

**TO:** HEARINGS OFFICER

**FROM:** LISA ANDERSON-OGILVIE, AICP  
DEPUTY COMMUNITY DEVELOPMENT DIRECTOR AND PLANNING  
ADMINISTRATOR

**SUBJECT:** **CONDITIONAL USE – SIGN PERMIT CASE 22-03;**  
**525 ROCKWOOD STREET SE**  
**AMANDA NOS. 22-110531-SA & 22-107932-SI**

**REQUEST**

Summary: A proposal to replace an existing reader board wall sign in a residential zone with a new electronic display wall sign.

Request: A request for Conditional Use and Sign Permit Applications to install a 24.5-square foot electronic display wall sign to replace an existing backlit reader board wall sign for Sumpter Elementary School, located on a property of approximately 9.3 acres at 525 Rockwood St SE (Marion County Assessor map and tax lot number(s): 083W15BC / 02500) that is zoned RA (Residential Agriculture).

**OWNER:** Salem Keizer School District 24J

**APPLICANT:** Joel Smallwood for Salem Keizer School District 24J

**AGENT:** Mark Shipman, Saalfeld Griggs PC

**APPLICATION PROCESSING**

On April 6, 2022, a Sign Conditional Use Application was submitted and accepted for processing. A Sign Permit Application was submitted April 11, 2022 and accepted for processing on April 12, 2022 when the fee was paid. After additional required information was submitted, the consolidated application was deemed complete for processing on May 18, 2022. The 120-day state mandated decision deadline for this collective application is September 15, 2022.

The public hearing before the City of Salem Hearings Officer is scheduled for June 22, 2022, at 5:30 p.m. Notice of public hearing was sent by mail to surrounding property owners and tenants pursuant to Salem Revised Code (SRC) requirements on June 2, 2022. Public hearing notice was also posted on the property on June 10, 2022 pursuant to SRC requirements.

**PROPOSAL**

The application under review by the Hearings Officer is a Conditional Use Permit and Sign Permit application for an electronic reader board at Sumpter Elementary School at 525 Rockwood Street SE (**Attachment A**).

The applicant is proposing to remove an existing backlit reader board wall sign and replace it with an electronic display wall sign on a different part of the building.

The Conditional Use Permit is required in order to allow an electronic display sign in a residential zone.

### **SUMMARY OF RECORD**

The following items are submitted to the record and are available upon request: 1) All materials submitted by the applicant, including any applicable professional studies such as traffic impact analysis, geologic assessments, and stormwater reports; 2) any materials, testimony, and comments from public agencies, City Departments, neighborhood associations, and the public; and 3) all documents referenced in this report. All application materials are available on the City's online Permit Application Center at <https://permits.cityofsalem.net>. You can use the search function without registering and enter the permit number listed here: 22-110531-SA and 22-107932-SI.

### **APPLICANT'S STATEMENT**

The applicant's proposed site plan is included as **Attachment B**, the proposed elevation as **Attachment C**, sign details as **Attachment D**, the applicant's statement addressing the applicable approval criteria for the consolidated applications as **Attachment E**, and a drawing of the existing sign from a 2001 sign permit as **Attachment F**.

### **FACTS AND FINDINGS**

#### **1. Salem Area Comprehensive Plan (SACP) designation**

The Salem Area Comprehensive Plan (SACP) map designates the subject property as "Community Services - Education". The subject property is within the Urban Growth Boundary and the Urban Service Area (USA).

#### **2. Zoning and Surrounding Land Uses**

The subject property is zoned RA (Residential Agriculture). The proposal is to replace the existing backlit reader board wall sign with an electronic reader board wall sign. Electronic Display Signs in a Residential zone may be installed with a Conditional Use permit, pursuant to SRC 900.090.

The zoning of surrounding properties includes:

North: RS (Single Family Residential) – single family dwellings  
East: RS (Single Family Residential) – single family dwellings, RA (Residential Agriculture) – City park  
South: Across Rockwood Street SE, RS (Single Family Residential) – single family dwellings  
West: RS (Single Family Residential) – single family dwellings

### **3. Site Analysis**

The subject property is approximately 9.29 acres in size and is developed with a school and parking and vehicle use areas. Surrounding properties are zoned RS (Single Family Residential) and RA (Residential Agriculture).

The subject property abuts Rockwood Street SE to the south. Rockwood Street SE is designated as a local street within the Salem TSP (Transportation System Plan) and intersects with Valleywood Drive SE approximately 100 feet to the southwest of the subject property. Valleywood Drive SE is designated as a collector street in the TSP.

### **4. Neighborhood and Citizen Comments**

The subject property is located within South Gateway Neighborhood Association. The neighborhood association was notified of the proposal. All property owners and tenants within 250 feet of the subject property were mailed notice of the proposal.

As of the date of completion of this staff report, no comments have been received from the neighborhood association or surrounding property owners.

The property is not subject to a Homeowners' Association (HOA).

### **5. City Department and Public Agency Comments**

The Building and Safety Division has reviewed the proposal and identified no issues.

The Public Works Department reviewed the proposal and indicated that no Public Works review was required for a wall-mounted sign on private property.

### **6. Analysis of Sign Conditional Use Criteria**

Salem Revised Code (SRC) Chapter 900.090(a) provides that:

No electronic display sign in a Residential zone may be erected without first obtaining a conditional use permit, as provided in SRC Chapter 900.045.

SRC Chapter 900.045 establishes the following approval criteria for Conditional Use for signage:

**(1)** The proposed sign, as conditioned, will not create or significantly increase street level sign clutter.

**Applicant's Statement:** The Proposed Sign will be located on the addition to the multi-purpose room's southwestern face, visible from the primary driveway entrance used for student drop-off. It will not add or create street level sign clutter.

**Staff Findings:** Staff concurs with the applicant that the replacement of the existing sign will not create or increase street level sign clutter. The existing sign is located near a corner of the building that is approximately 138 feet from the front property line abutting Rockwood Street SE. The proposal is to replace the existing sign with an electronic reader board mounted on the wall at on the southwestern elevation of the new multi-purpose room addition, which is approximately 35 feet from the right-of-way. The sign will be approximately 16 feet above grade. Therefore, the sign will not create or increase street clutter.

(2) The proposed sign, as conditioned, will not adversely impact the neat, clean, orderly, and attractive appearance of the surrounding area to a significant degree.

**Applicant's Statement:** The proposed sign is located in a manner that is designed to communicate information to parents dropping off students as well as students arriving via bus, walking, or by bicycle. The proposed sign will be aesthetically pleasing and will help maintain a neat, clean, orderly and attractive appearance by replacing an older sign with an updated sign that will allow for the more effective dissemination of information, minimizing the need for additional signs advertising events or other important information elsewhere on the subject property. Further, the proposed sign is being proposed for an area which is shielded from the adjacent roads by street trees and will be angled in a manner that will minimize the visual impact on the surrounding residential areas. The fact that the proposed sign is replacing an existing sign, supports the determination that signs are an anticipated aspect of the existing school and the basic education use, the addition of an electronic component to the sign will not affect the appearance of the surrounding vicinity.

**Staff Findings:** Properties in the area are zoned residential and are developed with single family dwellings, an elementary school, and a park. The proposal is to replace an existing sign with an electronic reader board. The existing sign is primarily visible to drivers and pedestrians approaching the western section of the school building and is roughly parallel to an existing driveway that leads to the western parking area. The proposed sign would be located closer to Rockwood Street SE on a new addition to the building, but it would be installed at the same angle as the existing sign from the street, would primarily be visible to drivers and pedestrians approaching the school building from the west. The angle of the sign and the screening provided by street trees reduce the visibility from residential properties across the street from the school and west of the school. As proposed with limited display hours of 7 am to midnight, the new electronic reader board does not significantly impact or alter the appearance of the surrounding area.

(3) The proposed sign will not present a traffic or safety hazard.

**Applicant's Statement:** The proposed sign is being installed [on] the addition to the multi-purpose room's southwestern face, visible from the primary driveway entrance used for student drop-off. It will not be located within any right of way or public easements and will assist in Applicant's public "basic education" use on the subject property.

**Staff Findings:** The proposed wall sign is more than 30 feet from public right-of-way. To meet the requirements of SRC Chapter 900, the sign must be equipped with an automatic dimming device to control and maintain proper brightness levels under ambient light conditions. The

sign will not flash, fade, or scroll, and will meet all City standards and criteria so as to not cause a traffic or safety hazard.

**(4)** The proposed sign will comply with all other regulations, including, but not limited to sign height and placement restrictions.

**Applicant's Statement:** The proposed sign is substantially similar to the signs used by Applicant on its other schools, conforming to the provisions of the sign and the building codes. By virtue of the current zoning of the property, Applicant is submitting a conditional use permit concurrently with its application for a sign permit demonstrating that the proposed sign satisfies the additional criteria set out in that section of Chapter 900.

**Staff Findings:** From the information submitted by the applicant, Staff concurs that the sign meets size, location, and electronic display sign requirements of SRC Chapter 900.

## **7. Analysis of Sign Permit**

SRC 900.045(f) states that the application for an electronic display sign conditional use permit shall be processed concurrently with the sign permit application. A summary of the applicable sign standards follows:

### *General Illumination Standards; Zone-Specific Standards (SRC 900.075)*

The applicant's request includes replacing a manual reader board with an Electronic Display Sign in an RA zone. Sign illumination shall be directed away from and not be reflected upon adjacent premises. No sign shall be illuminated between the hours of 12:00 midnight and 7:00 a.m.

### *Flashing Light; Zone-Specific Standards (SRC 900.080)*

Flashing light is not allowed for signs in the RA zone. The applicant is not proposing flashing lights.

### *Effects (SRC 900.085)*

The use of effects is allowed only where flashing light is allowed. Flashing light is not allowed for signs in the RA zone. The applicant is not proposing a sign with effects.

### *Electronic Display Sign (SRC 900.090)*

The sign will meet all regulations of the sign code for electronic display signs. In the RA zone, the change from one electronic display to another electronic display shall be no more frequent than once every hour, except changes to correct hour-and-minute or temperature information, which may change no more often than once every three seconds. The actual change of display for an electronic display sign shall be completed in two seconds or less. Displays may change by fade or by instantaneous change from one static display to another, but shall remain as a static display after completing the change, and, once changed, shall remain static until the next change. Dissolve, scrolling, travel, and video display are prohibited.

### *Rotating and Animated Signs; Zone-Specific Standards (SRC 900.095)*

The sign is not proposed to rotate or be animated.

*Signs in Vision Clearance Areas (SRC 900.105)*

The sign is not located within the vision clearance area.

*Wall Signs (SRC 900.150)*

SRC 900.150 requires a wall sign supporting structure to be completely enclosed so as not to be visible from any public street, alley, or adjacent property.

*Permanent Signs in Residential Zones (SRC 900.195)*

Wall signs for businesses shall be limited to a display surface not exceeding 32 square feet. The proposed display surface is approximately 24 square feet in display area.

The proposed sign meets these requirements.

**RECOMMENDATION**

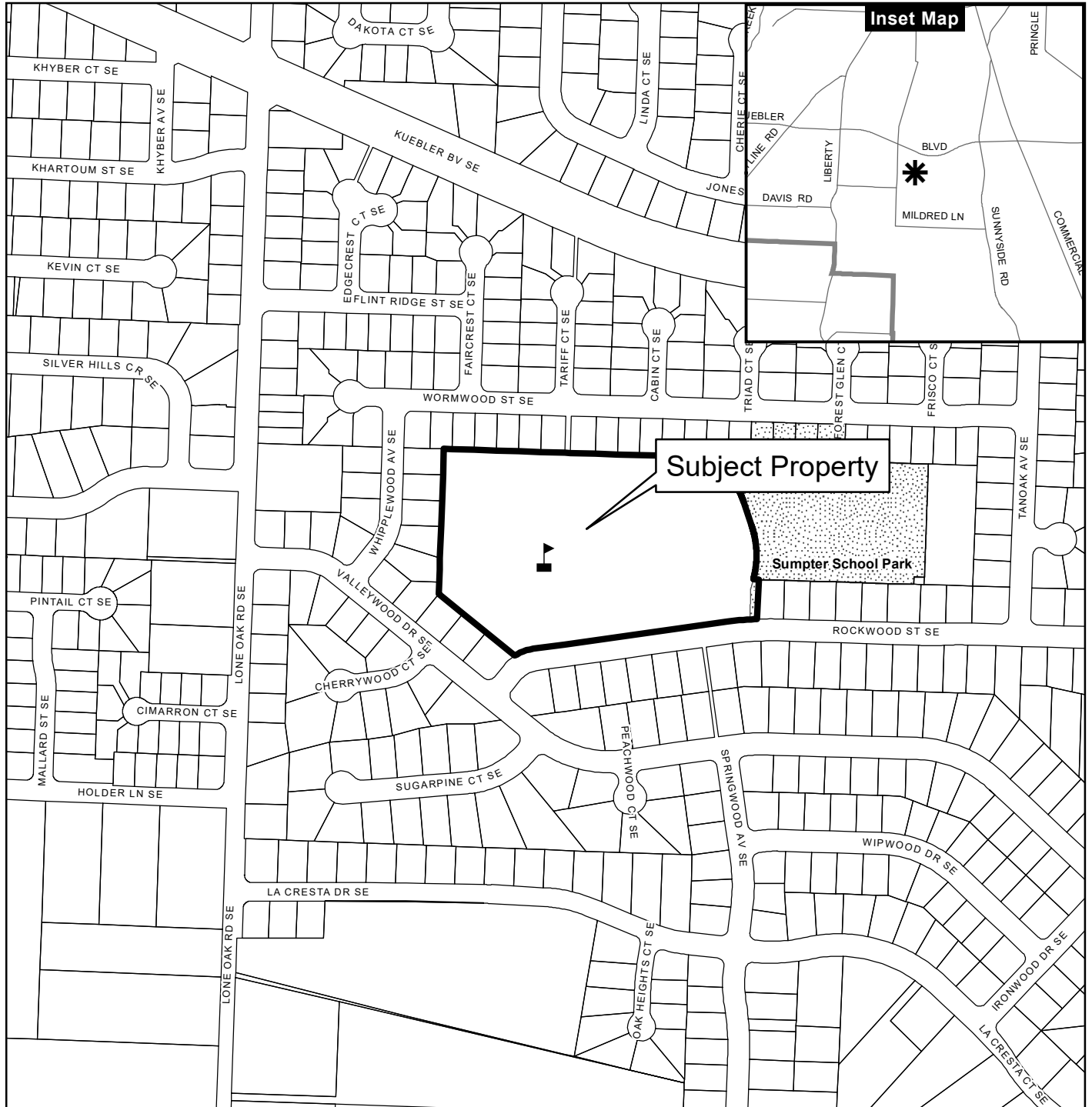
Based upon the Facts and Findings contained in this staff report, staff recommends that the Hearings Officer APPROVE the request for a consolidated Conditional Use and Sign Permit Application to allow an electronic display wall sign to replace an existing backlit reader board wall sign for Sumpter Elementary School in the RA (Residential Agriculture) zone for property located at 525 Rockwood Street SE.

Prepared by Pamela Cole, Planner II








Application Deemed Complete Date: May 18, 2022  
State Mandated Decision Date: September 15, 2022

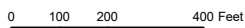
- Attachments: A. Vicinity Map  
B. Proposed Site Plan  
C. Elevations  
D. Sign Details  
E. Applicant's Statement  
F. Existing Sign

# Vicinity Map 525 Rockwood Street SE



**Legend**

-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools
-  Parks

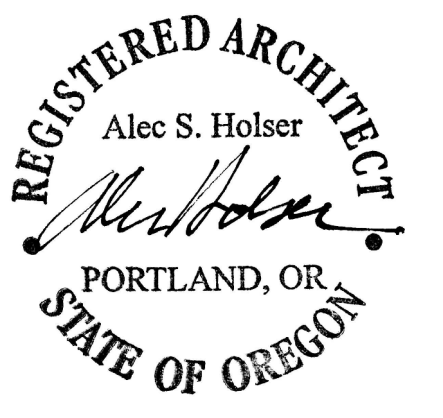


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**SITE PLAN SHEET NOTES**

1. ARCHITECTURE FINISH FLOOR ELEVATION OF 0'-0" = SURVEY ELEVATION OF + 429.12' REFER CIVIL GRADING PLANS FOR ADDITIONAL INFORMATION
2. CIVIL AND LANDSCAPE SHOW FOR REFERENCE ONLY. SEE CIVIL AND LANDSCAPE FOR COMPLETE CIVIL AND LANDSCAPE SCOPE.
3. REFERENCE ELECTRICAL FOR SITE LIGHTING AND POWER.

