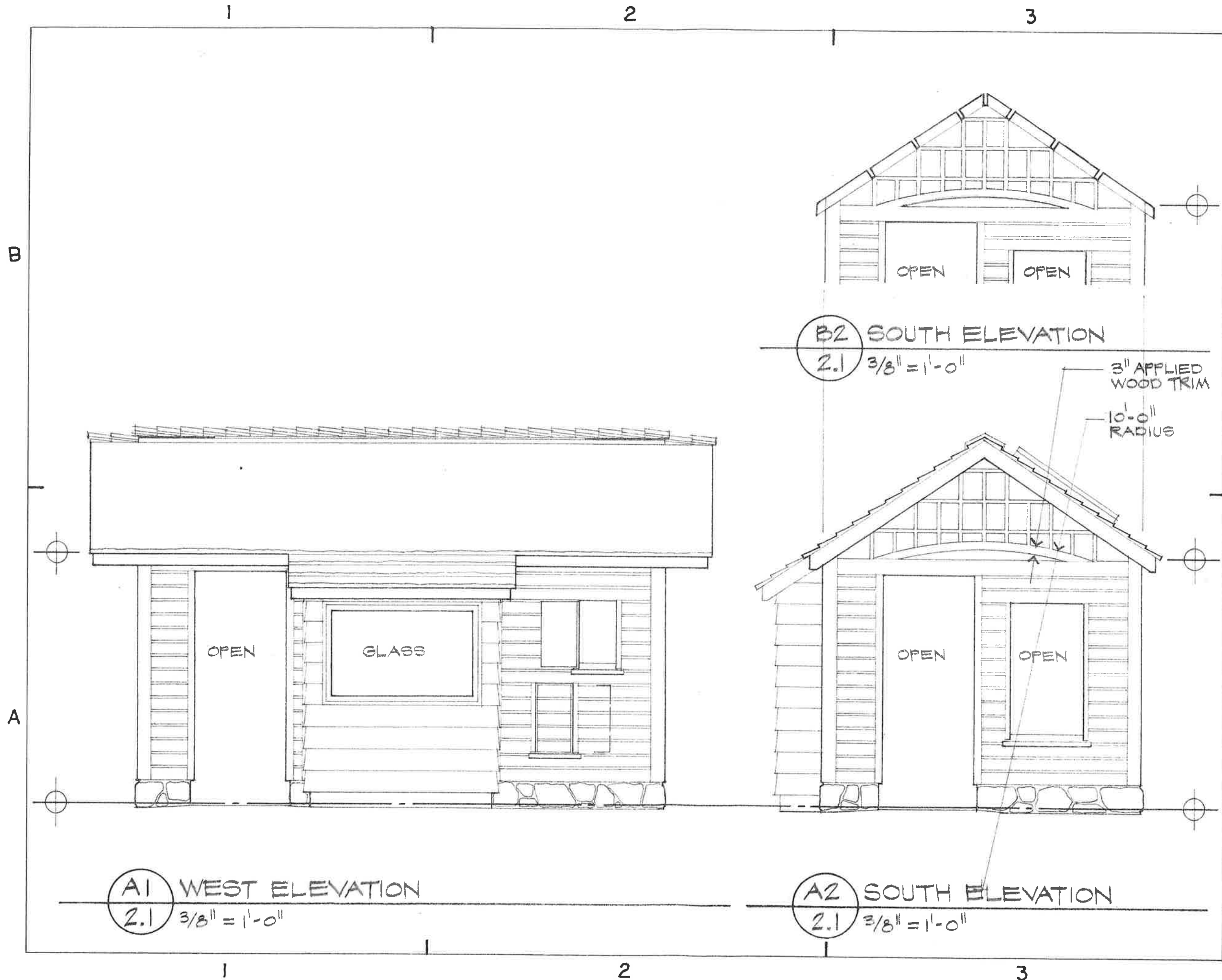


CLEAR FINISH SIDING

ALUMINUM SHAKES

NORTH EXTERIOR

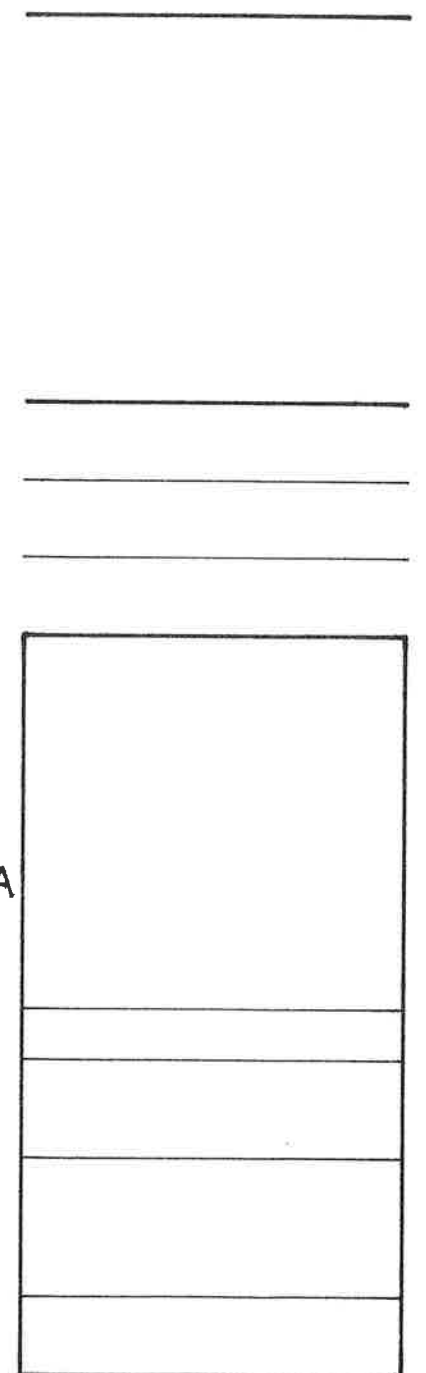
Garden House Colors & Materials

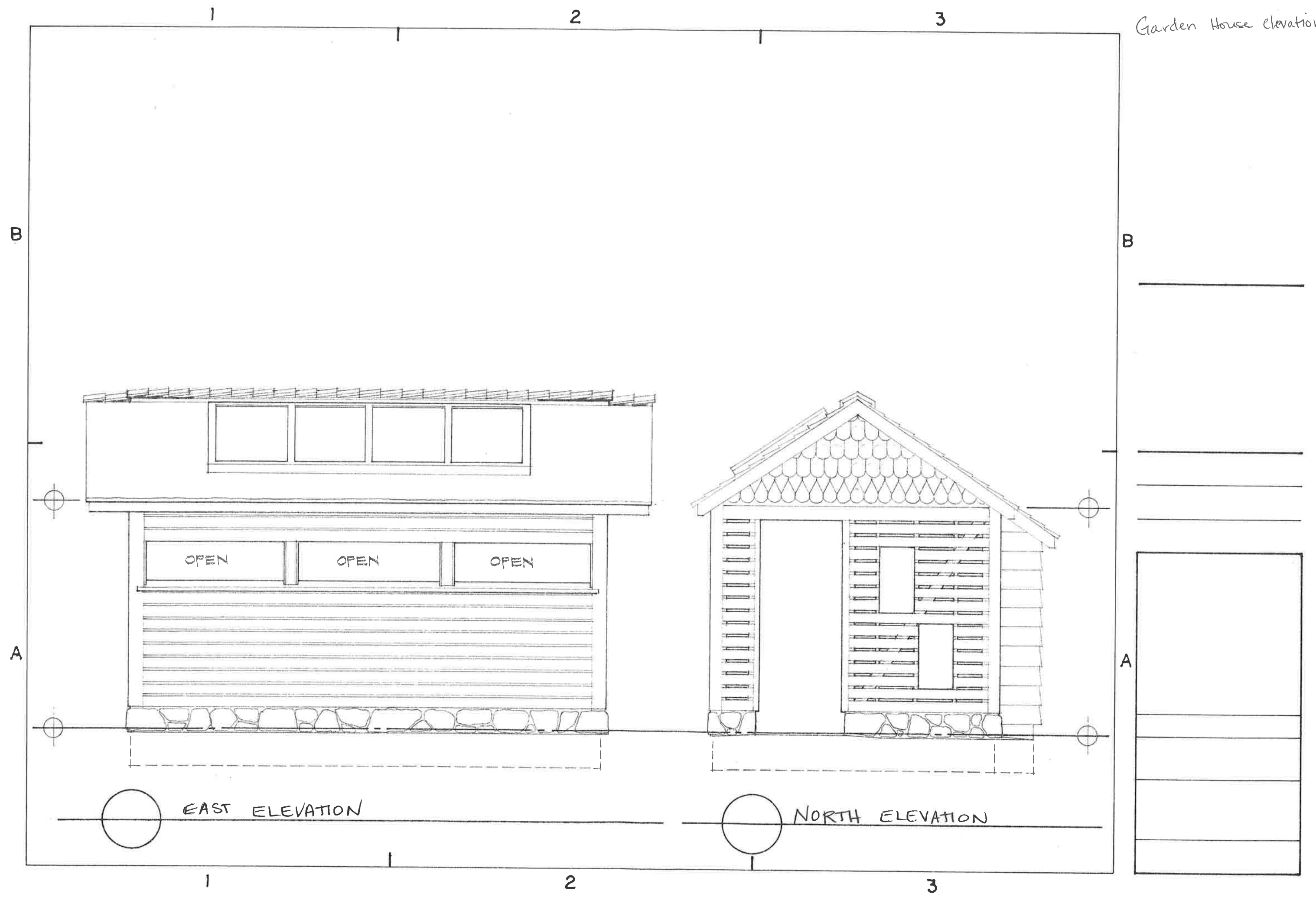


B2 SOUTH ELEVATION
2.1 3/8" = 1'-0"

A1 WEST ELEVATION
2.1 3/8" = 1'-0"

A2 SOUTH ELEVATION
2.1 3/8" = 1'-0"





EAST ELEVATION

NORTH ELEVATION

Written Statement for Security Camera installation

We are proposing 6 cameras to be installed at Gilbert House Children's Museum for enhanced security of the historic houses and the site.

Locations:

Front porch of Rockenfield

Front porch of Gilbert

Inside foyer of Gilbert

Front porch of Parrish

Inside front room of Parrish

On outdoor bathroom building facing garbage dumpster area

Please see photos below and orange highlights on site plan map (60-Site-Plan-REV02) for locations.

Email from Howard Mike of F & S Security and Electronics with installation details:

Good afternoon Sierra,

We will run all wire chases on the surface with either conduit or nice duct or wire mold. These chases will be both inside and outside. All material is paintable and be as minimal as we can to get the job completed. We will be getting power from the head end location where the recording device will be located in the basement. . . I believe this answers all the questions that are below and if not feel free to contact me.

Thank you,

Howard Mike

Operations Manager

F & S Security and Electronics

howard@fselectronics.com

503-371-3984 office

503-991-8272 cell

Camera proposed:



Howard indicated that F & S Security and Electronics has installed security devices at other historic sites in Salem with approval from the city.

Photos of proposed camera locations:

