

**TO:** Historic Landmarks Commission

**THROUGH:** Lisa Anderson-Ogilvie, AICP, Planning Administrator

**FROM:** Kimberli Fitzgerald, AICP, Historic Preservation Officer

**HEARING DATE:** February 21, 2019

**CASE NO.:** Historic Design Review Case No. HIS18-39

**APPLICATION SUMMARY:** A proposal to replace wireless antennae and associated equipment on an existing water tank at the Willamette Heritage Center.

**LOCATION:** 1313 Mill Street SE (Marion County Assessor map and tax lot numbers: 073W26BC/4100)

**REQUEST** Major historic design review of a proposal to modify an existing wireless communication facility, replacing 6 wireless antennae and associated equipment with 6 antennae and associated equipment on an existing water tank (1925) within the Willamette Heritage Center/ Thomas Kay Historic Park, individually listed on the National Register of Historic Places, on property zoned CR (Retail Commercial), and located at 1313 Mill Street SE, 97301; Marion County Assessor Map and Tax Lot number: 073W26BC04100.

**APPLICANT:** Natalie Erlund, FDH Velocitel for AT&T

**APPROVAL CRITERIA:** Salem Revised Code (SRC) Chapter 230  
230.065 General Guidelines for Historic Contributing Buildings

**RECOMMENDATION:** **APPROVE** with the following **CONDITION:**

**Condition 1:** Any new or replacement communication device(s), including but not limited to dishes, antennas and associated equipment shall not exceed the total number and cumulative size of the dishes, antennas and associated equipment currently approved for installation.

## **BACKGROUND**

On December 26, 2018, the applicant submitted materials for a Major Historic Design Review for replacing six (6) AT&T antennas and associated equipment on the water tower at the Willamette Heritage Center. The application was deemed complete for processing on January 24, 2019. In 2013, the Historic Landmarks Commission (HLC) approved AT&T's proposal to remove three antennas, relocate three antennas and install nine new antenna panels on the water tower (HIS 13-16). Due to concerns about the cumulative adverse effect resulting from adding more antenna to the exterior of the water tower, the HLC added a condition of approval which limited future installation of antenna by this applicant to twelve. In 2014, the HLC approved the replacement of six antennas with three panel antennas on the water tower for Cricket, on the condition that any future replacement antenna would not exceed three by this applicant. These replacement antennas were not installed, and that decision expired on April 10, 2016. Cricket has since been acquired by AT&T. On July 21, 2016 the HLC approved HIS16-16 approving the replacement of six antennas and the removal of Cricket's six antennas (**Attachment D**). A subsequent HLC Decision (HIS16-33) approved adding six radio heads behind antennas on the water tank and the ground shelter. A total of twelve antennas with associated equipment have been approved for AT&T on this water tower with a condition of approval that future modifications to this antenna facility not exceed this total number and size of the antennas and associated equipment currently approved for installation (**Attachment E**).

Notice of public hearing was sent by mail to surrounding property owners pursuant to Salem Revised Code (SRC) requirements on January 31, 2019 (**Attachment A**). Public hearing notice was also posted on the property in accordance with the posting provision outlined in SRC 300.620.

The City of Salem Historic Landmarks Commission will hold a public hearing for the case on February 21, 2019 at 5:30 p.m., in Council Chambers, Room 240, located at 555 Liberty Street SE.

The state-mandated 120-day deadline to issue a final local decision, including any local appeals in this case is May 24, 2019, unless an extension is granted by the applicant.

## **PROPOSAL**

The applicant, AT&T, is proposing modifications to the exterior of the Thomas Kay Woolen Mill water tower (1926), which includes the replacement of six (6) cellular antennas and the replacement of 3 remote radio heads and the addition of three remote radio heads, one fiber feeder and four DC feeders. The associated equipment will be either installed behind existing antennas or within the existing ground equipment shelter. According to their proposal, the proposed replacement antennas does not exceed the cumulative size of the existing antennas and 3 remote radio heads, 2 battery stacks and strings, and a DC/DC converter shelf will be removed (**Attachment C**).

## **SUMMARY OF RECORD**

The following items are submitted to the record and are available upon request: All materials submitted by the applicant and any materials and comments from public agencies, City

departments, neighborhood associations, and the public; and all documents referenced in this report.

### **APPLICANT'S STATEMENT**

A request for historic design review must be supported by proof that it conforms to all applicable criteria imposed by the Salem Revised Code. The applicants submitted a written statement, which is included in its entirety as **Attachment C** in this staff report.

Staff utilized the information from the applicant's statements to evaluate the applicant's proposal and to compose the facts and findings within the staff report. Salem Revised Code (SRC) **230.065 General Guidelines for Historic Contributing Resources** are the applicable criteria for evaluation of this proposal.

### **FACTS & FINDINGS**

#### **1. Historic Designation**

Under Salem Revised Code (SRC) Chapter 230, no development permit for a designated historic resource shall be issued without the approval of the Historic Landmarks Commission (HLC). The HLC shall approve, conditionally approve, or deny the application on the basis of the projects conformity with the criteria. Conditions of approval, if any, shall be limited to project modifications required to meet the applicable criteria.

According to SRC 230.020(f), historic design review approval shall be granted if the application satisfies the applicable standards set forth in Chapter 230. The HLC shall render its decision supported by findings that explain conformance or lack thereof with relevant design standards, state the facts relied upon in rendering the decision, and explain justification for the decision.

#### **2. Historic Significance**

Thomas Kay Woolen Mill is individually listed on the National Register of Historic Places and includes Mission Mill (1889) and the associated structures, including the water tower (1925). While this tower is not the original 15,000 gallon redwood tower, this tower was constructed during the historic period and is a historic contributing accessory structure (**Attachment B**).

#### **3. Neighborhood and Citizen Comments**

The subject property is located within the South East Salem Neighborhood Association (SESNA). Notification of the public hearing was sent to the neighborhood association and surrounding property owners within 250 feet of the property pursuant to Salem Revised Code (SRC) requirements on January 31, 2019. Notice of public hearing was also posted on the subject property. At the time of writing this staff report, no comments were received from the neighborhood association or from adjoining property owners.

#### **4. City Department and Public Agency Comments**

The Building and Safety Division indicates that the applicant must obtain required building

permits. The Oregon Department of Transportation has indicated they have no concerns with the proposal. The Oregon State Historic Preservation Office has concurred that there is no adverse effect to the resource as a result of this proposal.

## **5. Historic Design Review**

SRC Chapter 230.065 specifies the standards and guidelines applicable to this project. The applicant is proposing to remove and replace six antennas and associated equipment on the resource (**Attachment C**). Historic Landmarks Commission staff reviewed the project proposal and has the following findings for the applicable guidelines.

### **FINDINGS**

#### **Criteria 230.065 General Guidelines for Historic Contributing Resources**

***(a) Except as otherwise provided in this Chapter, the property shall be used for its historic purpose, or for a similar purpose that will not alter street access, landscape design, entrance(s), height, footprint, fenestration, or massing.***

**Finding:** While the original tower was not constructed for this use, the replacement antennas are substantially the same size and in the same location as the existing. Further, the applicant has proposed to locate the Remote Radio Heads (RRH's) and associated equipment either behind the antennas or within the equipment shelter, minimizing the visual impact of this proposed alteration. The proposed replacement antennas and associated equipment does not significantly alter the appearance of the water tower. Staff recommends that the HLC find that this proposed use is compatible with the historic use and that this guideline has been met.

***(b) Historic materials, finishes and distinctive features shall, when possible, be preserved and repaired according to historic preservation methods, rather than restored.***

**Finding:** Staff recommends that the HLC find that there are no historic materials or features proposed for removal, reconstruction, or repair and that Guideline 230.065 (b) is not applicable to the evaluation of this proposal.

***(c) Distinctive stylistic features or examples of skilled craftsmanship significance shall be treated with sensitivity.***

**Finding:** Staff recommends that the HLC find that there are no distinctive stylistic features proposed for removal, reconstruction, or repair and Guideline 230.065 (c) does not apply to the evaluation of this proposal.

***(d) Historic features shall be restored or reconstructed only when supported by physical or photographic evidence.***

**Finding:** Staff recommends that the HLC find that there are no historic materials or features proposed for removal, reconstruction, or repair and that Guideline 230.065 (d) is not applicable to the evaluation of this proposal.

***(e) Changes that have taken place to a historic resource over the course of time are evidence of the history and development of a historic resource and its environment, and should be recognized and respected. These changes may have acquired significance in their own right, and this significance should be recognized and respected.***

**Finding:** Staff recommends that the HLC find that while the existing water tower is not the original tower, it was constructed in 1925, within the period of significance for the Thomas Kay Woolen Mill, and that the water tower is evidence of the history and development of the Thomas Kay Woolen Mill. The proposed replacement antennas would not increase the total number already on the tower, and the placement of associated equipment behind the antenna or within the equipment shelter minimizes the visual impact to the tower and the adjacent Mill building and surrounding site. Staff recommends that the HLC find that this Guideline has been met.

***(f) Additions and alterations to a historic resource shall be designed and constructed to minimize changes to the historic resource.***

**Finding:** The replacement antennas will be in the same location as the existing, and locating the associated equipment behind the antennas or within the equipment shelter will ensure that this equipment will not be visible on the water tower. The replacement of antennas and associated equipment will not result in an adverse visual impact. Staff recommends that the HLC find that the proposal is compatible with the size and scale of the water tower and the surrounding buildings within the historic Thomas Kay Historic Park, and that SRC 230.065(f) has been met.

***(g) Additions and alterations shall be constructed with the least possible loss of historic materials and so that significant features are not obscured, damaged, or destroyed.***

**Finding:** While a total of twelve antennas were initially approved for installation on the water tower, AT&T's current configuration only requires the proposed replacement antenna panels along with the reconfigured and relocated remote radio heads. This configuration and the smaller size of the remote radio heads ensures that the significant character defining features of the water tower are not obscured. While the current proposal does not exceed a total of twelve antennas, the HLC has made it clear that their intent is to limit the future cumulative adverse impact of too much wireless equipment attached to this historic resource. Therefore in order to continue to limit the cumulative adverse effect of future wireless modification proposals on this resource, staff recommends that the HLC adopt the following CONDITION of APPROVAL:

**Condition 1: Any new or replacement communication device(s), including but not limited to dishes, antennas and associated equipment shall not exceed the total number and cumulative size of the dishes, antennas and associated equipment currently approved for installation.**

***(h) Structural deficiencies in a historic resource shall be corrected without visually changing the composition, design, texture or other visual qualities.***

**Finding:** Staff recommends that the HLC find that the proposal does not include any plans to correct structural deficiencies, and that Guideline 230.065 (h) does not apply to the evaluation of this proposal.

***(i) Excavation or re-grading shall not be allowed adjacent to or within the site of a historic resource which could cause the foundation to settle, shift, or fail, or have a similar effect on adjacent historic resources.***

**Finding:** Staff recommends that the HLC find that the proposal does not include any plans for excavation or regrading, and that Guideline 230.065 (i) does not apply to the evaluation of this proposal.

### **RECOMMENDATION**

Based upon the information presented in the application, plans submitted for review, and findings as presented in this staff report, staff recommends that the Historic Landmarks Commission **APPROVE** the proposal with the following CONDITION:

**Condition 1: Any new or replacement communication device(s), including but not limited to dishes, antennas and associated equipment shall not exceed the total number and cumulative size of the dishes, antennas and associated equipment currently approved for installation.**

### **DECISION ALTERNATIVES**

1. APPROVE the proposal as submitted by the applicant and indicated on the drawings.
2. APPROVE the proposal with conditions to satisfy specific guideline(s).
3. DENY the proposal based on noncompliance with identified guidelines in SRC 230, indicating which guideline(s) is not met and the reason(s) the guideline is not met.

Attachments: A. Hearing Notice and Vicinity Map  
B. Excerpt from National Register Historic Resource Document  
C. Applicant's Submittal Materials  
D. HIS16-16 Decision (Cover Page Only, no attachments)  
E. HIS16-33 Decision (Cover Page Only, no attachments)

Prepared by Kimberli Fitzgerald, AICP, Historic Preservation Officer



# HEARING NOTICE

## LAND USE REQUEST AFFECTING THIS AREA

### *Audiencia Pública*

*Si necesita ayuda para comprender esta informacion, por favor llame 503-588-6173*

<b>CASE NUMBER:</b>	Historic Design Review Case No. HIS18-39
<b>AMANDA APPLICATION NO:</b>	18-124845-DR
<b>HEARING INFORMATION:</b>	<u>Historic Landmarks Commission, Thursday, February 21, 2019, 5:30 P.M., Council Chambers, Room 240, Civic Center</u>
<b>PROPERTY LOCATION:</b>	1313 Mill St SE, Salem, OR / 97301
<b>OWNER(S):</b>	Willamette Heritage Center
<b>APPLICANT / AGENT(S):</b>	Natalie Erlund for Velocitel
<b>DESCRIPTION OF REQUEST:</b>	<p>Summary: A proposal to replace wireless antennae and associated equipment on an existing water tank at the Willamette Heritage Center.</p> <p>Request: Major historic design review of a proposal to modify an existing wireless communication facility, replacing 6 wireless antennae and associated equipment with 6 antennae and associated equipment on an existing water tank (1925) within the Willamette Heritage Center/ Thomas Kay Historic Park, individually listed on the National Register of Historic Places, on property zoned CR (Retail Commercial), and located at 1313 Mill Street SE, 97301; Marion County Assessor Map and Tax Lot number: 073W26BC04100.</p>
<b>CRITERIA TO BE CONSIDERED:</b>	<p><u>MAJOR HISTORIC DESIGN REVIEW</u></p> <p>General Guidelines for Historic Contributing Resources</p> <p>Pursuant to SRC 230.065, an application for a Major Historic Design Review proposing changes to a contributing building or structure may be approved if the proposal conforms to the following guidelines:</p> <p>(a) Except as otherwise provided in this Chapter, the property shall be used for its historic purpose, or for a similar purpose that will not alter street access, landscape design, entrance(s), height, footprint, fenestration, or massing.</p> <p>(b) Historic materials, finishes and distinctive features shall, when possible, be preserved and repaired according to historic preservation methods, rather than restored.</p> <p>(c) Distinctive stylistic features or examples of skilled craftsmanship significance shall be treated with sensitivity.</p> <p>(d) Historic features shall be restored or reconstructed only when supported by physical or photographic evidence.</p> <p>(e) Changes that have taken place to a historic resource over the course of time are evidence of the history and development of a historic resource and its environment, and should be recognized and respected. These changes may have acquired significance in their own right, and this significance should be recognized and respected.</p> <p>(f) Additions and alterations to a historic resource shall be designed and constructed to minimize changes to the historic resource.</p> <p>(g) Additions and alterations shall be constructed with the least possible loss of historic materials and so that significant features are not obscured, damaged, or destroyed.</p> <p>(h) Structural deficiencies in a historic resource shall be corrected without visually changing the composition, design, texture or other visual qualities.</p> <p>(i) Excavation or re-grading shall not be allowed adjacent to or within the site of a</p>

**HOW TO PROVIDE TESTIMONY:**

historic resource which could cause the foundation to settle, shift, or fail, or have a similar effect on adjacent historic resources.

Any person wishing to speak either for or against the proposed request may do so in person or by representative at the Public Hearing. Written comments may also be submitted at the Public Hearing. Include case number with the written comments. Prior to the Public Hearing, written comments may be filed with the Salem Planning Division, Community Development Department, 555 Liberty Street SE, Room 305, Salem, Oregon 97301. Only those participating at the hearing, in person or by submission of written testimony, have the right to appeal the decision.

**HEARING PROCEDURE:**

The hearing will be conducted with the staff presentation first, followed by the applicant's case, neighborhood organization comments, testimony of persons in favor or opposition, and rebuttal by the applicant, if necessary. The applicant has the burden of proof to show that the approval criteria can be satisfied by the facts. Opponents may rebut the applicant's testimony by showing alternative facts or by showing that the evidence submitted does not satisfy the approval criteria. Any participant may request an opportunity to present additional evidence or testimony regarding the application. A ruling will then be made to either continue the Public Hearing to another date or leave the record open to receive additional written testimony.

Failure to raise an issue in person or by letter prior to the close of the Public Hearing with sufficient specificity to provide the opportunity to respond to the issue, precludes appeal to the Land Use Board of Appeals (LUBA) on this issue. A similar failure to raise constitutional issues relating to proposed conditions of approval precludes an action for damages in circuit court.

Following the close of the Public Hearing a decision will be issued and mailed to the applicant, property owner, affected neighborhood association, anyone who participated in the hearing, either in person or in writing, and anyone who requested to receive notice of the decision.

**CASE MANAGER:**

**Kimberli Fitzgerald, Historic Preservation Officer**, City of Salem Planning Division, 555 Liberty Street SE, Room 305, Salem, Oregon 97301. Telephone: 503-540-2397; E-mail: [kfitzgerald@cityofsalem.net](mailto:kfitzgerald@cityofsalem.net).

**NEIGHBORHOOD ORGANIZATION:**

Southeast Salem Neighborhood Association (SESNA), Darrin Brightman, Land Use Co-Chair; Phone: 503-586-3964; Email: [darrinSESNA@gmail.com](mailto:darrinSESNA@gmail.com); Jeff Leach, Land Use Co-Chair; Phone: 503-508-5499; Central Area Neighborhood Development Organization (CAN-DO), Bruce Hoffman, Land Use Chair; Phone: 503-781-8542; Email: [bruhof@gmail.com](mailto:bruhof@gmail.com).

**DOCUMENTATION AND STAFF REPORT:**

Copies of the application, all documents and evidence submitted by the applicant are available for inspection at no cost at the Planning Division office, City Hall, 555 Liberty Street SE, Room 305, during regular business hours. Copies can be obtained at a reasonable cost. The Staff Report will be available seven (7) days prior to the hearing, and will thereafter be posted on the Community Development website:

[www.cityofsalem.net/notices](http://www.cityofsalem.net/notices)

**ACCESS:**

The Americans with Disabilities Act (ADA) accommodations will be provided on request.

**NOTICE MAILING DATE:**

January 31, 2019

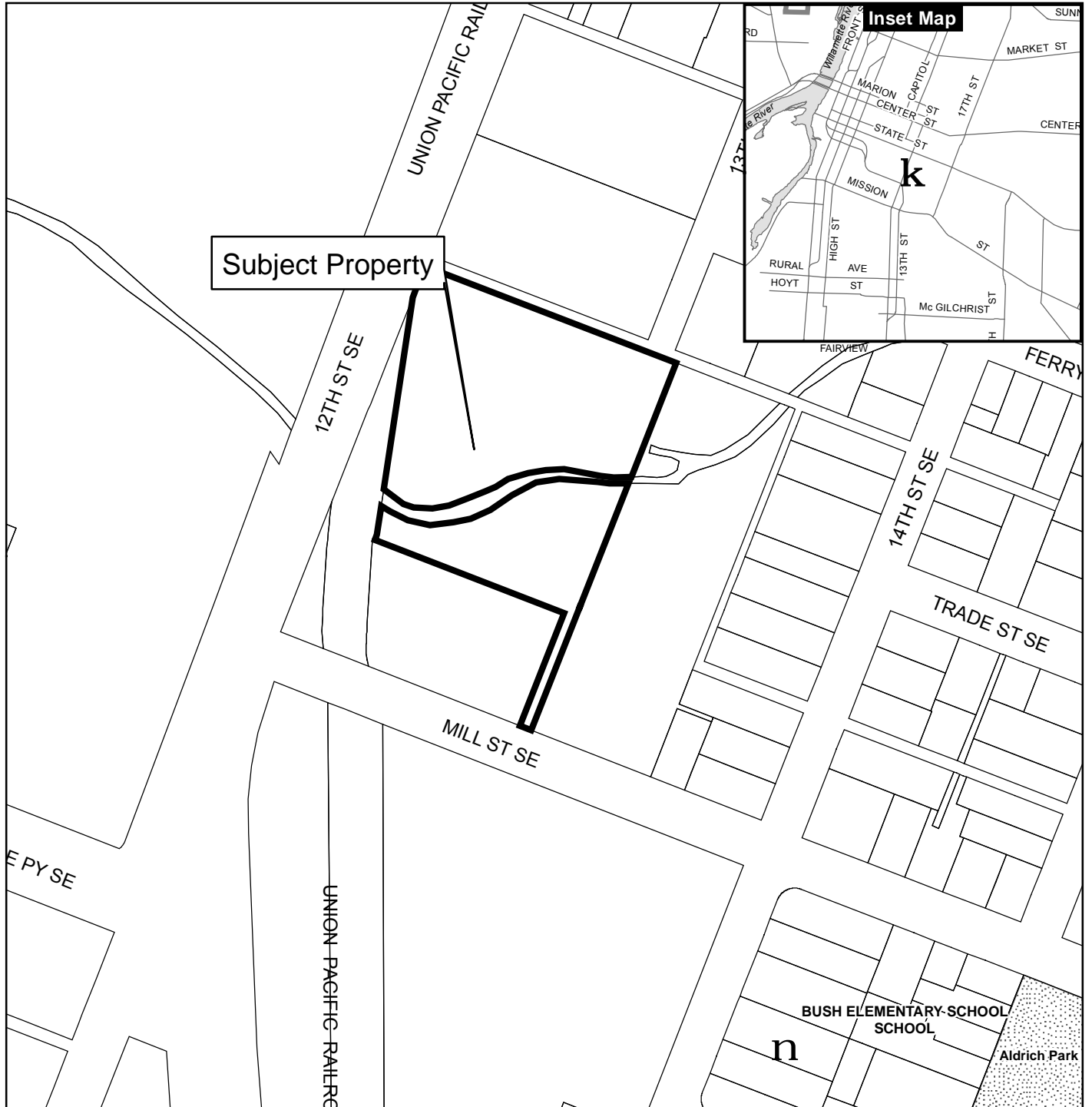
**PLEASE PROMPTLY FORWARD A COPY OF THIS NOTICE TO ANY OTHER OWNER, TENANT OR LESSEE.**  
**For more information about Planning in Salem: <http://www.cityofsalem.net/planning>**

*It is the City of Salem's policy to assure that no person shall be discriminated against on the grounds of race, religion, color, sex, marital status, familial status, national origin, age, mental or physical disability, sexual orientation, gender identity and source of income, as provided by Salem Revised Code Chapter 97. The City of Salem also fully complies with Title VI of the Civil Rights Act of 1964, and related statutes and regulations, in all programs and activities. Disability-related modification or accommodation, including auxiliary aids or services, in order to participate in this meeting or event, are available upon request. Sign language and interpreters for languages other than English are also available upon request. To request such an accommodation or interpretation, contact the Community Development Department at 503-588-*

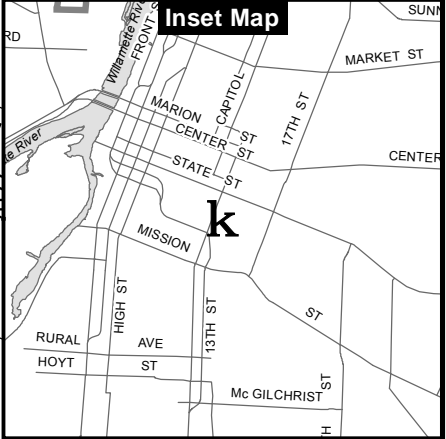
*6173 at least three business days before this meeting or event.  
TTD/TTY telephone 503-588-6439 is also available 24/7*



# Vicinity Map 1313 Mill Street SE



Subject Property



## Legend

- Taxlots
- Urban Growth Boundary
- City Limits
- Outside Salem City Limits
- Historic District
- Schools
- Parks

CITY OF *Salem*  
AT YOUR SERVICE  
Community Development Dept.

0 100 200 400 Feet

**E**

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**EXCERPT FROM THE NATIONAL REGISTER NOMINATION DOCUMENTS  
Thomas Kay Woolen Mill**

Thomas Kay Woolen Mill PRIMARY (Contributing)  
1313 Mill Street SE; Assessor's Map 073W26BC04100;  
Owner: Mission Mill Museum, Salem, OR 97301

Description: Located on the eastern edge of Willamette University campus, the Thomas Kay Woolen Mill property is lined by a water course and large oak trees. The façade of the mill is the focal point of a park-like corridor through the campus which is created by the mill stream. The major component of the property (the mill and its warehouse, dye house, picker house and other back buildings) is to be partially restored as a museum of wool technology by the non-profit Mission Mill Association. The Kay Mill was constructed in 1898 during the mining boom and after the destruction of the Company's mill at Waterloo made it necessary to combine all operations in the mill at Salem. The second period of alterations occurred in 1904 when fuel oil supplanted wood as an auxiliary fuel for heating and dyeing. By 1915 28 looms were operating and the complex included the detached office and storage buildings, a 15,000 gallon Redwood water tank, the main mill building, a single story extension for dry finishing, a boiler room, picker house, carpenters and machine shop, housing for a turbine water wheel; dye house with drug and drying rooms, two wool warehouses an oil and bleach house and a shoddy and wood storage house. The third period of development came in 1925 when a new boiler room and other additions were constructed.

Cultural Data: The Thomas Kay Woolen Mill Company was founded in 1889 by native-born Englishman Thomas Kay, Squire Farrar, and C.P. Bishop. The existing mill was the largest plant of its type in the state, and it was the longest-lived woolen manufactory ever established in Salem. Until its sale to the Mission Mill Museum Association in 1965, it had been under continuous ownership and management by the family-controlled Thomas Kay Woolen Mill Company.

## Historic Design Review Narrative

For a proposed modification to existing site: SA06 Mission Street

City of Salem  
Community Development Department  
555 Liberty Street SE, Rm 305  
Salem, Oregon 97301

12/21/18

Attn: Kimberli Fitzgerald, AICP

RE: AT&T Mobility Application for a modification to AT&T's existing site.  
AT&T site number: SA06  
Site name: Mission Street  
Site address: 1313 Mill St SE, Salem, OR 97301  
Current Use: Water Tower & Wireless Transmission site  
Zone Classification: IC

AT&T Mobility is continually in the process of a system wide upgrade of its facilities to support and improve its LTE platform, while also adding FirstNet technology. LTE will increase the speed and volume of data that can be transmitted and received over wireless devices. LTE is also referred to as 4G technology and is usually developed and installed in steps called 2C, 3C, 4C etc. This project is the upgrade for 6C, including a 5G technology upgrade, WCS spectrum, and FirstNet, a dedicated first responder public safety LTE broadband network.

AT&T Mobility is requesting Historic review and consideration for a modification to its existing site, previously entitled under HIS 16-16. I have included the following list of documentation:

- Historic Review Process Application Form
- Historic Alteration Review – Commercial Resource Worksheet
- Velocitel Check \$1,250.00, for a Historic Design review for the proposed Modification.
- This Narrative as required.
- Assessor's Map showing subject and surrounding property
- 11 x 17 Zoning Drawings
- Photo simulations
- Copy of the previously approved Decision (HIS 16-16) for reference
- Redacted copy of the Site Lease Agreement
- Specifications for equipment, both proposed and to be removed

**Project Description synopsis:**

The existing water tank site has existing AT&T antennas and associated equipment attached to the water tank legs. AT&T has been at this location since 1997. The current configuration consists of (9) AT&T antennas, and (12) RRH's (remote radio heads).

**Impact of this proposed modification:**

New Cingular Wireless LLC dba AT&T Mobility is proposing to swap out (6) antennas and (3) RRH's, and add (3) RRH's, (1) fiber feeder, and (4) DC feeders to the existing array. The new RRH's will be installed behind existing antennas and so will be hidden from view. There will also be equipment added to the existing ground equipment shelter. All new equipment will be painted to match existing and no ground disturbance is proposed for this modification.

This proposed modification includes equipment specifically needed for the FirstNet First Responder Network, created by the United States Government "to be a force-multiplier for first responders – to give public safety 21<sup>st</sup> century communication tools to help save lives, solve crimes and keep our communities and emergency responders safe".

**Detail of this proposed modification:****AT&T will remove the following from the existing water tank installation:**

- (1) LTE 700/1900 panel antenna per sector, (3) total
- (1) LTE 850/AWS/WCS panel antenna per sector, (3) total
- (1) LTE 700 RRH per sector, (3) total

**AT&T will install the following at the existing water tank installation:**

- (1) FirstNet/700/1900 panel antenna per sector, (3) total
- (1) LTE 850/AWS/WCS panel antenna per sector, (3) total
- (1) LTE 700 B12/B14 dual RRH per sector, (3) total
- (1) LTE 850 B5 RRH per sector, (3) total,
- (1) fiber trunk and (3) DC trunks

**AT&T will add to the existing equipment shelter:**

- (1) 721 Netsure PDU rack with DC-DC converter module & rectifiers
- Netsure BBU rack with batteries

**AT&T will remove from the existing equipment shelter:**

- (1) DC-DC converter shelf in existing LTE rack
- Battery strings in existing PDU rack
- (2) Absolyte battery stacks
- (1) LTE 850 RRH per sector, (3) total

**Result:** Though some new equipment will be added to the array, the visual impact will be minimal because new equipment will be installed behind existing equipment.

**Detail of this proposed modification:**

The following sections address the review criteria relevant for this project:

*(Responses are shown in italics)*

**230.065. General Guidelines for Historic Contributing Resources.** In lieu of the standards for historic contributing buildings set forth in SRC 230.025 and SRC 230.040, an applicant may make a proposal for preservation, restoration, or rehabilitation activity, regardless of type of work, which shall conform to the following guidelines:

(a) Except as otherwise provided in this Chapter, the property shall be used for its historic purpose, or for a similar purpose that will not alter street access, landscape design, entrance(s), height, footprint, fenestration, or massing.

*Though the original structure was not constructed for this use, this proposal will not alter the visual impact of the overall antenna installation as the proposed radio heads will be mounted behind the existing antennas.*

*This proposal will not alter street access, landscape design, entrances, height, footprint, fenestration or massing. No employees or customers will visit or work at this site, other than for a short period during the installation of this proposed modification, and by technical staff on a monthly basis or during emergencies. This site is, and will remain, an “unstaffed” facility. Guideline 230.065 (a) has been met.*

(b) Historic materials, finishes and distinctive features shall, when possible, be preserved and repaired according to historic preservation methods, rather than restored.

(c) Distinctive stylistic features or examples of skilled craftsmanship significance shall be treated with sensitivity.

(d) Historic features shall be restored or reconstructed only when supported by physical or photographic evidence.

*There is no proposal to remove, repair, reconstruct or disturb any historic materials, finishes, or distinctive feature, therefore Guidelines 230.065 (b) (c) (d) do not apply.*

(e) Changes that have taken place to a historic resource over the course of time are evidence of the history and development of a historic resource and its environment, and should be recognized and respected. These changes may have acquired significance in their own right, and this significance should be recognized and respected.

*The proposed modification will not adversely affect the surrounding historic property as AT&T has been in operation at this water tower location since 1997 and has become part of the environment in this part of Salem.*

(f) Additions and alterations to a historic resource shall be designed and constructed to minimize changes to the historic resource.

(g) Additions and alterations shall be constructed with the least possible loss of historic materials and so that significant features are not obscured, damaged, or destroyed.

*The proposed modification will minimize and provide the least visual impact to the historic structure and the surrounding area by maintaining the current overall visual impact while providing the necessary technical needs for today and into the future.*

(h) Structural deficiencies in a historic resource shall be corrected without visually changing the composition, design, texture or other visual qualities.

*There is no proposed correction of any structural deficiencies; therefore Guideline 230.065 (h) is not applicable for this application.*

(i) Excavation or re-grading shall not be allowed adjacent to or within the site of a historic resource which could cause the foundation to settle, shift, or fail, or have a similar effect on adjacent historic resources. (Ord No. 34-10)

*There is no proposed excavation or re-grading, therefore Guideline 230.065 (i) does not apply to this application.*

Natalie Erlund

PNW LTE Site Acquisition Specialist  
AT&T Turf Project

**Velocitel, LLC**  
4004 Kruse Way Place, Suite 220  
Lake Oswego, Oregon 97035  
**971-303-1568**  
[nerlund@velocitel.com](mailto:nerlund@velocitel.com)

Attachments:

- Specifications for existing equipment to be removed
- Specifications for proposed equipment

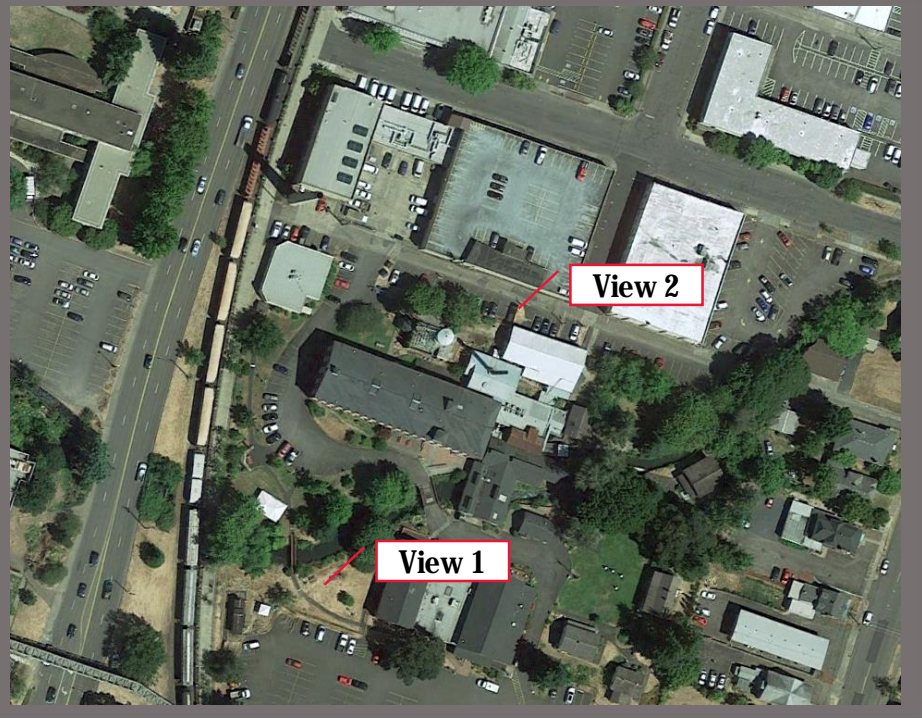


# Mission Street

SA06 FA# 10094075

1313 Mill Street SE | Salem, OR 97301

Location



Existing



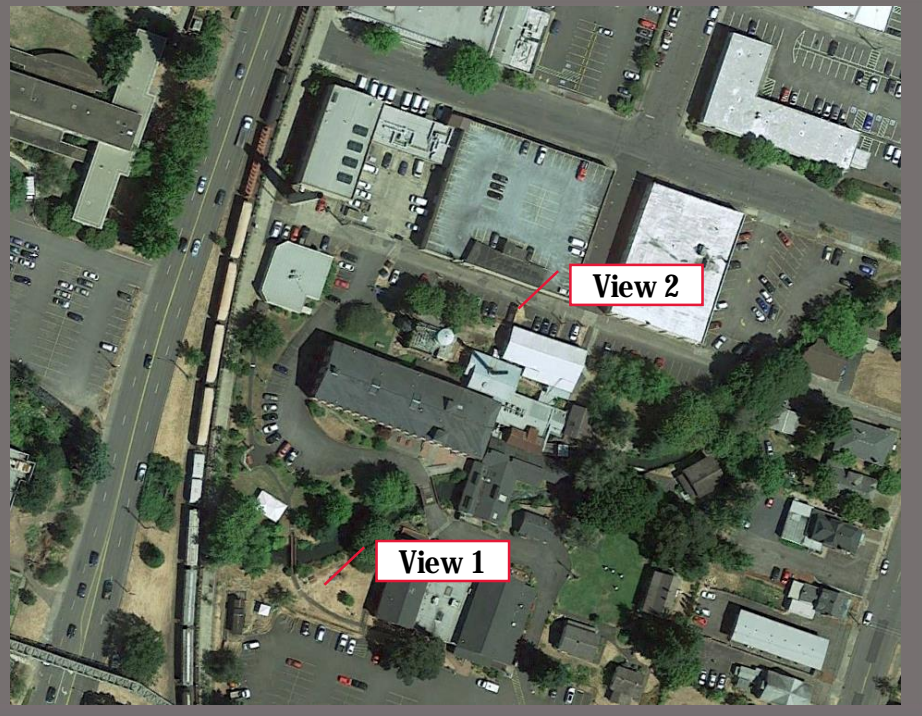
Proposed Looking North towards Ferry Street SE



Note: Other RRHs and antennas obscured in this view



Location



Existing



Proposed

Looking South West towards the corner of Mill Street SE and 12<sup>th</sup> Street SE



Note: Other RRHs and antennas obscured in this view





# at&t

Your world. Delivered.

## MISSION STREET

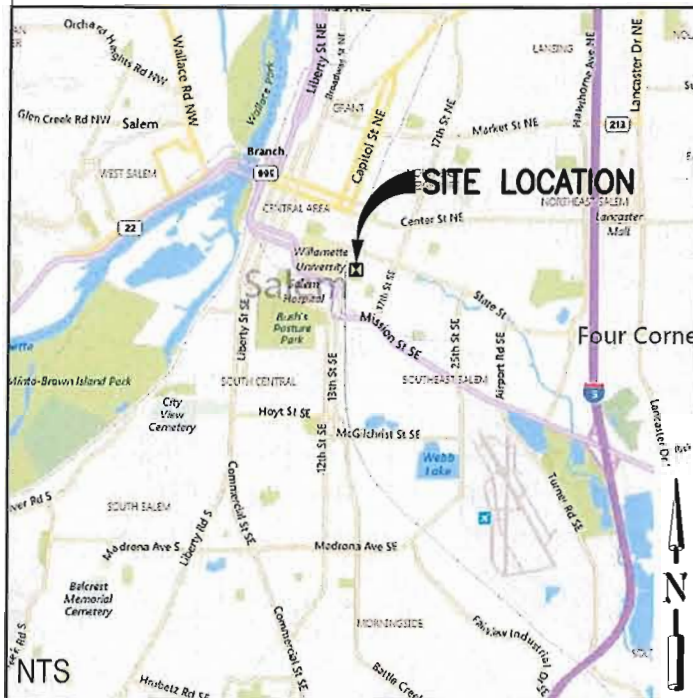
1313 MILL STREET SE  
SALEM, OR 97301

SA06 | FA: 10094075

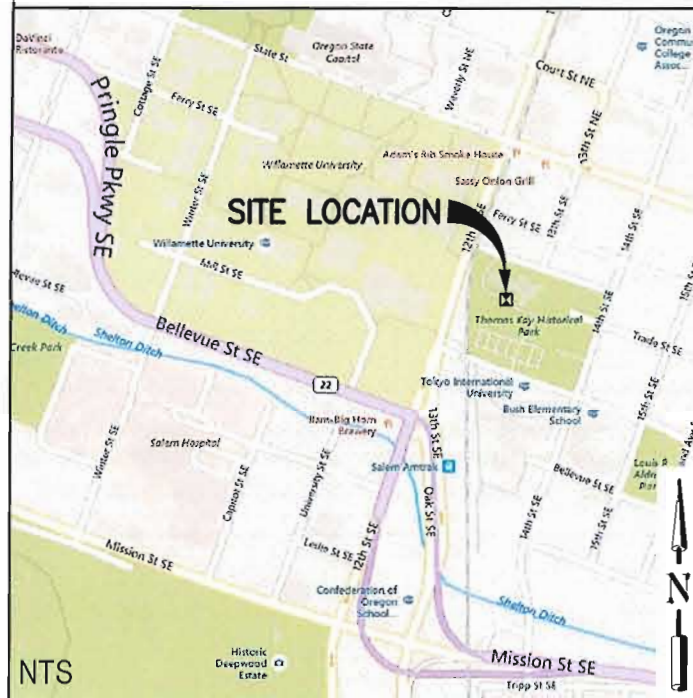
### PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE AT&T MOBILITY SERVICES IS STRICTLY PROHIBITED.

### VICINITY MAP



### GENERAL LOCATION MAP



### PROJECT INFORMATION

#### APPLICANT:

VELOCITEL LLC. B/O AT&T MOBILITY CORP.  
4004 KRUSE WAY PL., SUITE #220  
LAKE OSWEGO, OR 97035  
NATALIE ERLUND  
PH: (971) 303-1568

#### PROJECT ENGINEER:

VELOCITEL LLC.  
576 COLONIAL PARK DR., SUITE #200  
ROSWELL, GA 30075  
WILLIAM PANEK

#### PROPERTY OWNER:

MISSION & MILL MUSEUM  
C/O WILLAMETTE HERITAGE  
CENTER  
1313 MILL ST SE #200  
SALEM, OR 97301

#### ZONING CONSULTANT:

VELOCITEL LLC.  
4004 KRUSE WAY PL., SUITE #220  
LAKE OSWEGO, OR 97035  
NATALIE ERLUND  
PH: (971) 303-1568

#### CODE INFORMATION:

ZONING CLASSIFICATION: IC (INDUSTRIAL COMMERCIAL)  
BUILDING CODE: OSSC 2014  
CONSTRUCTION TYPE: IIB  
OCCUPANCY: B2  
JURISDICTION: CITY OF SALEM

#### SITE LOCATION: (BASED ON NAD 83)

TAX LOT #: 073W26BC04100  
LATITUDE: N 44° 66' 7.08" (44.93252800)  
LONGITUDE: W 123° 1' 36.984" (-123.0269400)  
TOP OF STRUCTURE AGL: 104'-0"  
BASE OF STRUCTURE AMSL: ± 174.0'

#### PROJECT AREA:

APPROXIMATE LEASE AREA: 1,019 SQ. FT.

#### GENERAL INFORMATION:

1. PARKING REQUIREMENTS ARE UNCHANGED.
2. TRAFFIC IS UNAFFECTED.
3. NO SIGNAGE IS PROPOSED.

#### PROJECT DESCRIPTION:

AT&T MOBILITY PROPOSES THE FOLLOWING TO AN EXISTING UNSTAFFED RADIO TELECOMMUNICATIONS FACILITY CONSISTING OF AN ANTENNA ARRAY ON A 104FT SELF SUPPORT WATER TANK TOWER AND AN EQUIPMENT SHELTER.

#### AT&T WILL REMOVE/REPLACE FROM TOWER:

- (1) LTE 700/1900 ANTENNA PER SECTOR, (3) TOTAL
- (1) LTE 850/AWS/WCS PER SECTOR, (3) TOTAL
- (1) LTE 700 RRH PER SECTOR, (3) TOTAL

#### AT&T WILL INSTALL ON TOWER:

- (1) LTE FN/700/1900 ANTENNA PER SECTOR, (3) TOTAL
- (1) LTE 850/AWS/WCS ANTENNA PER SECTOR, (3) TOTAL
- (1) LTE 700 B12/B14 DUAL RRH PER SECTOR, (3) TOTAL
- (1) LTE 850 B5 RRH PER SECTOR, (3) TOTAL
- (1) FIBER TRUNK
- (3) DC TRUNKS

#### AT&T WILL ADD TO EQUIPMENT SHELTER:

- (1) 721 NETSURE PDU RACK W/ DC-DC CONVERTER MODULES AND RECTIFIERS
- (1) NETSURE BBU RACK W/ BATTERIES

#### AT&T WILL REMOVE FROM EQUIPMENT SHELTER:

- (1) DC TO DC CONVERTER SHELF IN EXISTING LTE RACK
- (1) PDU CABINET
- (2) ABSOLUTE BATTERY STACKS

### DRAWING INDEX

INC	DWG #	DESCRIPTION
X	T-1	TITLE SHEET
	SV-1	SURVEY
X	GN-1	GENERAL NOTES
X	A-1	OVERALL SITE PLAN
X	A-2	COMPOUND LAYOUT PLANS
X	A-3	EQUIPMENT LAYOUT PLANS
X	A-4	ELEVATIONS
	A-5	EQUIPMENT DETAILS
X	A-6	EQUIPMENT DETAILS
	A-7	SITE DETAILS
	A-8	GRADING & EROSION CONTROL PLAN
	A-9	GRADING & EROSION CONTROL DETAILS
	A-10	GENERATOR DETAILS
	A-11	PROPANE TANK DETAILS
	A-12	SIGNAGE DETAILS
	A-13	SIGNAGE DETAILS
X	RF-1	ANTENNA CONFIGURATIONS
X	RF-2	RF DETAILS
	RF-3	RF DETAILS
	RF-4	RF NOTES
X	G-1	GROUNDING PLAN
X	G-2	GROUNDING DETAILS
	G-3	GROUNDING DETAILS
	G-4	GROUNDING DETAILS
	E-1	UTILITY SITE PLAN
	E-2	ELECTRICAL DETAILS
X	E-3	ELECTRICAL BBU DATA
	S-1	SHELTER FOUNDATION DETAILS
	S-2	STRUCTURAL EQUIPMENT DETAILS

### LEGAL DESCRIPTION

N/A

### DRIVING DIRECTIONS

DIRECTIONS FROM TUALATIN, OR: MERGE ONTO 1-5 S TOWARD SALEM. TAKE EXIT 256 FOR OR-213/MARKET ST. TOWARD LANCASTER MALL. TURN RIGHT ONTO MARKET STREET NE. TURN LEFT ONTO 17TH STREET NE. TURN RIGHT ONTO MILL STREET SE, DESTINATION WILL BE ON THE RIGHT. ARRIVE AT: 1313 MILL STREET SE, SALEM, OR 97301.

### APPROVAL/SIGN OFF OF DRAWINGS

CONSULTANT GROUP SIGN OFF	DATE	SIGNATURE	AT&T SIGN OFF	DATE	SIGNATURE
CONSTRUCTION MANAGER			COMPLIANCE		
LANDLORD'S REPRESENTATIVE			CONSTRUCTION MANAGER		
PROJECT MANAGER			DEPLOYMENT MANAGER		
SITE ACQUISITION			EQUIPMENT ENGINEER		
ZONING			INTERCONNECT		
SITE ACQUISITION MANAGER			OPERATIONS		
PERMITS			RF ENGINEER		
			RF ENGINEER MANAGER		

REVIEWERS SHALL CLEARLY PLACE INITIALS ADJACENT TO EACH REDLINE NOTE AS DRAWINGS ARE BEING REVIEWED



AT&T MOBILITY CORP.  
19801 SW 72ND AVE., STE. 200  
TUALATIN, OR 97062



4004 KRUSE WAY PLACE  
BLDG. 4004, SUITE #220  
LAKE OSWEGO, OR 97035

SITE: SA06

MISSION STREET

1313 MILL STREET SE  
SALEM, OR 97301

PROJECT:

LTE 6C(FN)/MULTI

ISSUED FOR:

CONSTRUCTION

SUBMITTALS

REV.	DATE	DESCRIPTION	BY
A	10/5/18	PRELIM CDS	MH
0	10/24/18	FINAL CDS	MH
1	11/29/18	RRH RELOCATION	MH

FA#: 10094075

DRAWN BY: MH

CHECKED BY: JW

CURRENT ISSUE DATE:

11/29/18

STAMP:



EXPIRATION DATE: 12/31/2018

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AT&T MOBILITY IS STRICTLY PROHIBITED.

SHEET TITLE:

TITLE SHEET

SHEET NUMBER: REV.

T-1

1



**GENERAL NOTES:**

- VERIFY AND CONFIRM ALL DIMENSIONS AND CONDITIONS. NOTIFY AT&T AND ARCHITECT OF ANY DISCREPANCIES PRIOR TO START OF WORK.
- DRAWINGS ARE NOT TO BE SCALED, WRITTEN DIMENSIONS TAKE PRECEDENCE, THIS SET OF DOCUMENTS IS INTENDED TO BE USED FOR DIAGRAMMATIC PURPOSES ONLY, UNLESS NOTED OTHERWISE. THE GENERAL CONTRACTOR'S SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR, AND ANY REQUIREMENTS DEEMED NECESSARY TO COMPLETE PROJECT AS DESCRIBED IN THE DRAWINGS AND OWNER'S PROJECT MANUAL.
- PRIOR TO THE SUBMISSION OF BIDS, CONTRACTORS INVOLVED SHALL VISIT THE JOB SITE TO FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING THE PROPOSED PROJECT. CONTRACTORS SHALL VISIT THE CONSTRUCTION SITE WITH THE CONSTRUCTION/CONTRACT DOCUMENTS TO VERIFY FIELD CONDITIONS AND CONFIRM THAT THE PROJECT WILL BE ACCOMPLISHED AS SHOWN. PRIOR TO PROCEEDING WITH CONSTRUCTION, ANY ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER VERBALLY AND IN WRITING.
- AT&T, AND THE ARCHITECTS/ENGINEERS HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. CONTRACTORS BIDDING THE JOB ARE NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS. THE BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) AT&T, AND THE ARCHITECT/ENGINEER OF ANY CONFLICTS, ERRORS, OR OMISSIONS PRIOR TO SUBMISSION OF CONTRACTOR'S PROPOSAL. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED OTHERWISE.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO MANUFACTURER'S/VENDOR'S SPECIFICATIONS UNLESS NOTED OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
- ALL WORK PERFORMED ON THE PROJECT AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK.
- CONTRACTOR SHALL PROVIDE, AT THE PROJECT SITE, A FULL SET OF CONSTRUCTION DOCUMENTS UPDATED WITH THE LATEST REVISIONS AND ADDENDA OR CLARIFICATIONS FOR USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
- THE STRUCTURAL COMPONENTS OF ADJACENT CONSTRUCTION OR FACILITIES ARE NOT TO BE ALTERED BY THIS CONSTRUCTION PROJECT UNLESS NOTED OTHERWISE. ENSURE THAT EXCAVATION DOES NOT AFFECT ADJACENT STRUCTURES.
- SEAL ALL PENETRATIONS THROUGH FIRE-RATED AREAS WITH U.L. LISTED OR FIRE MARSHALL APPROVED MATERIALS IF APPLICABLE TO THIS FACILITY AND OR PROJECT SITE.
- CONTRACTOR TO PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF PROJECT AREA DURING CONSTRUCTION.
- CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVING, CURBING, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
- CONTRACTOR SHALL KEEP GENERAL WORK AREA CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DIRT, DEBRIS, AND RUBBISH. CONTRACTOR SHALL REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY OR PREMISES. SITE SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
- THE CONTRACTOR SHALL RECEIVE WRITTEN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS/CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL PERFORM WORK DURING OWNER'S PREFERRED HOURS TO AVOID DISTURBING NORMAL BUSINESS.
- THE CONTRACTOR SHALL PROVIDE AT&T, PROPER INSURANCE CERTIFICATES NAMING AT&T, AS ADDITIONAL INSURED, AND AT&T, PROOF OF LICENSE(S) AND PE AND PD INSURANCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND COORDINATING ALL INSPECTIONS.
- VERIFY AND CONFIRM ALL DIMENSIONS AND CONDITIONS. NOTIFY AT&T AND CAUTION! CALL BEFORE YOU DIG! BURIED UTILITIES EXIST IN THE AREA AND UTILITY INFORMATION SHOWN MAY NOT BE COMPLETE. CONTACT THE ONE-CALL UTILITY LOCATE SERVICE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT REGIONAL UTILITY LOCATE SERVICE.
- CONTRACTOR TO DOCUMENT ALL WORK PERFORMED WITH PHOTOGRAPHS AND SUBMIT TO AT&T, ALONG WITH REDLINED CONSTRUCTION SET.

**GENERAL NOTES: (CONTINUED)**

- CONTRACTOR TO DOCUMENT ALL CHANGES MADE IN THE FIELD BY MARKING UP (REDLINING) THE APPROVED CONSTRUCTION SET AND SUBMITTING THE REDLINED SET TO AT&T, UPON COMPLETION.
- FOR CO-LOCATION SITES: CONTACT TOWER OWNER REPRESENTATIVE FOR PARTICIPATION IN BID WALK.
- CONTRACTOR IS TO COORDINATE ALL POWER INSTALLATION WITH POWER COMPANY AS REQUIRED. CONTRACTOR TO REPORT POWER INSTALLATION COORDINATION SOLUTION(S) TO NETWORK CARRIER REPRESENTATIVE, PROJECT CONSTRUCTION MANAGER AND ARCHITECT.
- ANY SUBSTITUTIONS OF MATERIALS AND/OR EQUIPMENT, MUST BE APPROVED BY AT&T CONSTRUCTION MANAGER.
- WHERE ANCHORING TO A CONCRETE ROOF SLAB, CONTRACTOR SHALL CONFIRM (PRIOR TO SUBMITTING BID) WITH CONSULTING CONSTRUCTION COORDINATOR AND ARCHITECT THE PRESENCE OF POST TENSION TENDONS. CONTRACTOR SHALL INCLUDE PROVISIONS FOR X-RAY PROCEDURES TO LOCATE THE TENDONS.
- CONTRACTOR SHALL USE STAINLESS STEEL METAL LOCKING TIES FOR ALL CABLE TRAY TIE DOWNS AND ALL OTHER GENERAL TIE DOWNS (WHERE APPLICABLE). PLASTIC ZIP TIES SHALL NOT BE PERMITTED FOR USE ON AT&T PROJECTS. RECOMMENDED MANUFACTURER SHALL BE: PANDUIT CORP. METAL LOCKING TIES MODEL NO. MLT4S-CP UNDER SERIES-304 (OR EQUAL). PANDUIT PRODUCT DISTRIBUTED BY TRIARC OF TACOMA, WA.
- MAINTAIN THE INTEGRITY OF THE BUILDING ENVELOPE AND CONSTRUCT BARRIERS IN THE AREA OF WORK TO PREVENT DAMAGE FROM WEATHER AND CONSTRUCTION DUST AND DEBRIS.

**SITE NOTES:**

- CLEAR AND GRUB SITE OF ALL VEGETATION, PAVING, GRAVEL BASE AND OTHER DEBRIS NOT TO REMAIN. SUBGRADES ARE TO BE SET PRIOR TO LANDSCAPE INSTALLATION.
- ELEVATION OF SUBGRADE TO BE WITHIN .10 FOOT OF ELEVATIONS SHOWN ON PLAN MINUS DEPTH OF TOPSOIL, FILL, AND MULCH.
- ALL AREAS SHALL BE ROUGH GRADED WITHIN FOOT OF ELEVATIONS INDICATED BEFORE PLANTING. ALL GRADES SHALL PRODUCE POSITIVE DRAINAGE AWAY FROM EQUIPMENT SLABS, BUILDINGS AND THROUGH ALL PLANTER AREAS TO AVOID LOW SPOTS AND STANDING WATER.
- NEW GRADES SHALL BLEND NATURALLY INTO EXISTING GRADES.
- IN LANDSCAPE AREAS, FINISH GRADES ARE TO FOLLOW THE GRADES AND EDGE DETAILS INDICATED AND BE MOUNDED 6 INCHES IN THE CENTER OF THE BED ABOVE THE EDGE OF THE LANDSCAPE AREA.
- NOTIFY AT&T AND THE ARCHITECT IF MODIFICATIONS TO THE SHOWN GRADING SEEM NECESSARY AND OBTAIN APPROVAL PRIOR TO START OF WORK.
- FOOTINGS SHALL BEAR ON FIRM, NATURAL, UNDISTURBED SOIL, OR ON ENGINEERED FILL (COMPACTED TO 95%). ENSURE THAT EXCAVATIONS ARE FREE OF ORGANIC MATERIAL, DEBRIS, OR OTHER FOREIGN MATERIAL. NOTIFY ARCHITECT IF ANY UNUSUAL CONDITIONS ARE ENCOUNTERED.
- FILL AND SLAB BASE MATERIAL SHALL BE 3/4" MINUS CRUSHED ROCK PLACED IN 8" (MAXIMUM) LOOSE LIFTS AND COMPACTED TO 98% ASTM D1557 OR AASHTO T-180.
- SPECIAL INSPECTION SHALL BE PERFORMED AS REQUIRED BY THE 2014 OSSC SECTION 1705 BY AN INDEPENDENT SPECIAL INSPECTOR APPROVED BY THE LOCAL JURISDICTION.

**SPECIAL INSPECTIONS:**

- CONTRACTOR SHALL PROVIDE REQUIRED SPECIAL INSPECTIONS PERFORMED BY AN INDEPENDENT INSPECTOR, APPROVED BY AT&T AND THE LOCAL JURISDICTION.
- THE SPECIAL INSPECTOR SHALL PROVIDE A COPY OF THE REPORT TO THE OWNER, ARCHITECT, STRUCTURAL ENGINEER, CONTRACTOR, AND BUILDING OFFICIAL.

**CONCRETE NOTES:**

- ALL CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH ACI-318.
- CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH CHAPTER 19 OF THE 2014 OSSC. CEMENT SHALL BE ASTM C150, PORTLAND CEMENT TYPE II U.N.O.
- THE GENERAL CONTRACTOR SHALL SUPERVISE AND BE RESPONSIBLE FOR THE METHODS AND PROCEDURES OF CONCRETE PLACEMENT.
- ALL CONCRETE WITH SURFACES EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, C618, C989 AND C1017. CONCRETE EXPOSED TO FREEZING AND THAWING WHILE MOIST SHALL BE AIR ENTRAINED IN ACCORDANCE WITH ACI 318, SECTION 4.4.1.
- REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, fy=60,000 PSI. EXCEPTIONS: ANY BARS SPECIFICALLY SO NOTED ON THE DRAWINGS SHALL BE GRADE 40, fy=40,000 PSI. GRADE 60 REINFORCING BARS INDICATED ON DRAWINGS TO BE WELDED SHALL CONFORM TO ASTM A706. REINFORCING COMPLYING WITH ASTM A615(S1) MAY BE WELDED ONLY IF MATERIAL PROPERTY REPORTS INDICATING CONFORMANCE WITH WELDING PROCEDURES SPECIFIED IN A.W.S. D14 ARE SUBMITTED.

**CONCRETE NOTES: (CONTINUED)**

- REINFORCING STEEL SHALL BE DETAILED (INCLUDING HOOKS AND BENDS) IN ACCORDANCE WITH AC1 315 AND 318. LAP ALL CONTINUOUS REINFORCEMENT AT LEAST 30 BAR DIAMETERS OR A MINIMUM OF 2'-0". PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP CORNER BARS AT LEAST 30 BAR DIAMETERS OR A MINIMUM OF 2'-0". LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185.
- SPIRAL REINFORCEMENT SHALL BE PLAIN WIRE CONFORMING TO ASTM A615, GRADE 60, fy=60,000 PSI.
- REINFORCING PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE CONSULTANT.
- CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:  
FOOTINGS AND OTHER UNFORMED SURFACES, EARTH FACE 3"  
FORMED SURFACES EXPOSED(= #6 BARS) 2"  
TO EARTH OR WEATHER (= #5 BARS) 1 1/2"  
SLABS AND WALLS (INTERIOR FACE) 3/4"
- BARS SHALL BE SUPPORTED ON CHAIRS OR DOBIE BRICKS.
- ANCHOR BOLTS TO CONFORM TO ASTM A307.
- NON-SHRINK GROUT SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT STRENGTH SHALL BE AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (3,000 PSI MINIMUM).
- ALL EXPANSION ANCHORS TO BE HILTI BRAND. ADHESIVE ANCHORS REQUIRE TESTING TO CONFIRM CAPACITY UNLESS WAIVED BY ENGINEER AND LOCAL JURISDICTION.

**STRUCTURAL STEEL NOTES:**

- SHOP DRAWINGS FOR STRUCTURAL STEEL SHALL BE SUBMITTED TO AT&T AND THE CONSULTANT FOR REVIEW PRIOR TO FABRICATION.
- STRUCTURAL STEEL DESIGN, FABRICATION AND ERECTION (INCLUDING FIELD WELDING, HIGH STRENGTH FIELD BOLTING, EXPANSION BOLTS, AND THREADED EXPANSION ANCHORS) SHALL BE BASED ON THE A.I.S.C. "SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS" LATEST EDITION. SUPERVISION SHALL BE IN ACCORDANCE WITH 2014 OSSC CHAPTER 22, BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE CONSULTANT. THE CONSULTANT SHALL BE FURNISHED WITH A COPY OF ALL INSPECTION REPORTS AND TEST RESULTS.
- STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:  
TYPE OF MEMBER  
A. WIDE FLANGE SHAPES ASTM A992, GRADE 50  
B. SHAPES, PLATES, ANGLES, & RODS ASTM A36, Fy 36 KSI  
C. SPECIAL SHAPES AND PLATES ASTM A572, Fy 50 KSI  
D. PIPE COLUMNS ASTM A53, Fy 35 KSI  
E. STRUCTURAL TUBING ASTM A500, Fy 46 KSI  
F. ANCHOR BOLTS ASTM A307  
G. CONNECTION BOLTS ASTM A325 TWIST-OFF
- HOT DIP GALVANIZE AFTER FABRICATION PER A123/A123M-00 ALL STEEL EXPOSED TO WEATHER AND WHERE NOTED.
- ALL WELDING SHALL BE IN CONFORMANCE WITH A.I.S.C. AND AWS STANDARDS AND SHALL BE PERFORMED BY ANSI/AWS D1.1 CERTIFIED WELDERS USING E70 XX ELECTRODES. ONLY PRE-QUALIFIED WELDS (AS DEFINED BY AWS) SHALL BE USED. WELDING OF GRADE 60 REINFORCING BARS (IF REQUIRED) SHALL BE PERFORMED USING LOW HYDROGEN ELECTRODES. WELDING OF GRADE 40 REINFORCING BARS (IF REQUIRED) SHALL BE PERFORMED USING E70 XX ELECTRODES. WELDING WITHIN 4" OF COLD BENDS IN REINFORCING STEEL IS NOT PERMITTED. SEE REINFORCING NOTE FOR MATERIAL REQUIREMENTS OF WELDED BARS.
- COLD-FORMED STEEL FRAMING MEMBERS SHALL BE OF THE SHAPE, SIZE, AND GAGE SHOWN ON THE PLANS. PROVIDE MINIMUM SECTION PROPERTIES INDICATED. ALL COLD-FORMED STEEL FRAMING SHALL CONFORM TO THE A.I.S.C. "SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS."
- BOLTED CONNECTIONS SHALL USE BEARING TYPE ASTM A325 BOLTS (3/4" DIA.) AND SHALL HAVE A MINIMUM OF TWO BOLTS UNLESS NOTED OTHERWISE.
- NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING MAY USE 5/8" DIA. ASTM A307 BOLTS UNLESS NOTED OTHERWISE.
- (UNLESS NOTED OTHERWISE). PREPARATION AND PAINTING SHALL BE IN ACCORDANCE WITH THE SPECIFICATION AND IN ACCORDANCE WITH THE PAINT MANUFACTURER'S WRITTEN INSTRUCTIONS.
- ALL WELDS TO BE 1/4" FILLET UNLESS NOTED OTHERWISE.
- TOUCH UP ALL FIELD DRILLING, WELDING AND CUT SURFACES WITH 2 COATS OF GALVACON (ZINC RICH PAINT) OR APPROVED EQUAL.

**SAFETY PROCEDURES**

FALL PROTECTION METHODS TO BE PER FEDERAL, STATE, LOCAL, OSHA, AT&T AND OWNER REQUIREMENTS.

**TOWER/POLE NOTES:**

- VERIFICATION THAT THE EXISTING TOWER/POLE CAN SUPPORT THE PROPOSED ANTENNA LOADING IS TO BE DONE BY OTHERS.
- PROVIDE SUPPORTS FOR THE ANTENNA COAX CABLES TO THE ELEVATION OF ALL INITIAL AND FUTURE ANTENNAS. ANTENNA COAX CABLES ARE TO BE SUPPORTED AND RESTRAINED AT THE CENTERS SUITABLE TO THE MANUFACTURER'S REQUIREMENTS.

**SYMBOLS AND ABBREVIATIONS**

A/C	AIR CONDITIONING	MAX	MAXIMUM
AGL	ABOVE GROUND LEVEL	MECH	MECHANICAL
APRX	APPROXIMATELY	MTL	METAL
AWS	ADVANCED WIRELESS SERVICE	MFR	MANUFACTURE
BBU	BATTERY BACKUP UNIT	MGR	MANAGER
BLDG	BUILDING	MIN	MINIMUM
BLK	BLOCKING	MISC	MISCELLANEOUS
CLG	CEILING	NA	NOT APPLICABLE
CLR	CLEAR	NIC	NOT IN CONTRACT
CONC	CONCRETE	NTS	NOT TO SCALE
CONC	CONSTRUCTION	OC	ON CENTER
CONT	CONTINUOUS	OD	OUTSIDE DIAMETER
DBL	DOUBLE	PCS	PERSONAL COMMUNICATION SERVICE
Ø	DIAMETER		
DIAG	DIAGONAL	PDU	POWER DISTRIBUTION UNIT
DN	DOWN	PLYWD	PLYWOOD
DET	DETAIL	PROJ	PROJECT
DIAG	DIAGONAL	PROP	PROPERTY
DN	DOWN	PT	PRESSURE TREATED
DET	DETAIL	REQ	REQUIRED
DIAG	DIAGONAL	RF	RADIO FREQUENCY
DN	DOWN	RM	ROOM
DET	DETAIL	RO	ROUGH OPENING
DIAG	DIAGONAL	RRH	REMOTE RADIO HEAD
DN	DOWN	SHT	SHEET
DET	DETAIL	SIM	SIMILAR
DIAG	DIAGONAL	SPEC	SPECIFICATION
DN	DOWN	SF	SQUARE FOOT
DET	DETAIL	SS	STAINLESS STEEL
DIAG	DIAGONAL	STL	STEEL
DN	DOWN	STRUCT	STRUCTURAL
DET	DETAIL	STD	STUD
DIAG	DIAGONAL	SUSP	SUSPENDED
DN	DOWN	THRU	THROUGH
DET	DETAIL	TMA	TOWER MOUNTED AMPLIFIER
DIAG	DIAGONAL	TND	TINNED
DN	DOWN	TYP	TYPICAL
DET	DETAIL	UMTS	UNIVERSAL MOBILE
DIAG	DIAGONAL	VERT	VERTICAL
DN	DOWN	W/	WITH
DET	DETAIL	W/O	WITHOUT
DIAG	DIAGONAL	WCS	WIRELESS COMMUNICATION SERVICE
DN	DOWN	WP	WATER PROOF
DET	DETAIL		

**LEGEND**

	SUBJECT PARCEL
	SECTION LINES
	PROPERTY LINES
	RIGHT-OF-WAY LINES
	PROPOSED CONTOUR - MAJOR
	PROPOSED CONTOUR - MINOR
	EXISTING CONTOUR - MAJOR
	EXISTING CONTOUR - MINOR
	COAXIAL CABLE RUN
	FIBER OPTIC CABLE RUN
	ELECTRICAL CABLE RUN
	TELECOM UNDER/OVER HEAD
	FENCE - SEDIMENT
	FENCE - CHAINLINK, /w BARB



Know what's below.  
Call before you dig.

**NOTE:**  
STRUCTURAL DRAWINGS AND NOTES SHALL TAKE PRECEDENCE OVER ALL DRAWINGS AND NOTES.



**SITE: SA06**

MISSION STREET

1313 MILL STREET SE  
SALEM, OR 97301

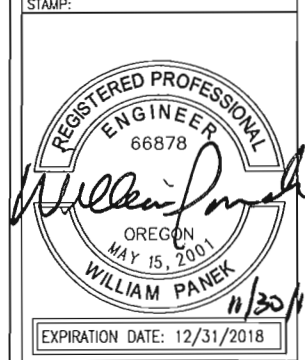
PROJECT:  
**LTE 6C(FN)/MULTI**

ISSUED FOR:  
**CONSTRUCTION**

SUBMITTALS			
REV.	DATE	DESCRIPTION	BY
0	10/5/18	PRELIM CDS	MH
1	10/24/18	FINAL CDS	MH
1	11/29/18	RRH RELOCATION	MH

FA#: 10094075  
DRAWN BY: MH  
CHECKED BY: JW

CURRENT ISSUE DATE:  
**11/29/18**



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SHEET TITLE:  
**GENERAL NOTES**

SHEET NUMBER: GN-1  
REV: 1

X:\Projects\AT&T\_Performance\_10094075\_SA06\_Mission\_Site\TE 86





AT&T MOBILITY CORP.  
19801 SW 72ND AVE., STE. 200  
TUALATIN, OR 97062



4004 KRUSE WAY PLACE  
BLDG. 4004, SUITE #220  
LAKE OSWEGO, OR 97035

**SITE: SA06**

**MISSION STREET**

1313 MILL STREET SE  
SALEM, OR 97301

PROJECT:  
**LTE 6C(FN)/MULTI**

ISSUED FOR:  
**CONSTRUCTION**

SUBMITTALS			
REV.	DATE	DESCRIPTION	BY
A	10/5/18	PRELIM CDS	MH
0	10/24/18	FINAL CDS	MH
1	11/29/18	RRH RELOCATION	MH

FA#: 10094075  
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EXPIRATION DATE: 12/31/2018

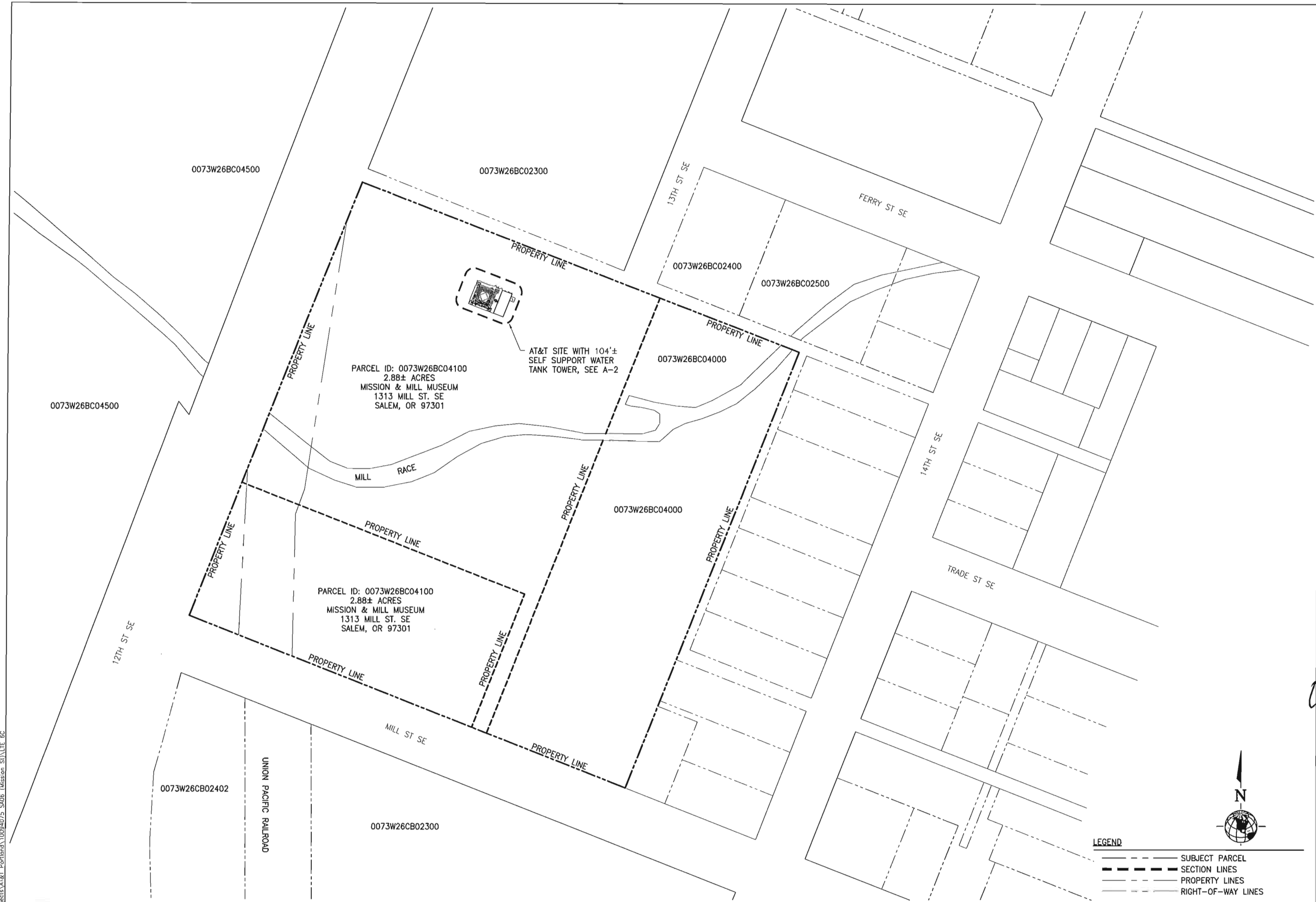
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SHEET TITLE:

**OVERALL SITE PLAN**

SHEET NUMBER: REV.

**A-1** 1



**LEGEND**

- SUBJECT PARCEL
- SECTION LINES
- PROPERTY LINES
- RIGHT-OF-WAY LINES



22"x34" SCALE: 1"=50'  
11"x17" SCALE: 1"=100'

**OVERALL SITE PLAN 1**

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**SITE: SA06**

**MISSION STREET**

1313 MILL STREET SE  
SALEM, OR 97301

PROJECT:  
**LTE 6C(FN)/MULTI**

ISSUED FOR:  
**CONSTRUCTION**

SUBMITTALS			
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0	10/24/18	FINAL CDS	MH
1	11/29/18	RRH RELOCATION	MH

FA#: 10094075  
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CURRENT ISSUE DATE:  
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STAMP:

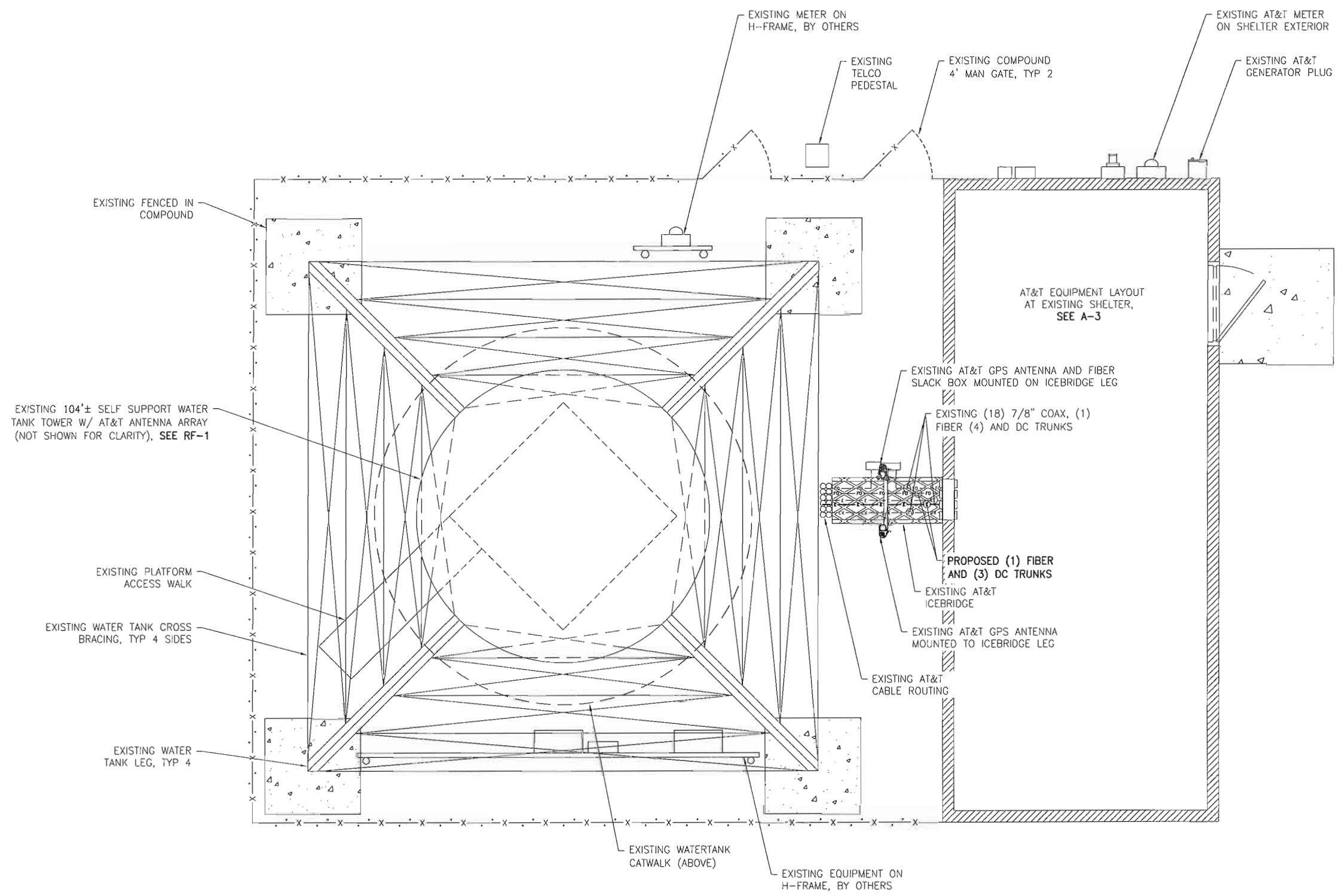


EXPIRATION DATE: 12/31/2018

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SHEET TITLE:  
**COMPOUND LAYOUT PLANS**

SHEET NUMBER: **A-2** REV. **1**



V:\Projects\AT&T Portland\10094075\_SA06\_Mission\_SU\L1E\_6C

22"x34" SCALE: 1"=2.5'  
11"x17" SCALE: 1"=5'

COMPOUND LAYOUT 1



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**SITE: SA06**

**MISSION STREET**

1313 MILL STREET SE  
SALEM, OR 97301

PROJECT:  
**LTE 6C(FN)/MULTI**

ISSUED FOR:  
**CONSTRUCTION**

SUBMITTALS			
REV.	DATE	DESCRIPTION	BY
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1	11/29/18	RRH RELOCATION	MH

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CURRENT ISSUE DATE:  
**11/29/18**

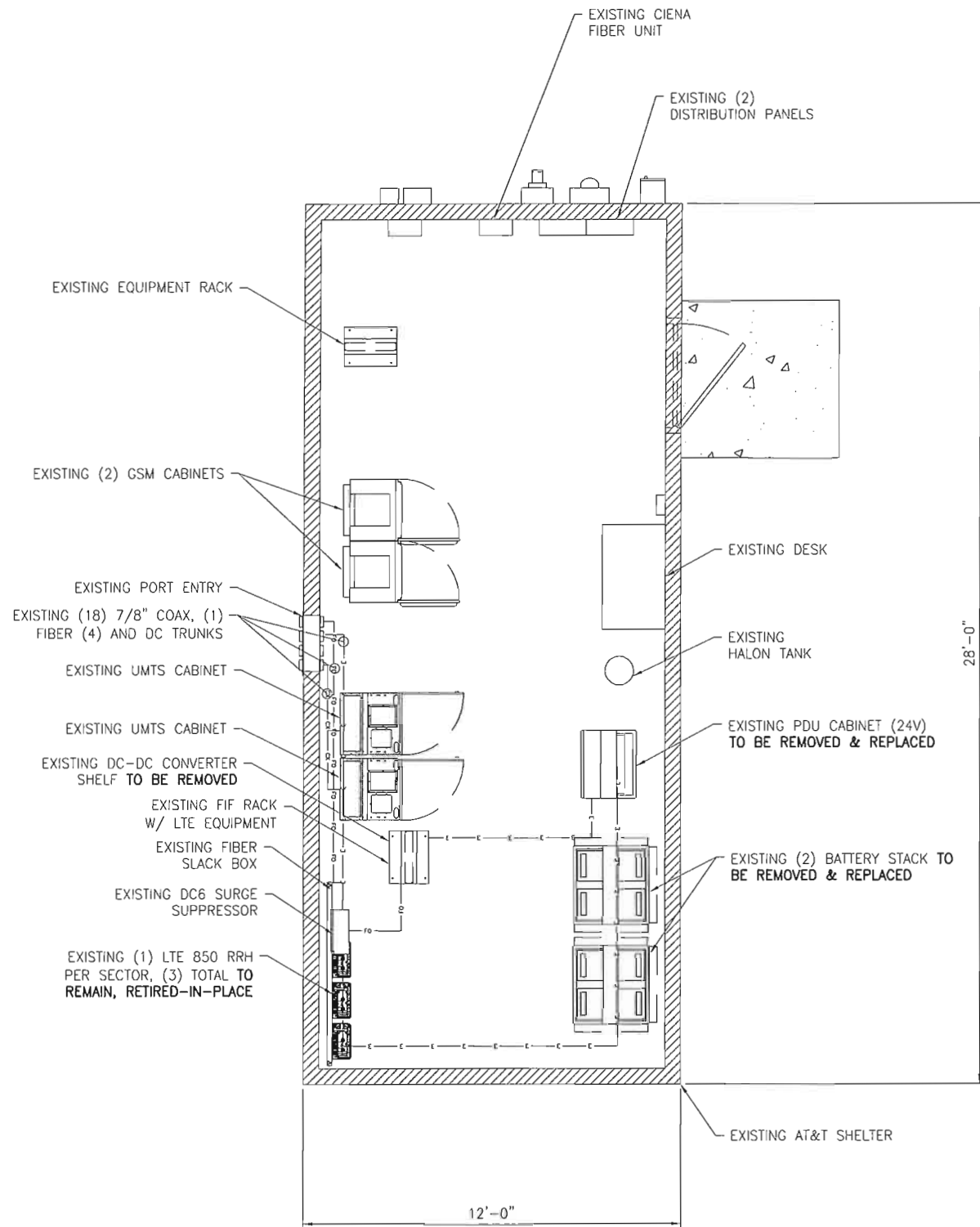
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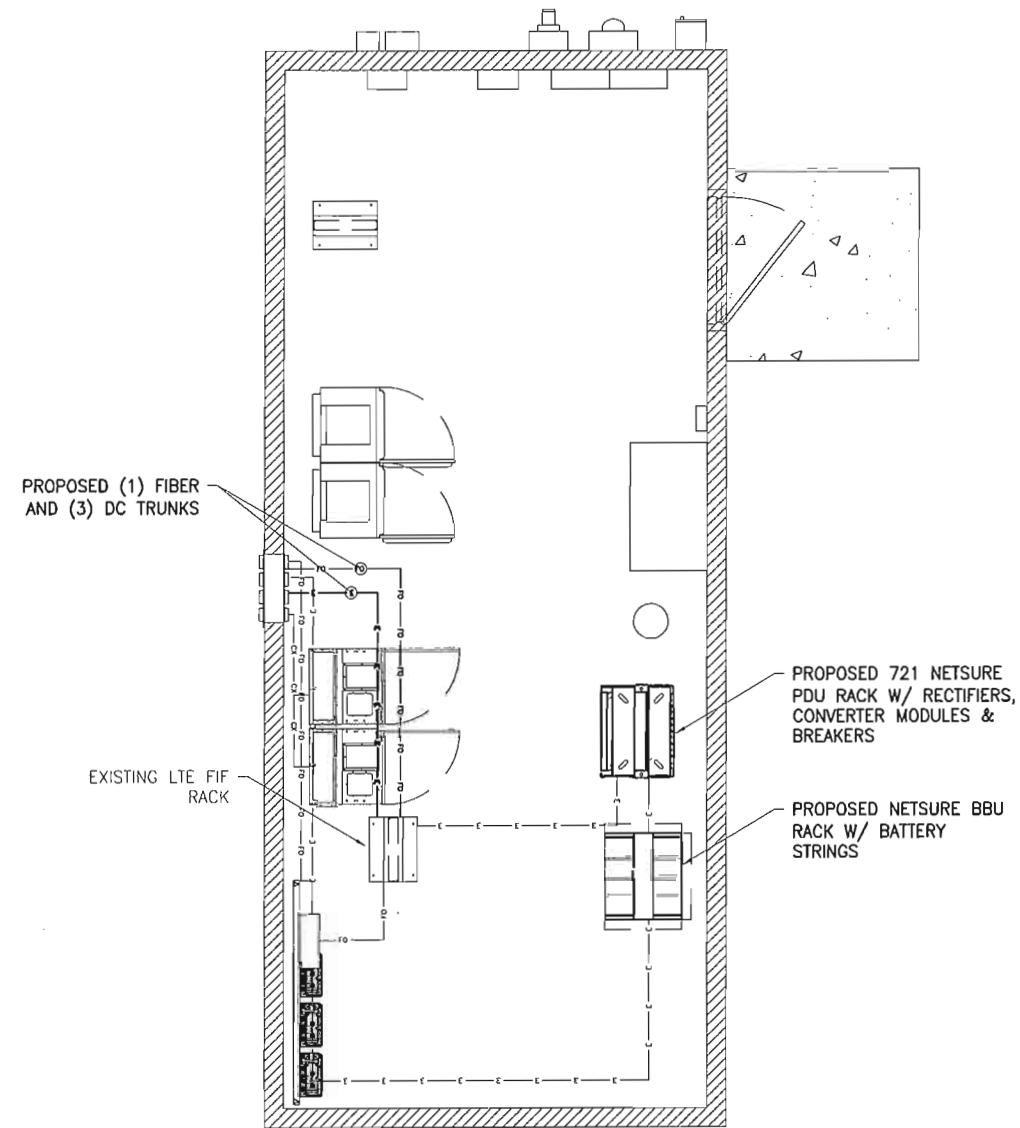
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SHEET TITLE:  
**EQUIPMENT LAYOUT PLANS**

SHEET NUMBER: **A-3** REV. **1**



**EXISTING EQUIPMENT LAYOUT 2**



**PROPOSED EQUIPMENT LAYOUT 1**

X:\Projects\AT&T\_Portland\10094075\_SA06 (Mission\_SU)\LTE\_6C

22"x34" SCALE: 1"=2.5'  
11"x17" SCALE: 1"=5'

22"x34" SCALE: 1"=2.5'  
11"x17" SCALE: 1"=5'





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**SITE: SA06**

**MISSION STREET**

1313 MILL STREET SE  
SALEM, OR 97301

PROJECT:  
**LTE 6C(FN)/MULTI**

ISSUED FOR:  
**CONSTRUCTION**

SUBMITTALS			
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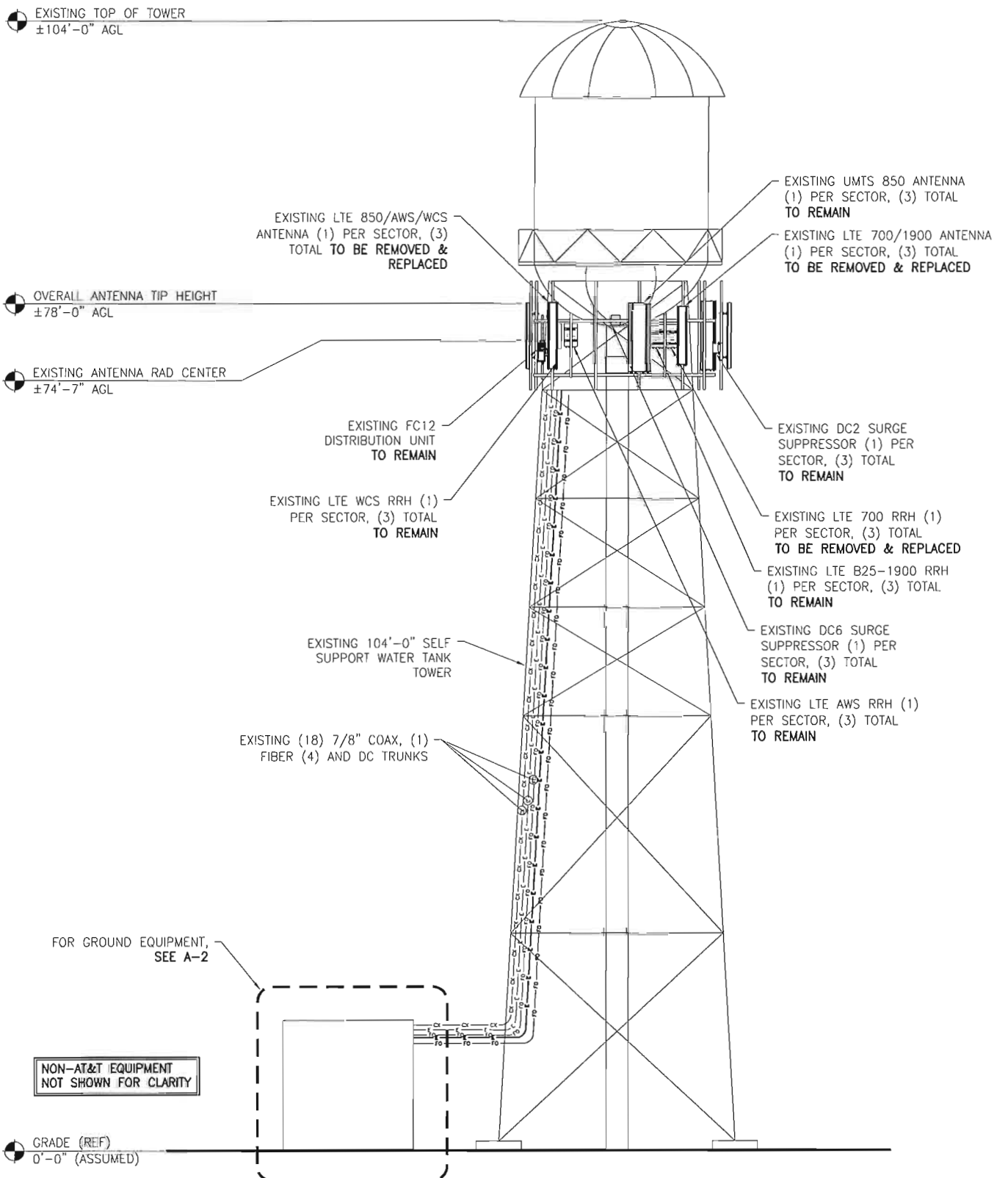
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SHEET TITLE:  
**ELEVATIONS**

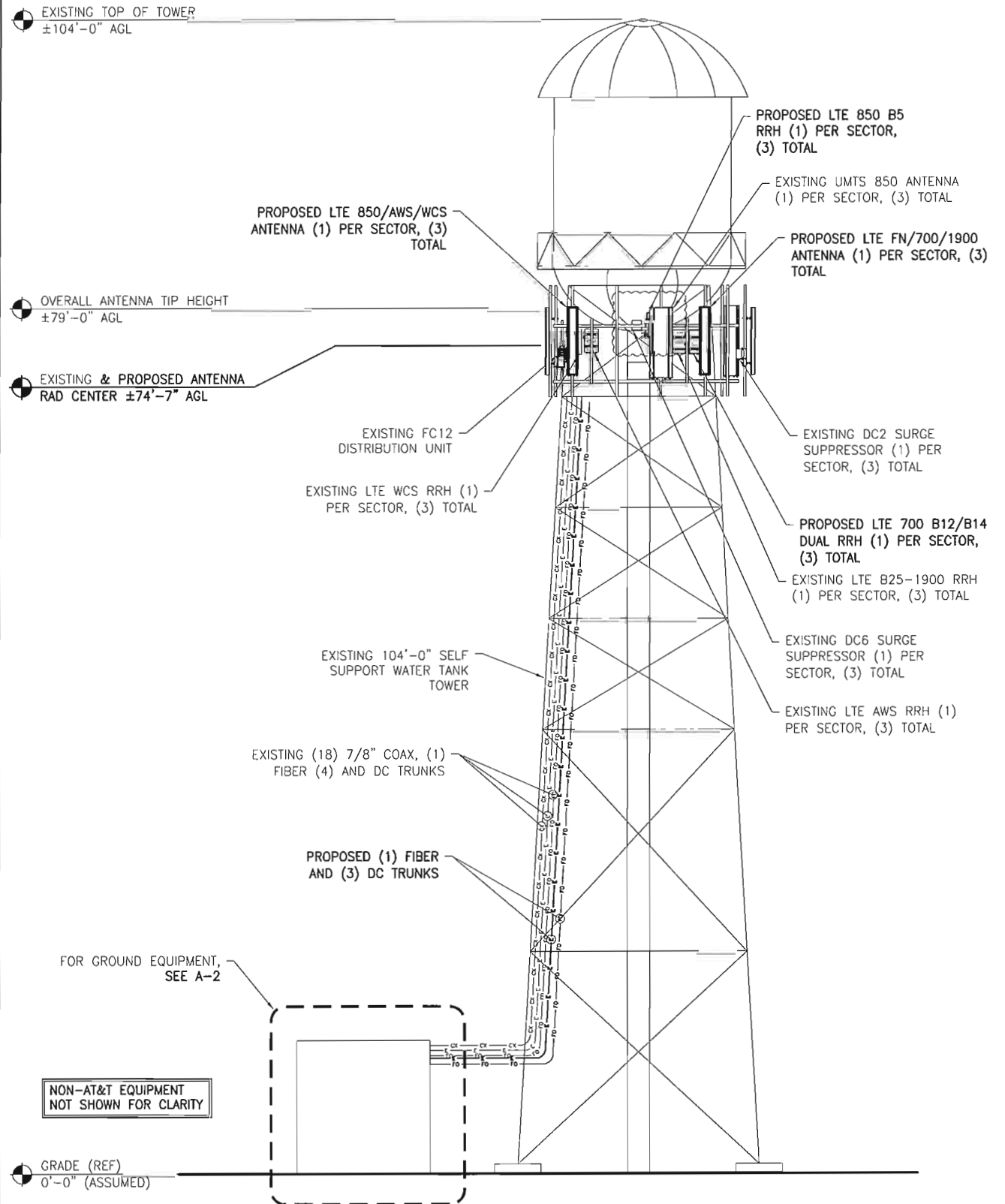
SHEET NUMBER: **A-4** REV. **1**

1. PAINT PROPOSED ANTENNAS TO MATCH EXISTING.  
2. CONTRACTOR TO VERIFY RF DATA WITH CONSTRUCTION MANAGER AND/OR RF ENGINEER PRIOR TO CONSTRUCTION

90' CRANE PERMITTED.



**EXISTING ELEVATION 2**

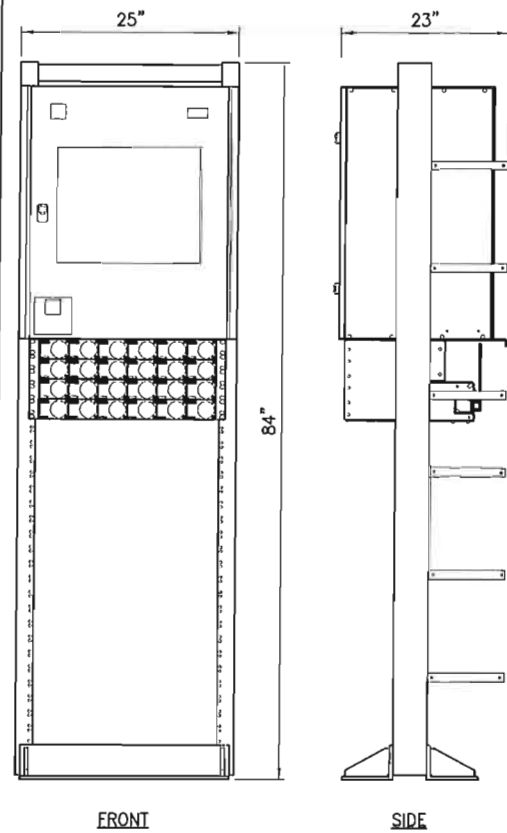


**PROPOSED ELEVATION 1**

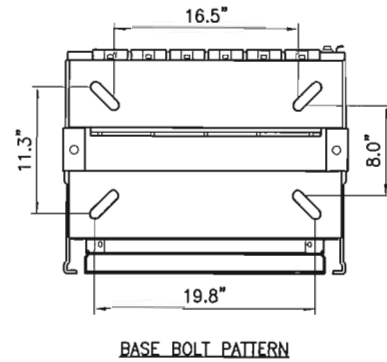
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22"x34" SCALE: NTS  
11"x17" SCALE: NTS

22"x34" SCALE: NTS  
11"x17" SCALE: NTS

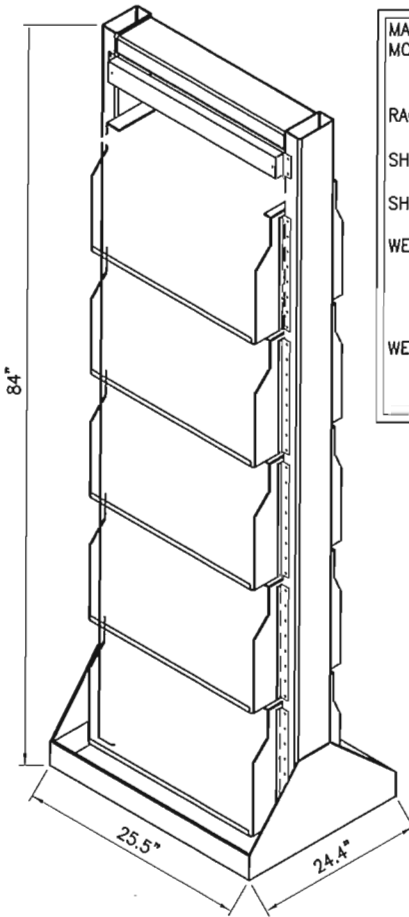


MANUFACTURER: EMERSON  
 MODEL: NETSURE 721 POWER SYSTEM  
 HEIGHT: 84"  
 WIDTH: 25"  
 DEPTH: 23"  
 WEIGHT:  
 COMPONENTS:  
 (12) RECTIFIER ONLY POSITIONS  
 (12) RECTIFIER/CONVERTER POSITIONS  
 LVBD/MBD  
 ETHERNET  
 TEMP COMP  
 (57) -48V (12) +24V CB POSITIONS  
 (SHIPS ON 7FT ZONE 4 RACK)



FRONT SIDE  
 1/2" Ø HILTI KWIK BOLT TZ WITH 2 1/2" MIN EMBED INTO CONC FLOOR. USE 5/8" Ø X 2 1/2" LONG LAG SCREWS INTO WOOD FLOOR MEMBERS/BLOCKING, TYP 4

SCALE : NTS EMERSON INDOOR NETSURE 721 POWER CABINET 9



MANUFACTURER: NETSURE  
 MODEL: VRLA  
 088-7152-0123-0000 (24V)  
 088-7154-0123-0000 (48V)  
 RACK (H x W x D):  
 84" x 25.5" x 24.4"  
 SHELF (H x W x D):  
 13.27" x 21.57" x 21.16"  
 SHELF WEIGHT CAPACITY:  
 560 LBS/SHELF  
 WEIGHT:  
 (WITHOUT BATTERIES)  
 3 SHELF ~575 lbs  
 4 SHELF ~650 lbs  
 5 SHELF ~725 lbs  
 WEIGHT:  
 (\*WITH BATTERIES)  
 5 SHELF (\*20) ~3130 lbs

SCALE : NTS NETSURE VRLA BATTERY RACK 8

NOT USED	6	NOT USED	5
----------	---	----------	---

NOT USED	4	NOT USED	3
----------	---	----------	---

NOT USED	2	NOT USED	1
----------	---	----------	---



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 BLDG.4004, SUITE #220  
 LAKE OSWEGO, OR 97035

SITE: SA06  
 MISSION STREET  
 1313 MILL STREET SE  
 SALEM, OR 97301

PROJECT:  
**LTE 6C(FN)/MULTI**

ISSUED FOR:  
**CONSTRUCTION**

SUBMITTALS			
REV.	DATE	DESCRIPTION	BY
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0	10/24/18	FINAL CDS	MH
1	11/29/18	RRH RELOCATION	MH

FA#: 10094075  
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SHEET TITLE:  
**EQUIPMENT DETAILS**

SHEET NUMBER: **A-6** REV: 1



**PROPOSED ANTENNA CONFIGURATION AND CABLE SCHEDULE**

SA06 - CASCADIA SUPPLIED BY AT&T WIRELESS, FROM RF CONFIG DATED: 8/1/2018 BY: rb438h												
SECTOR	POS	TECHNOLOGY	ANTENNA MAKE	ANTENNA MODEL	ANTENNA RAD CENTER (FEET AGL)	AZIMUTH (DEGREES)	TMA MODEL	QTY	DC SURGE AND DISTRIBUTION (QTY)	FEEDER TYPE (LTE)	FEEDER LENGTH (FT)	DOWNTILT (DEGREES)
A	1	LTE FN/700/1900	CommScope	NNHH-65C-R4	74.6	15	0	0	DC6-48-60-18-01 (4) DC2-48-60-0-9E (3) FC12-PC6-10E (1) DC12-48-60-RM (1)	(2) FIBER / (7) DC (18) 7/8" COAX	100	(M): 2° (E): L7(12°), L9(3°), L7_PS(12°)
	2	UMTS 850	TenXc Wireless	BSA-M65-19R010-02_L	74.6	15	0	0				(M): 0° (E): U8(6°), U8_1(6°)
	3											
	4	LTE 850/AWS/WCS	KMW	EPBQ-654L8H8-L2	74.6	15	0	0				(M): 2° (E): L2(3°), L8(12°), WCS(3°), L2_1(3°)
B	1	UMTS 850	TenXc Wireless	BSA-M65-19R010-02_L	74.6	135	0	0				(M): 0° (E): U8(8°), U8_1(8°)
	2											
	3	LTE 850/AWS/WCS	KMW	EPBQ-654L8H8-L2	74.6	150	0	0				(M): 2° (E): L2(3°), L8(7°), WCS(3°), L2_1(3°)
	4	LTE FN/700/1900	CommScope	NNHH-65C-R4	74.6	150	0	0				(M): 2° (E): L7(7°), L9(3°), L7_PS(7°)
C	1	LTE FN/700/1900	CommScope	NNHH-65C-R4	74.6	255	0	0				(M): 0° (E): L7(2°), L9(2°), L7_PS(2°)
	2											
	3	UMTS 850	TenXc Wireless	BSA-M65-19R010-02_L	74.6	255	0	0				(M): 0° (E): U8(8°), U8_1(8°)
	4	LTE 850/AWS/WCS	KMW	EPBQ-654L8H8-L2	74.6	255	0	0				(M): -1° (E): L2(2°), L8(2°), WCS(2°), L2_1(1°)
D		UMTS 850	TenXc Wireless	BSA-M65-19R010-02_L	74.6	15	0	0	(M): 0° (E): U8(6°), U8_1(6°)			
E		UMTS 850	TenXc Wireless	BSA-M65-19R010-02_L	74.6	135	0	0	(M): 0° (E): U8(8°), U8_1(8°)			
F		UMTS 850	TenXc Wireless	BSA-M65-19R010-02_L	74.6	255	0	0	(M): 0° (E): U8(8°), U8_1(8°)			

1. TOWER/ANTENNA DESIGN AND ANALYSIS BY CORNERSTONE - 10/8/2018. TOWER OWNER RESPONSIBLE FOR REVIEW OF PROPOSED ANTENNAS.
2. PAINT PROPOSED ANTENNAS TO MATCH EXISTING.
3. CONTRACTOR TO VERIFY RF DATA WITH CONSTRUCTION MANAGER AND/OR RF ENGINEER PRIOR TO CONSTRUCTION



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LAKE OSWEGO, OR 97035

**SITE: SA06**

MISSION STREET

1313 MILL STREET SE  
SALEM, OR 97301

PROJECT:  
**LTE 6C(FN)/MULTI**

ISSUED FOR:  
**CONSTRUCTION**

SUBMITTALS

REV.	DATE	DESCRIPTION	BY
A	10/5/18	PRELIM CDS	MH
0	10/24/18	FINAL CDS	MH
1	11/29/18	RRH RELOCATION	MH

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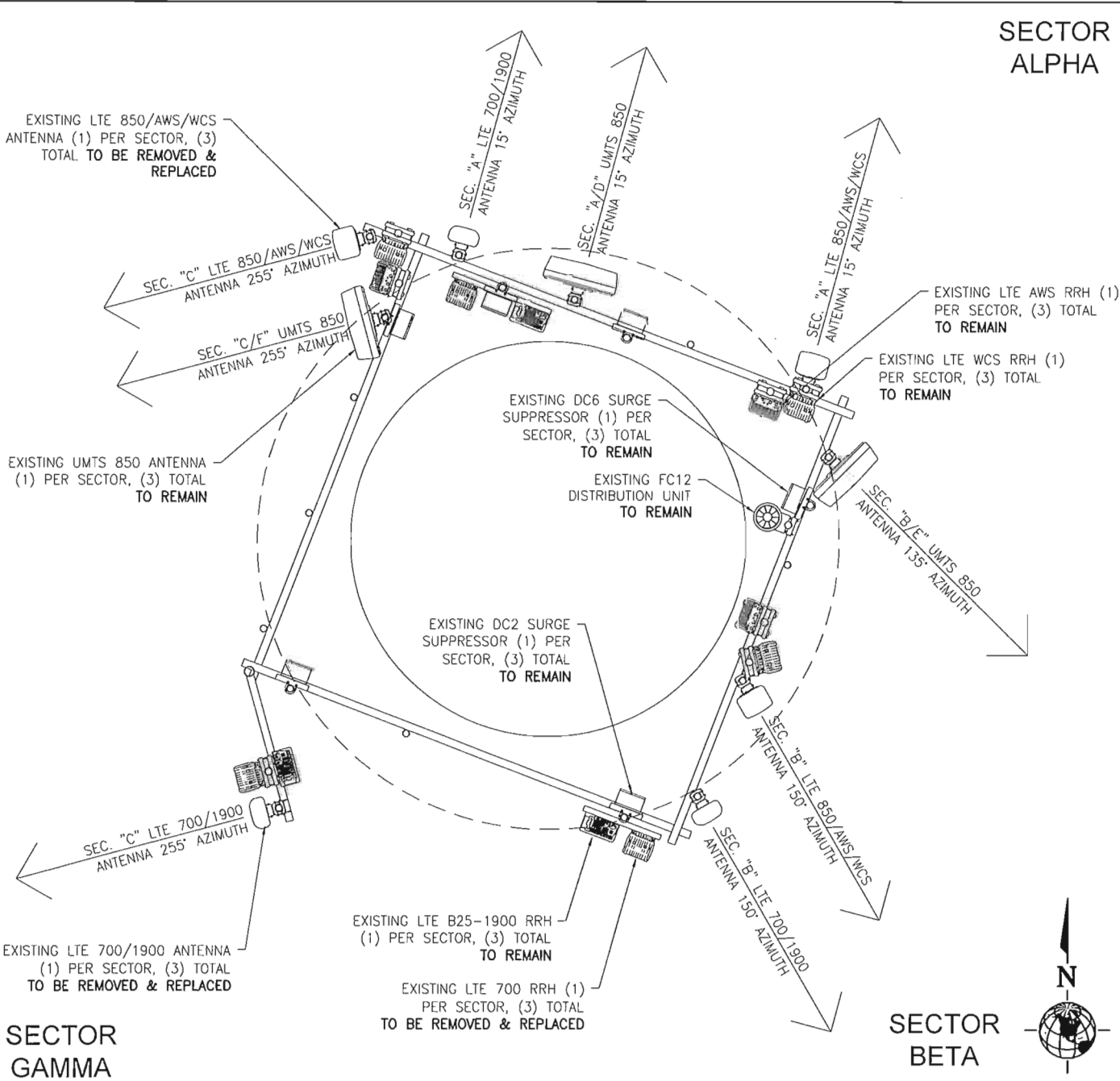


EXPIRATION DATE: 12/31/2018

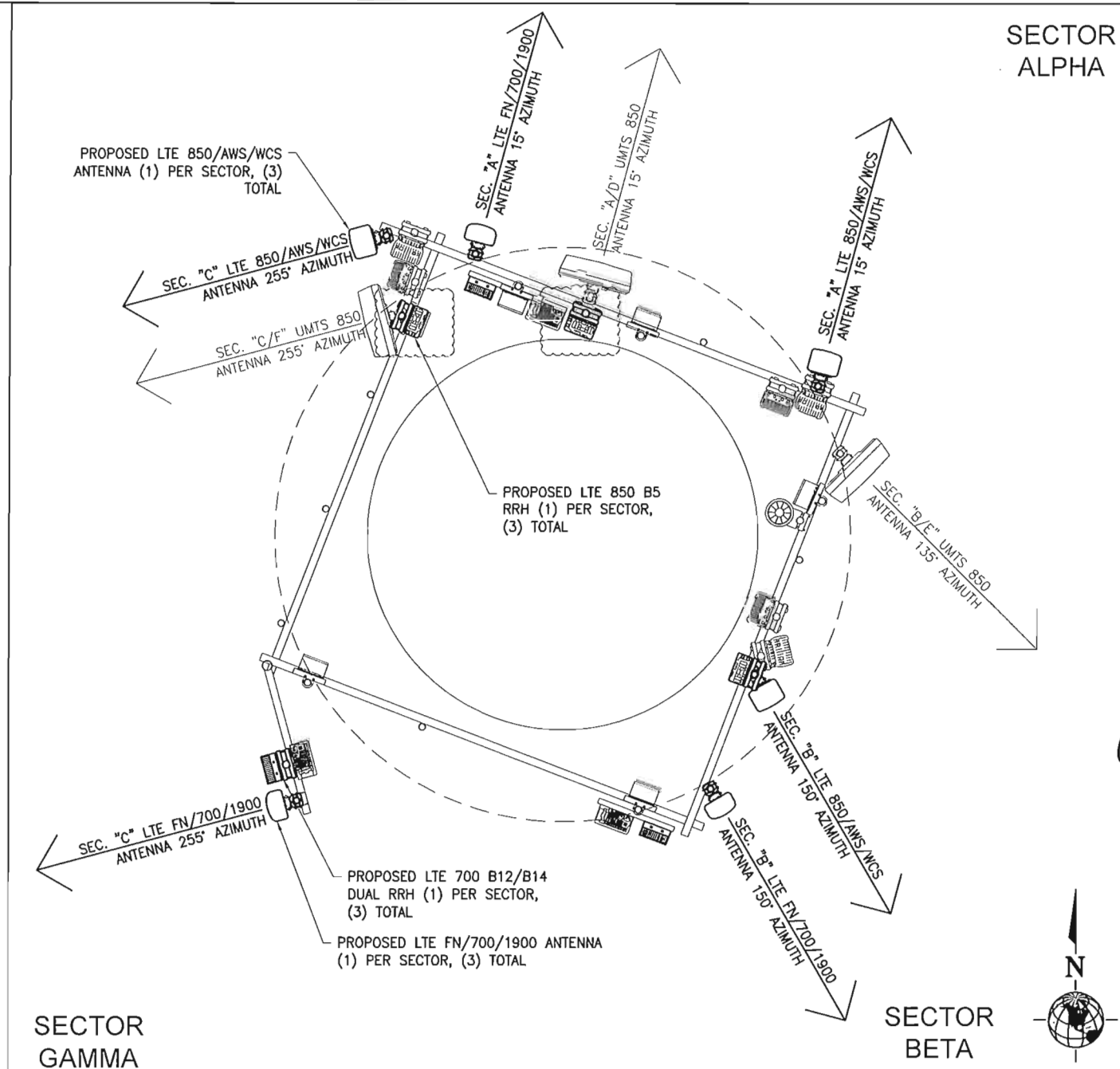
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SHEET TITLE:  
**ANTENNA CONFIGURATIONS**

SHEET NUMBER: **RF-1** REV: **1**



EXISTING ANTENNA CONFIGURATION 2



PROPOSED ANTENNA CONFIGURATION 1

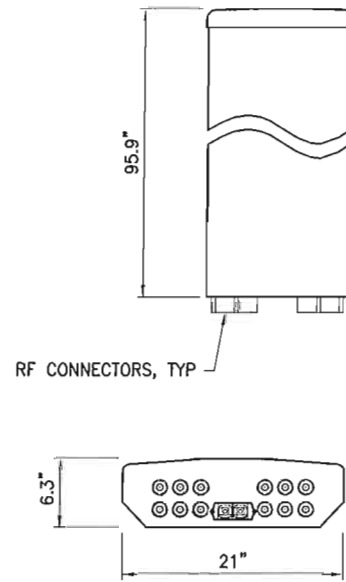
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SCALE: NTS

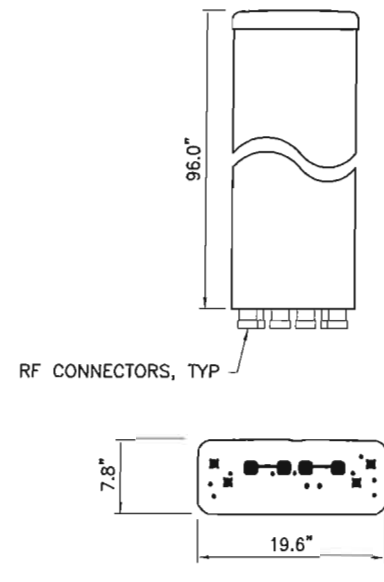
SCALE: NTS



MANUFACTURER: KMW  
 PART#: EPBQ-654L8H8-L2  
 LENGTH: 96.0"  
 WIDTH: 21.0"  
 DEPTH: 6.3"  
 WEIGHT: 86.0 lbs

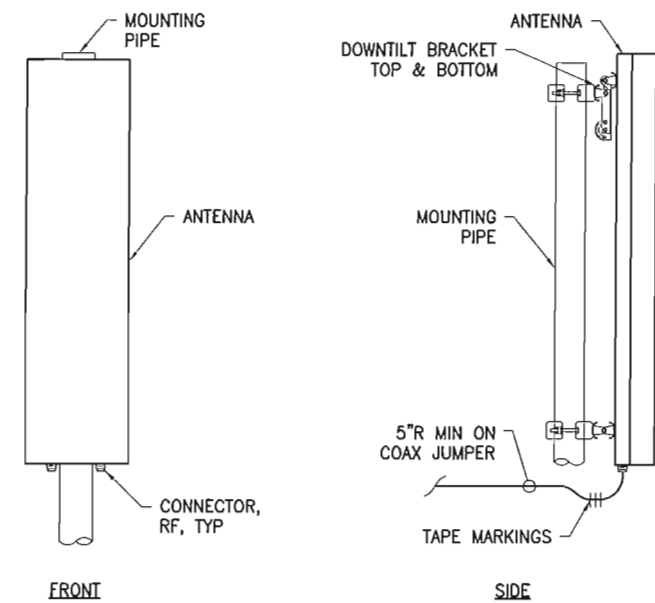


MANUFACTURER: COMMSCOPE  
 PART #: NNHH-65C-R4  
 LENGTH: 96.0"  
 WIDTH: 19.6"  
 DEPTH: 7.8"  
 WEIGHT: 99.2 lbs.



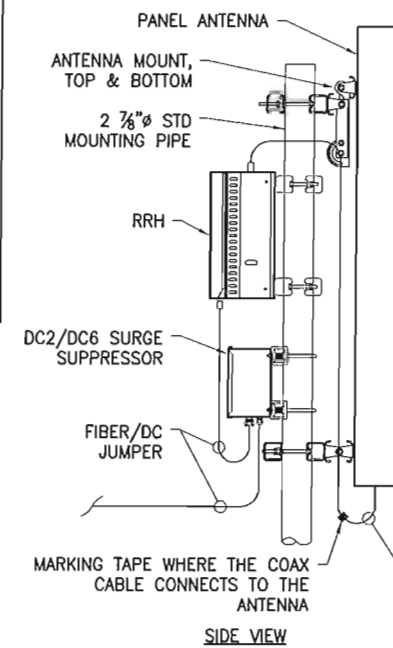
SCALE : NTS **LTE ANTENNA 9**

SCALE : NTS **LTE ANTENNA 8**

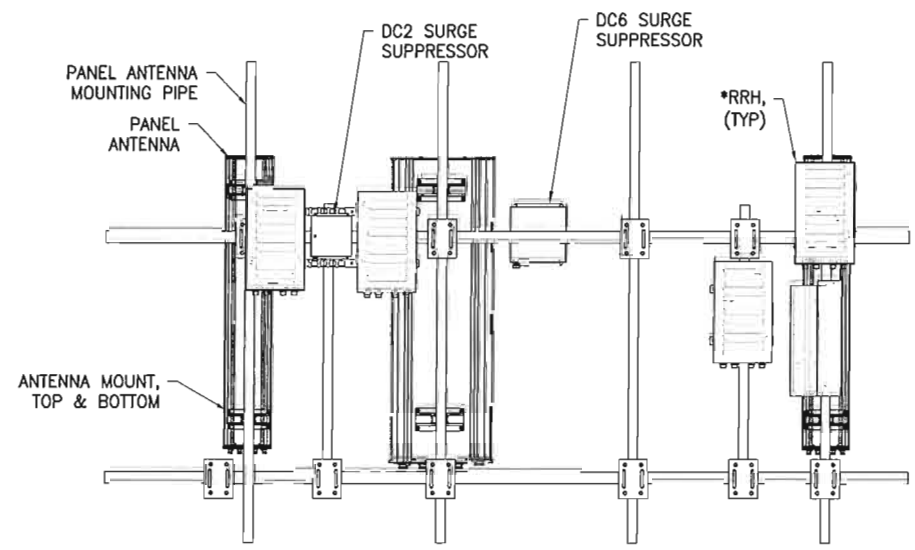


SCALE : NTS **ANTENNA MOUNTING DETAIL 7**

**NOT USED 6**



**SIDE VIEW**



\* CONTRACTOR TO VERIFY RF DATA AND RRH LAYOUT W/ CM AND/OR RF ENGINEER PRIOR TO CONSTRUCTION

**BACK VIEW**

SCALE : NTS **SURGE PROTECTION, RRH & ANTENNA MOUNTING DETAIL 5**

MANUFACTURER: NOKIA AIRSCALE  
 MODEL: 4T4R B12/14 320W AHLBA  
 HEIGHT: 560mm  
 WIDTH: 308mm  
 DEPTH: 177mm  
 WEIGHT: 46kg



SCALE : NTS **AIRSCALE LTE 700 RRH 4**

MANUFACTURER: NOKIA AIRSCALE  
 MODEL: 4T4R B5 160W AHCA  
 HEIGHT: 337mm  
 WIDTH: 295mm  
 DEPTH: 165mm  
 WEIGHT: 16.7kg



SCALE : NTS **AIRSCALE LTE 850 RRH 3**

**NOT USED 2**

**NOT USED 1**



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**SITE: SA06**  
 MISSION STREET  
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PROJECT:  
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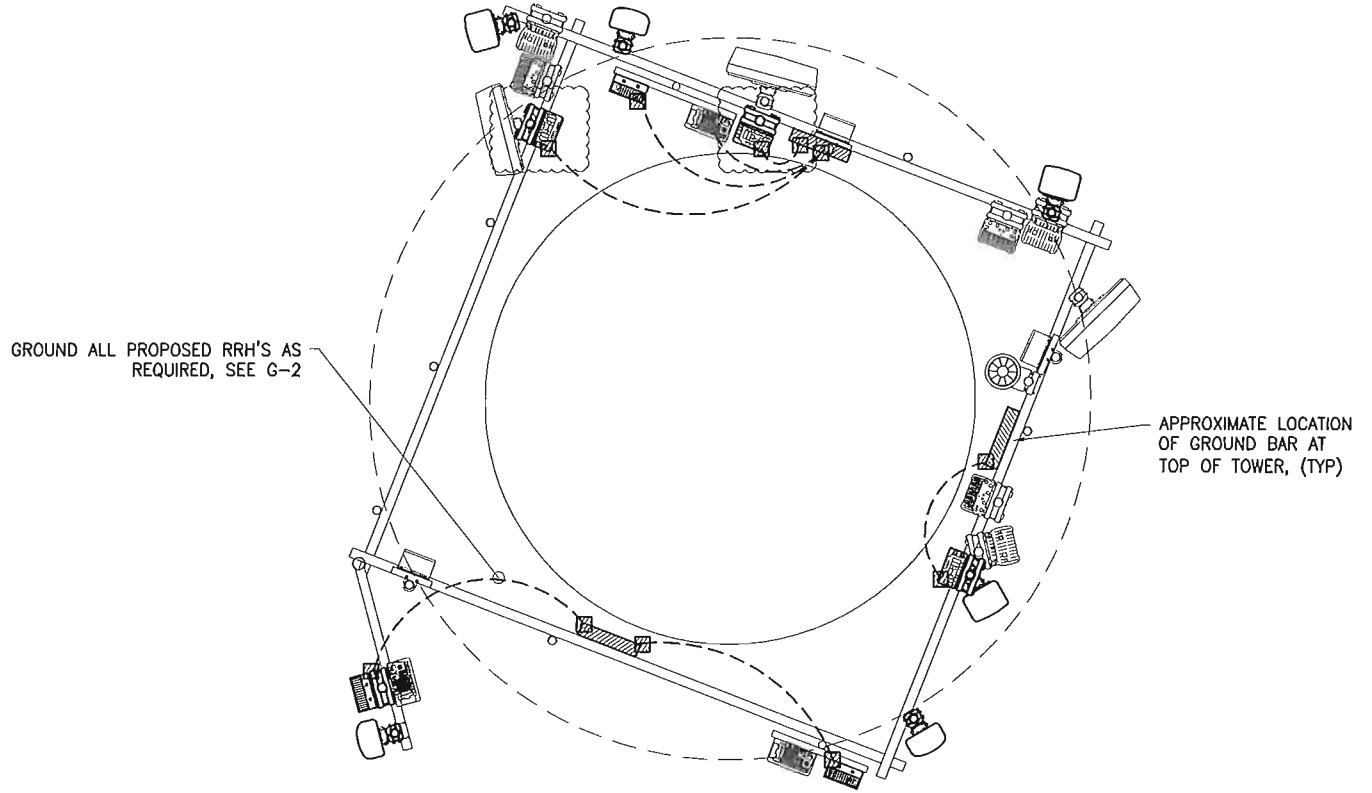


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SHEET TITLE:  
**RF DETAILS**

SHEET NUMBER: **RF-2** REV: **1**

V:\Projects\AT&T - Portland\10094075\_SAO6 (Mission\_S1)\LTE\_6C



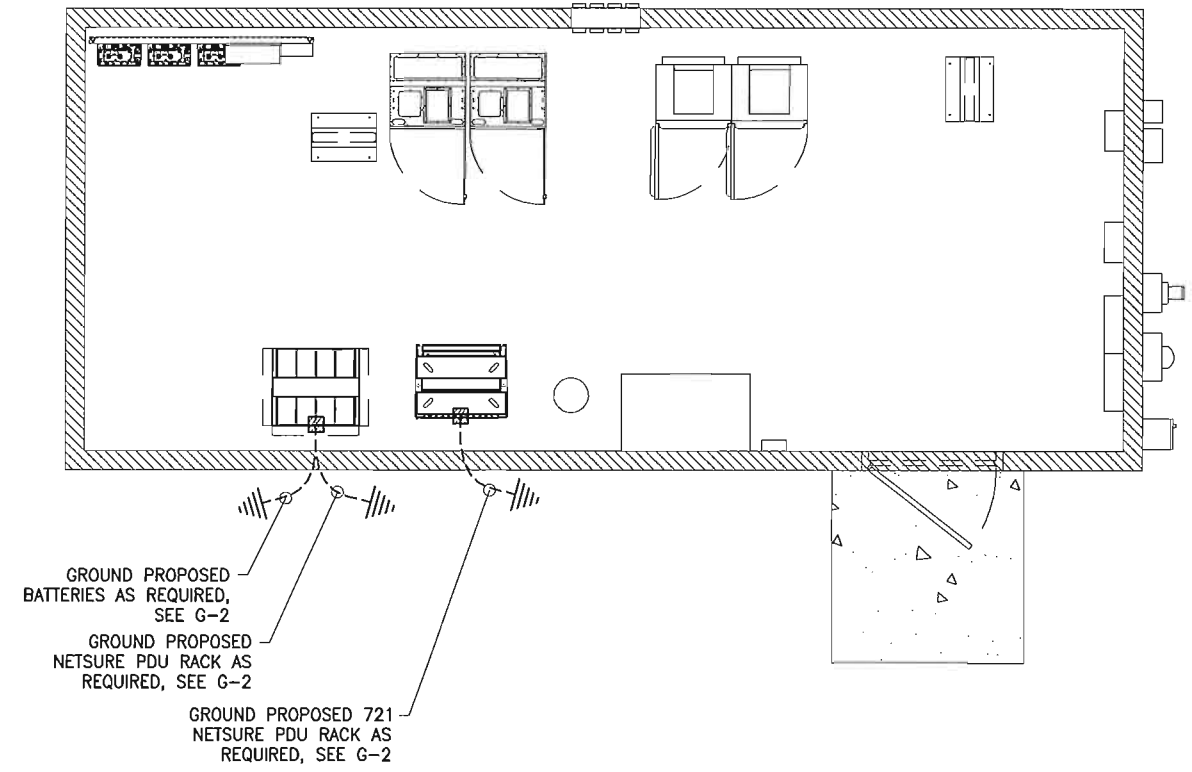
SYMBOL	DESCRIPTION
⊗	COPPER GROUND ROD
⊠	TEST WELL
△	CADWELD CONNECTION
▨	GROUND BAR
⊞	MECHANICAL CONNECTION
⋈	FIELD VERIFY & TIE INTO EXISTING GROUNDING SYSTEM

- GENERAL GROUNDING NOTES:**
- GROUNDING SHALL BE INSTALLED 6" BELOW FROST DEPTH OR 30" BELOW GRADE, WHICHEVER IS GREATER. CONFIRM FROST DEPTH WITH JURISDICTION.
  - ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS.
  - GROUND ALL ANTENNA BASES, FRAMES, CABLE RUNS, AND OTHER METALLIC COMPONENTS USING GROUND WIRES AND CONNECT TO SURFACE MOUNTED BUS BARS. FOLLOW ANTENNA AND BTS MANUFACTURERS PRACTICES FOR GROUNDING REQUIREMENTS. GROUND COAX SHIELD AT BOTH ENDS AND EXIT FROM TOWER OR POLE USING MFR'S PRACTICES.
  - ALL GROUND CONNECTIONS SHALL BE CADWELDED. ALL WIRES SHALL BE COPPER THHN/THWN. ALL GROUND WIRE SHALL BE GREEN INSULATED WIRE ABOVE GROUND.
  - CONTRACTOR TO VERIFY AND TEST GROUND TO SOURCE. GROUNDING AND OTHER OPERATIONAL TESTING WILL BE WITNESSED BY AT&T REPRESENTATIVE.
  - REFER TO DIVISION 16 GENERAL ELECTRIC; GENERAL ELECTRICAL PROVISION AND COMPLY WITH ALL REQUIREMENTS OF GROUNDING STANDARDS.
  - ELECTRICAL CONTRACTOR TO PROVIDE DETAILED DESIGN OF GROUNDING SYSTEM, AND RECEIVE APPROVAL OF DESIGN BY AUTHORIZED AT&T MOBILITY REPRESENTATIVE, PRIOR TO INSTALLATION OF GROUNDING SYSTEM. PHOTO DOCUMENT ALL CADWELDS AND GROUND RING
  - NOTIFY CONSTRUCTION MANAGER IF THERE ARE ANY DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SITE SOIL CONDITIONS.

- GENERAL ROD NOTES (WHERE APPLICABLE):**
- ELECTRICAL CONTRACTOR SHALL ORDER GROUND RESISTANCE TESTING ONCE THE GROUND SYSTEM HAS BEEN INSTALLED; A QUALIFIED INDIVIDUAL, UTILIZING THE FALL OF POTENTIAL METHOD, SHOULD PERFORM THE TEST. THE REPORT WILL SHOW THE LOCATION OF THE TEST AND CONTAIN NO LESS THAN 9 TEST POINTS ALONG THE TESTING LINE, GRAPHED OUT TO SHOW THE PLATEAU.
  - 2 POINT GROUND TEST OR 3 POINT 62% TESTS WILL NOT BE ACCEPTED AS ALTERNATIVES TO THE AFOREMENTIONED GROUND TESTS. TEST SHALL BE PERFORMED WHILE THE COUNTERPOISE IS ISOLATED FROM THE A/C SYSTEM GRIDS AND EXISTING COMMUNICATIONS FACILITY.

22"x34" SCALE: 1"=2.5'  
11"x17" SCALE: 1"=5'

PLATFORM GROUNDING PLAN 1



22"x34" SCALE: 1"=2.5'  
11"x17" SCALE: 1"=5'

GROUNDING PLAN 2



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**SITE: SA06**  
**MISSION STREET**  
1313 MILL STREET SE  
SALEM, OR 97301

PROJECT:  
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STAMP:

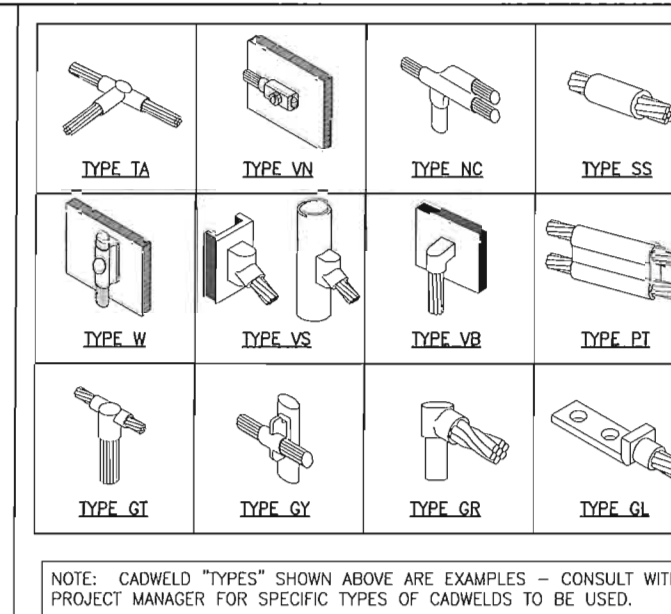
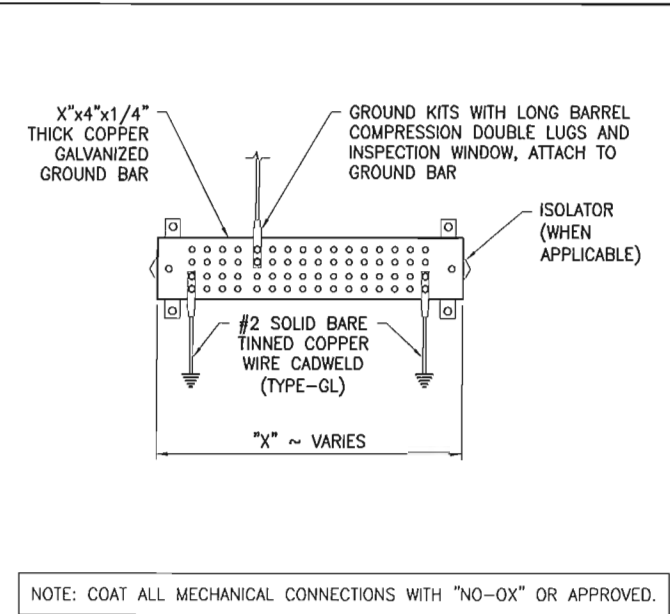
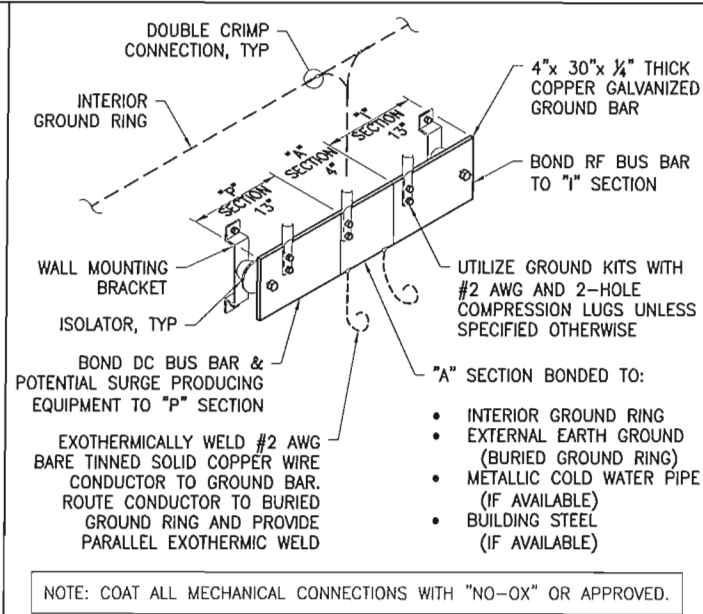
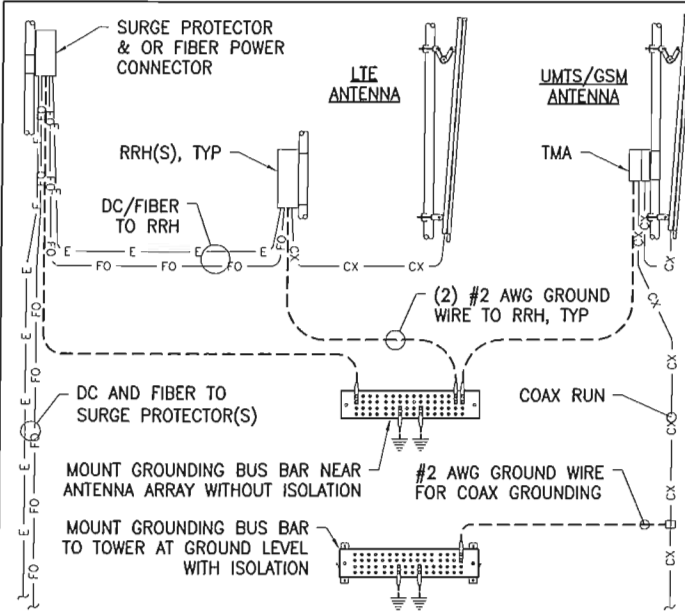
EXPIRATION DATE: 12/31/2018

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AT&T MOBILITY IS STRICTLY PROHIBITED.

SHEET TITLE:  
**GROUNDING PLAN**

SHEET NUMBER: **G-1** REV. **1**

X:\Projects\AT&T - Portland\10094075\_SA06 (Mission) S\1\11E.dwg



SCALE : NTS **GROUNDING SCHEMATIC DIAGRAM** 5

SCALE: NTS **CELL REF GROUND BAR (CRGB)** 4

SCALE : NTS **GROUND BAR** 3

SCALE : NTS **CAD WELD EXAMPLES** 2

AT&T MOBILITY CORP.  
19801 SW 72ND AVE., STE. 200  
TUALATIN, OR 97062

complete wireless solutions  
4004 KRUSE WAY PLACE  
BLDG. 4004, SUITE #220  
LAKE OSWEGO, OR 97035

**SITE: SA06**  
**MISSION STREET**  
1313 MILL STREET SE  
SALEM, OR 97301

PROJECT:  
**LTE 6C(FN)/MULTI**  
ISSUED FOR:  
**CONSTRUCTION**

SUBMITTALS

REV.	DATE	DESCRIPTION	BY
A	10/5/18	PRELIM CDS	MH
0	10/24/18	FINAL CDS	MH
1	11/29/18	RRH RELOCATION	MH

FA#: 10094075  
DRAWN BY: MH  
CHECKED BY: JW  
CURRENT ISSUE DATE:  
**11/29/18**

STAMP:

REGISTERED PROFESSIONAL ENGINEER  
66878  
OREGON  
MAY 15, 2001  
WILLIAM PANEK  
11/30/18  
EXPIRATION DATE: 12/31/2018

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AT&T MOBILITY IS STRICTLY PROHIBITED.

SHEET TITLE:  
**GROUNDING DETAILS**

SHEET NUMBER: **G-2** REV. 1

NOT USED 1



GENERAL NOTES:

- ALL ELECTRICAL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE.
- COMPLY WITH THE LATEST EDITION OF THE UNIFORM BUILDING CODE, THE REQUIREMENTS OF ALL APPLICABLE MUNICIPAL AND STATE CODES AND REGULATIONS, AND UTILITY GUIDELINES.
- PERFORM ALL VERIFICATION, OBSERVATIONS, TESTING AND EXAMINATION OF WORK PRIOR TO THE ORDERING OF ELECTRICAL EQUIPMENT AND THE ACTUAL CONSTRUCTION. ISSUE A WRITTEN NOTICE OF ALL FINDINGS TO THE CONSTRUCTION MANAGER LISTING ALL MALFUNCTIONS, FAULTY EQUIPMENT AND DISCREPANCIES.
- UNDERGROUND CONDUIT SHALL BE RIGID POLYVINYL CHLORIDE CONDUIT: TYPE SCHEDULE 40 (OVERHEAD CONDUIT SHALL BE GALVANIZED RIGID CONDUIT-GRC) CONFORMING TO UL ARTICLE 651: WESTERN PLASTICS OR CARBON MANUFACTURER. COUPLINGS SHALL BE SLIP-ON SOLVENT SEALED T PIPE: SOLVENT, WESTERN TYPE COMPATIBLE WITH PVC DUCT, ALL BENDS SHALL BE 30" MINIMUM RADIUS.
- ALL WIRING SHALL BE STRANDED COPPER WITH MINIMUM 600V INSULATION (UNLESS OTHERWISE NOTED).
- NEUTRAL SHALL BE COLOR CODED, INSULATION SHALL BE CROSS-LINKED POLYETHYLENE.
- CONTRACTOR TO CONTACT ALL UTILITIES FOR LOCATION OF UNDERGROUND SERVICES. SERVICE LOCATIONS TO BE CONFIRMED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITTING, FILING, AND FEES IN CONJUNCTION WITH THE PROJECT.
- THE CONTRACTOR SHALL SCHEDULE ALL NECESSARY INSPECTIONS WITH THE PROPER AUTHORITIES AND INFORM VELOCITEL 24-HOURS IN ADVANCE. ALL TICKETS AND INSPECTION VERIFICATIONS WILL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE WITHIN 24-HOURS AFTER THE INSPECTION HAS TAKEN PLACE.
- ALL EQUIPMENT, WIRING, AND MATERIALS MUST HAVE A UL LABEL.
- ALL WORK SHALL BE DONE BY QUALIFIED AND EXPERIENCED JOURNEYMEN AND PERFORMED IN A WORKMANLIKE MANNER AND SHALL PROCEED IN AN ORDERLY MANNER SO AS NOT TO HOLD UP THE PROGRESS OF THE PROJECT.
- THOROUGHLY TEST ALL LINES FEEDERS, EQUIPMENT, AND DEVICES WITH MAXIMUM LOADS TO ASSURE PROPER OPERATION.
- CONDUCTOR LENGTHS SHALL BE CONTINUOUS FROM TERMINATION TO TERMINATION WITHOUT SPLICES.
- PROVIDE PULL BOXES WHERE SHOWN AND/OR WHERE REQUIRED BY CODES AND/OR UTILITY COMPANIES.
- ALL CONDUIT ROUGH-IN SHALL BE COORDINATED WITH THE MECHANICAL EQUIPMENT TO AVOID LOCATION CONFLICTS, CONTRACTOR SHALL VERIFY ALL LOCATIONS.
- ALL WIRES SHALL BE TAGGED AT ALL PULL BOXES, J-BOXES, EQUIPMENT BOXES, AND CABINETS WITH APPROVED PLASTIC TAGS.
- ALL BREAKERS IN PANEL BOXES SHALL BE IDENTIFIED WITH TYPE WRITTEN LABELS NEATLY PLACED ALONG SIDE OF THE BREAKER.
- ALL FIRE-RATED WALL AND FLOOR PENETRATIONS ARE TO BE CAULKED AND SEALED WITH A FIRE RESISTANT CAULKING TO MAINTAIN THE INTEGRITY OF THE FIRE SEPARATION.
- UTILIZE SONNEBORN TYPE NP-1 CAULKING FOR SEALING ALL EXTERIOR WALL PENETRATIONS.



SCALE : NTS BATTERY ROOM SIGN DETAIL 5

MARATHON M12V155FT

DESIGNED FOR DURABILITY IN TELECOMMUNICATIONS, AND ELECTRIC UTILITY APPLICATIONS, THE GNB FRONT TERMINAL MARATHON SERIES PROVIDES HIGH PERFORMANCE AND RELIABILITY IN LONG DURATION DISCHARGE APPLICATIONS. THE LOCATION OF THE TERMINALS ON THE FRONT (VS THE TOP) OF THE BATTERY GREATLY FACILITATES THE INSTALLATION AND MAINTENANCE OF THE PRODUCT WHEN PLACED IN A CABINET ENCLOSURE OR ON A STANDARD RELAY RACK TRAY. THE MARATHON FRONT TERMINAL BATTERY SERIES HIGHLIGHTS ANOTHER EXAMPLE OF GNB'S EXTENSIVE EXPERIENCE AND WORLD WIDE LEADERSHIP IN VRLA TECHNOLOGY.

"DESIGNED IN" QUALITY MANUFACTURING

QUALITY MANUFACTURING PROCESSES FOR THE MARATHON SERIES BATTERIES INCORPORATE THE INDUSTRY'S MOST ADVANCED TECHNOLOGIES INCLUDING: AN AUTOMATED HELIUM LEAK DETECTION SYSTEM, A COMPUTED WATER BATH FORMATION PROCESS. EACH AND EVERY UNIT IS CAPACITY TESTED.

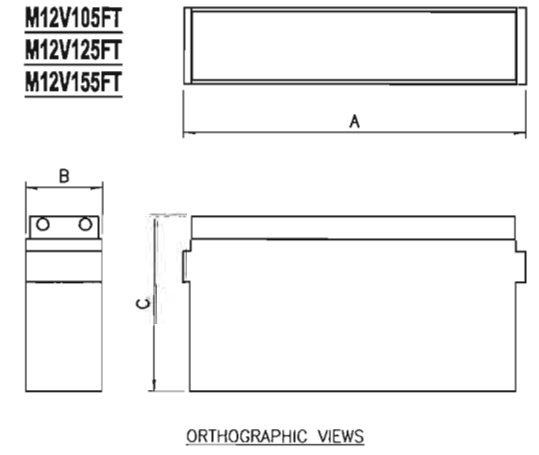
- HIGH PERFORMANCE MARATHON SERIES FEATURES:
- FLAME-RETARDANT REINFORCED CONTAINER AND COVER COMPLIANT WITH UL94 V-0, 28% L.O.I.
  - INTEGRATED FLASH ARRESTER ULTRASONICALLY WELDED INTO COVER.
  - PATENTED "DIAMOND SIDE-WALL" DESIGN TO MAINTAIN STRUCTURAL INTEGRITY IN HIGHER OPERATING TEMPERATURES
  - HEAT SEALED CASE-TO-COVER BOND TO ENSURE A LEAK PROOF SEAL.
  - HIGH-COMPRESSION ABSORBENT GLASS MAT (AGM) TECHNOLOGY FOR GREATER THAN 99% RECOMBINATION EFFICIENCY
  - HIGH-TIN, CALCIUM, SILVER, LEAD POSITIVE PLATE DESIGN FOR MAXIMUM SERVICE FLOAT LIFE; 10 YEAR DESIGN LIFE @ 25°C (77°F)
  - FRONT ACCESSIBLE COPPER ALLOY TERMINALS & "EASY ON/EASY OFF" POST PROTECTOR
  - RELIABLE ONE-WAY, SELF-RESEALING SAFETY VENTS
  - INTEGRATED CARRY HANDLES
  - MULTICELL DESIGN FOR FASTER INSTALLATION AND REDUCED MAINTENANCE
- APPLICATIONS:
- MARATHON SERIES BATTERIES IN CORPORATE GNB'S ADVANCED VRLA TECHNOLOGY DESIGNED FOR LONG LIFE AND HIGH PERFORMANCE IN:
    - TELECOMMUNICATIONS
      - DISTRIBUTED POWER
      - PCS
      - CELLULAR
      - BROADBAND
    - ELECTRIC UTILITY
      - SWITCHGEAR CONTROL POWER
      - COMMUNICATIONS

MARATHON M12V155FT RECOMBINANT VALVE REGULATED LEAD ACID (VRLA) BATTERIES (INDOOR)

REQUIREMENT (OFC 608.1)	CODE REFERENCE	COMMENTS
SAFETY CAP	OFC 608.2.2	SAFETY VENT - 400 mb (6 psi) NOMINAL, SELF RESEALING (PATENTED).
THERMAL RUNAWAY MANAGEMENT	OFC 608.3	FLOAT VOLTAGE = 2.23 TO 2.27 VPC ( 2.25 RECOMMENDED ) @ 25°C ( 77°F ). POWER CABINET TO INCLUDE EMERSON SM-TEMP TEMPERATURE CONCENTRATOR PN 547490 OR EQUIVALENT AND BE CONNECTED TO BATTERY STRINGS BY TEMPERATURE PROBES (PN 556155 OR PN 552992). THIS UNIT IS TO PRECLUDE, DETECT, AND CONTROL THERMAL RUNAWAY IN ACCORDANCE WITH OFC 608.3 BY AUTOMATICALLY INCREASING OR DECREASING OUTPUT VOLTAGE AS BATTERY TEMPERATURE DECREASES OR INCREASES, RESPECTIVELY.
SPILL CONTROL	OFC 608.5.1	M12V155FT IS A VRLA SEALED BATTERY WITH IMMOBILIZED ELECTROLYTE. NO SPILL CONTROL MEASURES ARE REQUIRED.
NEUTRALIZATION	OFC 608.5.1	NEUTRALIZATION IS CONTAINED USING THE ENVIRONGUARD® HAWK SPILL CONTAINMENT SYSTEM UTILIZING UL RECOGNISED, CORROSIVE RESISTANT LINER W/ CLASS 1 FIRE RATING (NFPA101)
VENTILATION	OFC 608.6.1, 608.6.2	CONTINUOUS VENTILATION SHALL BE PROVIDED AT A RATE OF NO LESS THAN 1 CF/MIN PER SQ. FT. ENVIRONMENTAL CONTROLS HAVE BEEN SHOWN TO MEET CODE REQUIREMENTS. SEPARATE MECHANICAL PERMIT TO BE OBTAINED FOR VENTILATION SYSTEM.
SIGNAGE	OFC 608.7	CODE REQUIRED BATTERY ROOM SIGNAGE TO BE SHALL BE CLEARLY POSTED IN ALL BATTERY AREAS.
SEISMIC PROTECTION	OFC 608.8	MEETS I.B.C. SEISMIC ZONE IV REQUIREMENTS.
SMOKE DETECTION	OFC608.9	INDOOR EQUIPMENT ROOMS ARE EQUIPPED WITH SUITABLE SMOKE DETECTION DEVICES. HYDROGEN AND SMOKE ALARMS MONITORED BY A 24-HOUR OFF-SITE AT&T DEPARTMENT. SEPARATE PERMITS SHALL BE OBTAINED FROM FIRE MARSHALL OFFICE FOR FIRE ALARM MODIFICATION AS REQUIRED.
MECHANICAL VENTILATION WITH EMERGENCY STANDBY POWER	OFC 5004.7	INSTALL 24" WIDE x 12" HIGH WEATHER PROOF COMBINATION DISCHARGE LOUVER/DAMPER WITH 24V DC MOTORIZED DAMPER ACTUATOR. DESIGN BASED ON RUSKIN MODEL ELC6375DAX OR APPROVED EQUAL. DAMPER SHALL FAIL OPEN UPON LOSS OF POWER. SEPARATE MECHANICAL PERMIT TO BE OBTAINED FOR VENTILATION SYSTEM.
HYDROGEN ALARM AND SUPERVISION	OFC 608.6.3	HYDROGEN GAS DETECTOR MOUNTED NEAR OR ON CEILING. DETECTOR SHALL BE TWO-STAGE. WHEN AIR SURROUNDING DETECTOR REACHES 1% HYDROGEN BY VOLUME, EXHAUST FAN SHALL ACTIVATE, AND YELLOW CAUTION LIGHT SHALL TURN ON. WHEN AIR SURROUNDING DETECTOR REACHES 2% HYDROGEN BY VOLUME, RED WARNING LIGHT WILL FLASH AND 80 dB ALARM WILL SOUND. HYDROGEN AND SMOKE ALARMS MONITORED BY A 24-HOUR OFF-SITE AT&T DEPARTMENT. SEPARATE PERMITS SHALL BE OBTAINED FROM FIRE MARSHALL OFFICE FOR FIRE ALARM MODIFICATION AS REQUIRED.

SCALE : NTS MARATHON 12V155FT CODE REQUIREMENTS 4

MODEL NUMBER	VOLTAGE	CAPACITY (AH)		NOMINAL DIMENSIONS						NOMINAL WEIGHT	
		8 HR TO 1.75 VPC @ 25°	10 HR TO 1.8 VPC @ 20°	INCHES			MILLIMETERS			LBS	Kg
				A	B	C	A	B	C		
M12V105FT	12	104	100	20.12	4.33	9.38	511	110	238	79	35.8
M12V125FT	12	125	121	22.00	4.90	11.15	559	124	283	105	47.6
M12V155FT	12	155	150	22.00	4.90	11.15	559	124	283	119	53.8



MODEL NUMBER	SHORT CIRCUIT CURRENT	INTERNAL RESISTANCE (mOhms)
M12V105FT	3125	4.0
M12V125FT	3814	3.2
M12V155FT	3883	3.0

FLOAT VOLTAGE & CHARGING

CONSTANT VOLTAGE CHARGING IS RECOMMENDED

RECOMMENDED FLOAT VOLTAGE: 2.27 VPC @ 25°C (77°F)

FLOAT VOLTAGE RANGE: 2.25 TO 2.30 VPC @ 25°C (77°F)

EQUALIZE VOLTAGE: 2.35 VPC FOR 24 HOURS



SITE: SA06  
MISSION STREET  
1313 MILL STREET SE  
SALEM, OR 97301

PROJECT: LTE 6C(FN)/MULTI

ISSUED FOR: CONSTRUCTION

SUBMITTALS			
REV.	DATE	DESCRIPTION	BY
A	10/5/18	PRELIM CDS	MH
0	10/24/18	FINAL CDS	MH
1	11/29/18	RRH RELOCATION	MH

FA#: 10094075  
DRAWN BY: MH  
CHECKED BY: JW

CURRENT ISSUE DATE: 11/29/18



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SHEET TITLE: ELECTRICAL BBU DATA

*Si necesita ayuda para comprender esta informacion, por favor llame  
503-588-6173*

**DECISION OF THE HISTORIC LANDMARKS COMMISSION**

**MAJOR HISTORIC DESIGN REVIEW CASE NO. HIS16-16**

**APPLICATION NO. : 16-111056-DR**

**NOTICE OF DECISION DATE: JULY 22, 2016**

**REQUEST:** Major historic design review of a proposal to modify an existing wireless communication facility, removing 6 antennae and replacing 6 wireless antennae and associated equipment with 6 antennae and associated equipment on an existing water tank (1925) within the Willamette Heritage Center/ Thomas Kay Historic Park, individually listed on the National Register of Historic Places, on property zoned CR (Retail Commercial), and located at 1313 Mill Street SE, 97301; Marion County Assessor Map and Tax Lot number: 073W26BC04100.

**APPLICANT:** Natalie Erlund, FDH Velocitel for AT & T

**LOCATION:** 1313 Mill St SE

**CRITERIA:** Salem Revised Code Chapter 230.065

**DECISION:** The Historic Landmarks Commission **GRANTED** Major Historic Design Review Case No. HIS16-16 subject to the following condition of approval:

**Condition 1:** Any new or replacement communication device(s), including but not limited to dishes, antennae and associated equipment shall not exceed the total number and cumulative size of the dishes, antennae and associated equipment currently approved for installation.

  
\_\_\_\_\_  
Andrew Hendrie, Chair, Historic Landmarks Commission

This Decision becomes effective on **August 9, 2016**. No work associated with this Decision shall start prior to this date unless expressly authorized by a separate permit, land use decision, or provision of the Salem Revised Code (SRC).

Application Deemed Complete: June 28, 2016  
Public Hearing Date: July 21, 2016  
Notice of Decision Mailing Date: July 22, 2016  
Decision Effective Date: August 9, 2016  
State Mandate Date: October 26, 2016

The rights granted by this decision must be exercised by **August 8, 2018**, or this approval shall be null and void. A copy of the decision is attached.

**NOTICE OF DECISION**

PLANNING DIVISION  
555 LIBERTY ST. SE, RM 305  
SALEM, OREGON 97301  
PHONE: 503-588-6173  
FAX: 503-588-6005





Case Manager: Kimberli Fitzgerald, AICP, Historic Preservation Officer  
[kfitzgerald@cityofsalem.net](mailto:kfitzgerald@cityofsalem.net), 503.540.2397

This decision is final unless written appeal from an aggrieved party is filed with the City of Salem Planning Division, Room 305, 555 Liberty Street SE, Salem OR 97301, no later than **5:00 p.m., August 8, 2016.**

Any person who presented evidence or testimony at the hearing may appeal the decision. The notice of appeal must contain the information required by SRC 300.1020 and must state where the decision failed to conform to the provisions of the applicable code section, SRC Chapter 230. The appeal must be filed in duplicate with the City of Salem Planning Division. The appeal fee must be paid at the time of filing. If the appeal is untimely and/or lacks the proper fee, the appeal will be rejected. The Hearings Officer will review the appeal at a public hearing. After the hearing, the Hearings Officer may amend, rescind, or affirm the action, or refer the matter to staff for additional information.

The complete case file, including findings, conclusions and conditions of approval, if any, is available for review at the Planning Division office, Room 305, City Hall, 555 Liberty Street SE, during regular business hours.

**<http://www.cityofsalem.net/planning>**

*Si necesita ayuda para comprender esta informacion, por favor llame  
503-588-6173*

**DECISION OF THE HISTORIC LANDMARKS COMMISSION**

**HISTORIC DESIGN REVIEW CASE NO. HIS16-33**

**APPLICATION NO. : 16-118830-DR**

**NOTICE OF DECISION DATE: NOVEMBER 18, 2016**

**APPLICATION SUMMARY:** A proposal to modify the existing wireless transmission facility by adding three radio heads behind existing antennas on an existing water tank (1925) and adding three radio heads to ground shelter.

**REQUEST:** Major historic design review of a proposal to modify the existing wireless transmission facility by adding three radio heads behind existing antennas on an existing water tank (1925) and adding three radio heads to ground shelter within the Willamette Heritage Center/ Thomas Kay Historic Park, individually listed on the National Register of Historic Places, on property zoned CR (Retail Commercial), and located at 1313 Mill Street SE, 97301; Marion County Assessor Map and Tax Lot number: 073W26BC04100.

**APPLICANT:** Natalie Erlund, FDH Velocitel for AT & T

**LOCATION:** 1313 Mill Street SE

**CRITERIA:** Salem Revised Code (SRC) Chapter 230.065

**FINDINGS:** The findings are listed in the attached staff report.

**DECISION:** The Historic Landmarks Commission **APPROVED** Historic Design Review Case No. HIS16-33 with the following condition of approval:

**Condition 1:** Any new or replacement communication device(s), including but not limited to dishes, antennas and associated equipment shall not exceed the total number and cumulative size of the dishes, antennas and associated equipment currently approved for installation.

**VOTE:**

**Yes 5                      No 0                      Absent 3 (Holton, Morris, Sund)**

  
\_\_\_\_\_  
Andrew Hendrie, Chair  
Historic Landmarks Commission

This Decision becomes effective on **December 6, 2016**. No work associated with this Decision shall start prior to this date unless expressly authorized by a separate permit, land use decision, or provision of the Salem Revised Code (SRC).

**NOTICE OF DECISION**

PLANNING DIVISION  
555 LIBERTY ST. SE, RM 305  
SALEM, OREGON 97301  
PHONE: 503-588-6173  
FAX: 503-588-6005



Application Deemed Complete: October 27, 2016  
Public Hearing Date: November 17, 2016  
Notice of Decision Mailing Date: November 18, 2016  
Decision Effective Date: December 6, 2016  
State Mandate Date: February 24, 2017

Case Manager: Kimberli Fitzgerald, AICP, Historic Preservation Officer  
k Fitzgerald@cityofsalem.net, 503.540.2397

The rights granted by this decision must be exercised by December 6, 2018, or this approval shall be null and void. A copy of the decision is attached.

This decision is final unless written appeal from an aggrieved party is filed with the City of Salem Planning Division, Room 305, 555 Liberty Street SE, Salem OR 97301, no later than **5:00 p.m., December 5, 2016.**

Any person who presented evidence or testimony at the hearing may appeal the decision. The notice of appeal must contain the information required by SRC 300.1020 and must state where the decision failed to conform to the provisions of the applicable code section, SRC Chapter 230. The appeal must be filed in duplicate with the City of Salem Planning Division. The appeal fee must be paid at the time of filing. If the appeal is untimely and/or lacks the proper fee, the appeal will be rejected. The Hearings Officer will review the appeal at a public hearing. After the hearing, the Hearings Officer may amend, rescind, or affirm the action, or refer the matter to staff for additional information.

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**<http://www.cityofsalem.net/planning>**