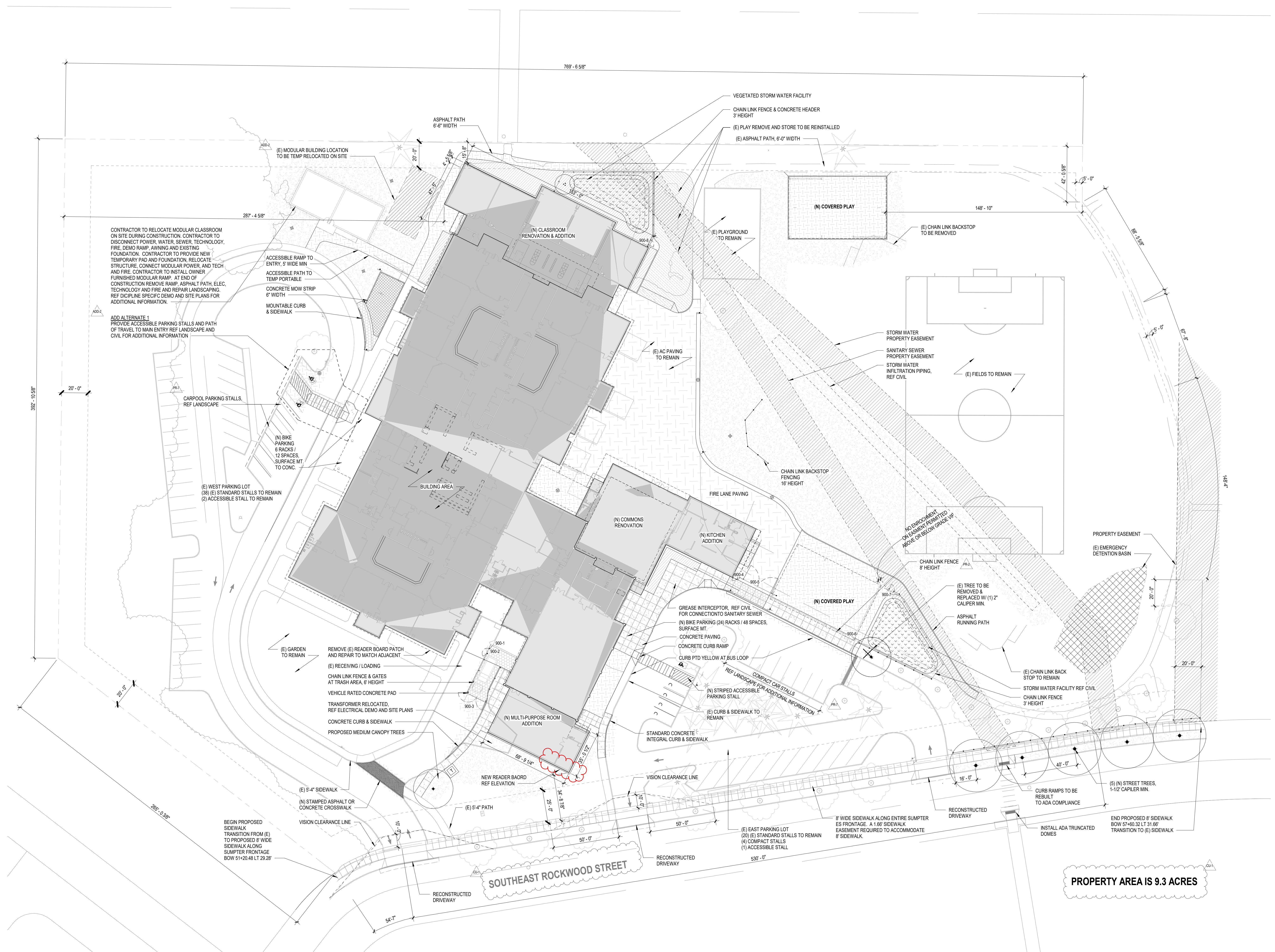
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Project Owner:



Project Name:  
**Sumpter Elementary School**  
Project Address:  
**525 Rockwood St SE Salem, OR 97306**  
Key Plan



**1 | ARCHITECTURAL SITE PLAN- CU**  
A0.80CU 1" = 30'-0"

Revisions to Sheet

Revision	Date
ADD-2	02/17/2021
PR-2	03/11/2021
PR-7	05/13/2021
CU-1	05/12/2022

Status: **CONSTRUCTION DOCUMENTS**

Date: **04/06/2022**

Sheet Title:  
**SITE PLAN - ELECTRONIC DISPLAY SIGN CONDITIONAL USE APPLICATION**  
Sheet No.:

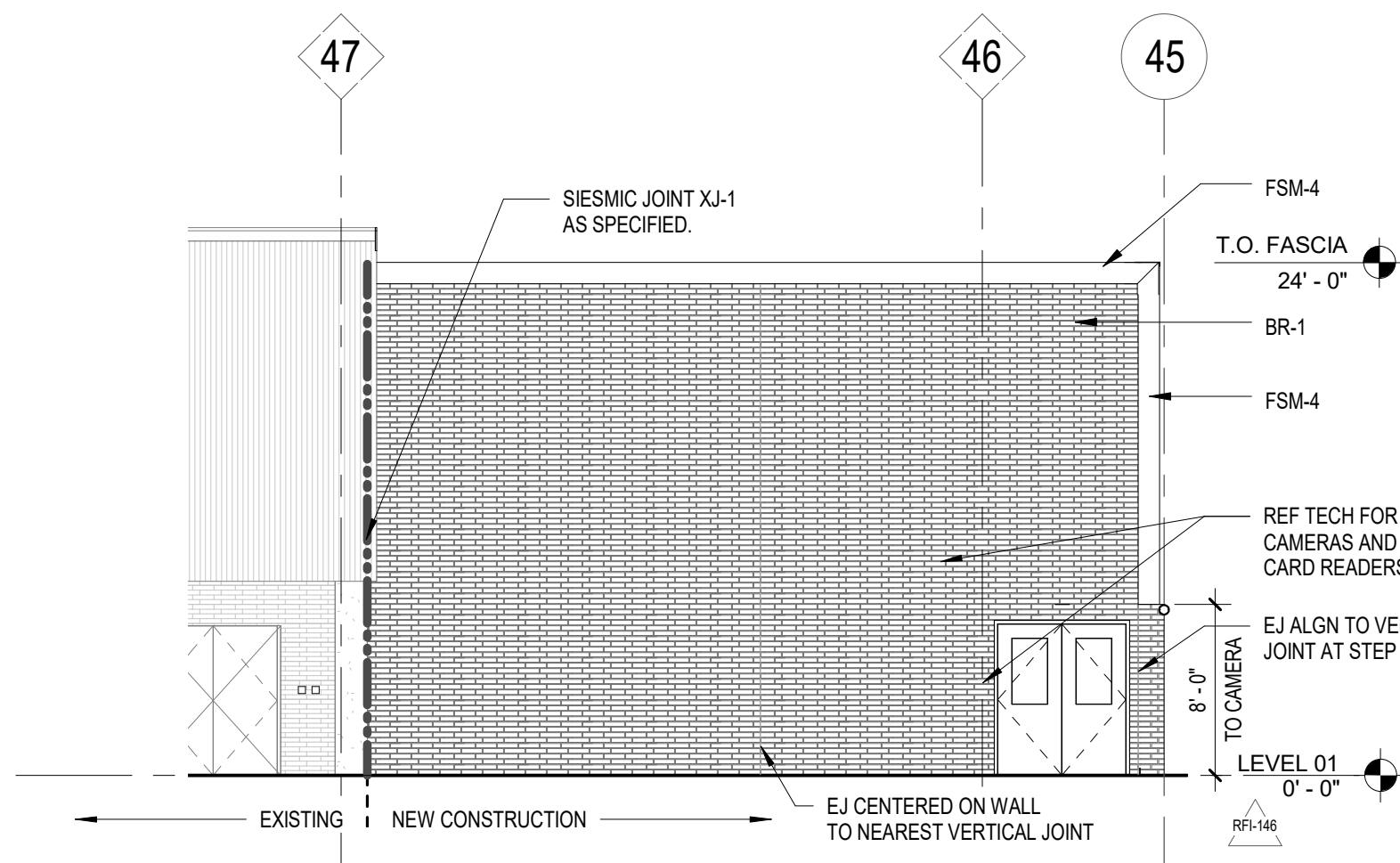
**A0.80CU**

Job No. **4807-01**

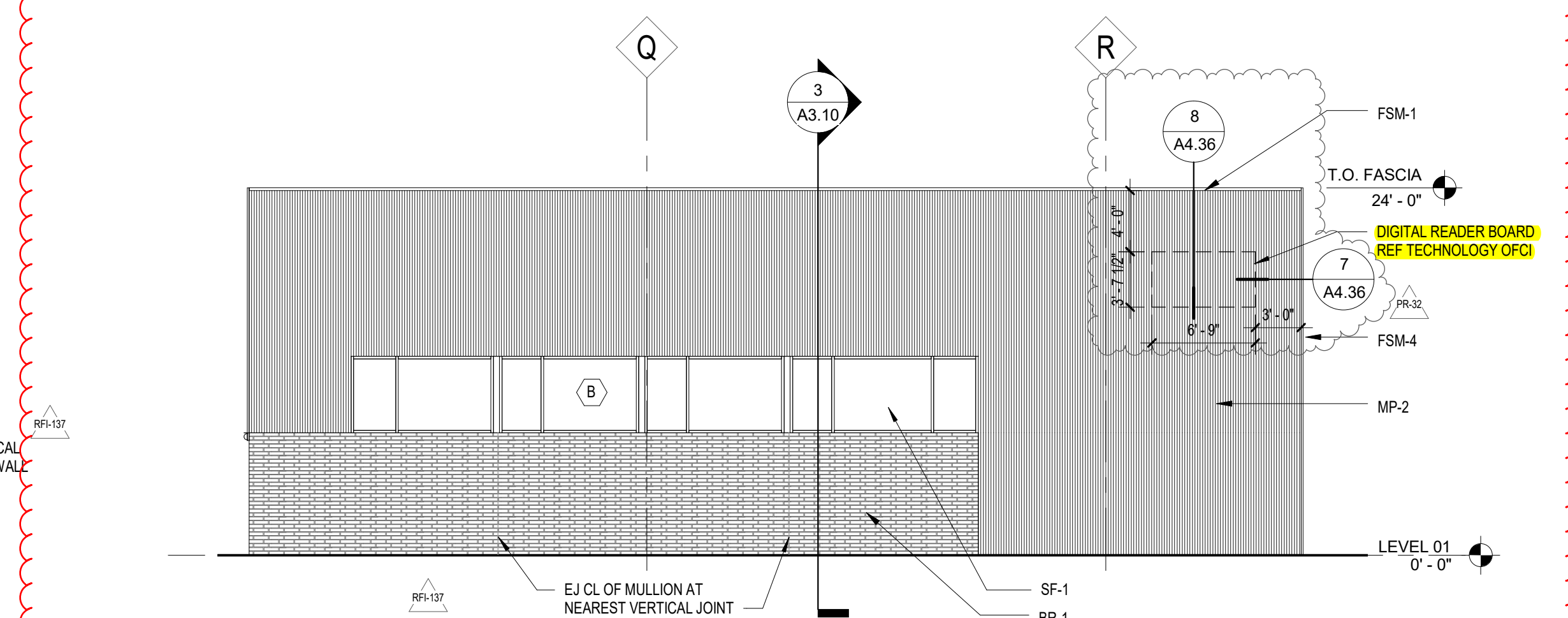


**EXTERIOR ELEVATIONS SHEET NOTES**

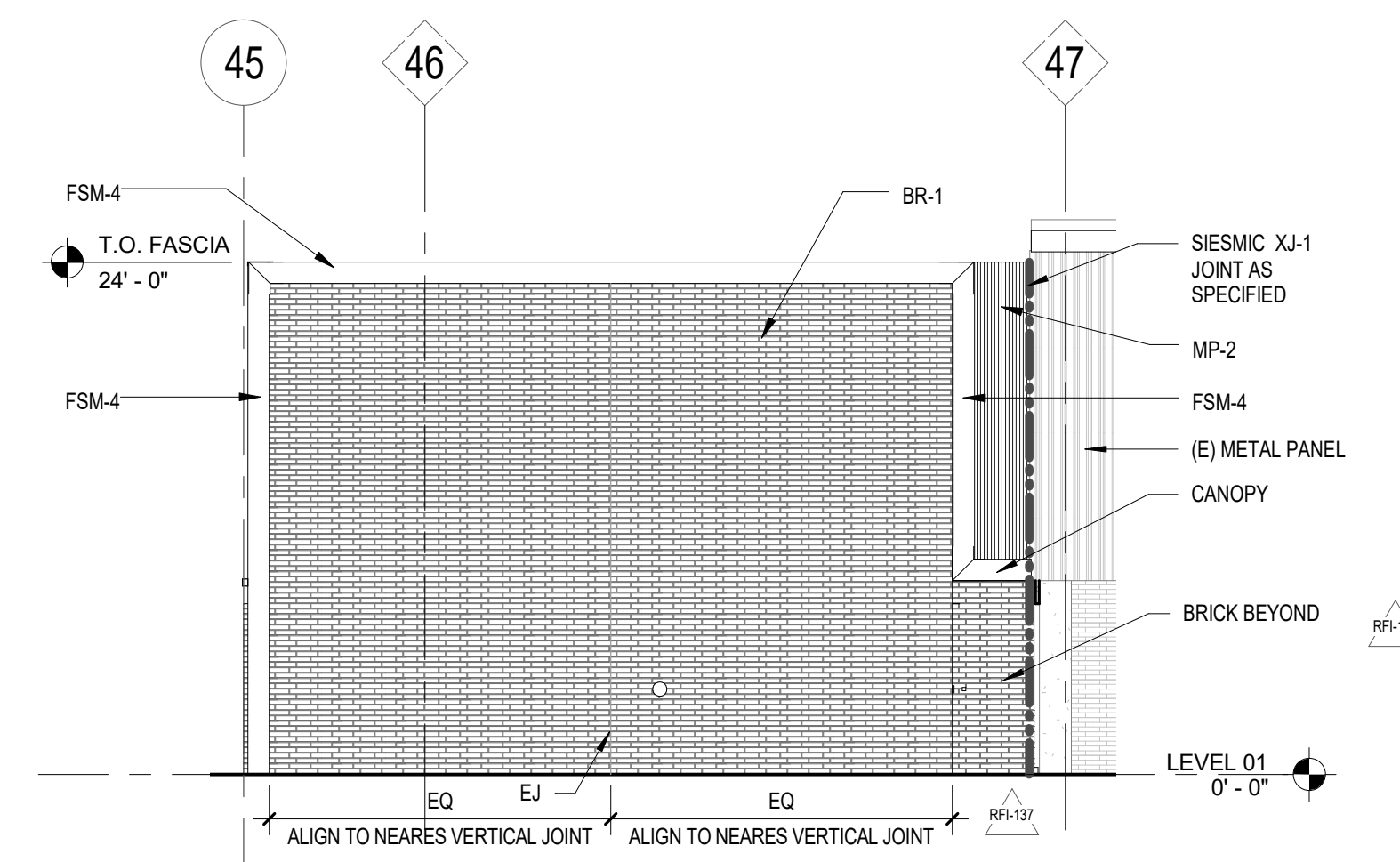
1. REFERENCE MATERIALS FINISH LEGEND SPEC SECTION 09 00 00 FOR EXTERIOR MATERIALS
2. REFERENCE A4.01 FOR EXTERIOR FRAME TYPES
3. REFERENCE LANDSCAPE FOR GRADING
4. ALL REVEAL JOINTS DIMENSIONED TO CENTERLINE OF REVEAL UNLESS NOTED OTHERWISE
5. REF. A0.40 AND A0.80 FOR EXTERIOR WALL AND ROOF ASSEMBLIES
6. ALL EXPOSED EXTERIOR SEALANT AT BRICK TO BE SANDED AND SET AT SIMILAR DEPTH TO MORTAR
7. ALL BRICK AND CMU TO RECEIVE GRAFFITI RESISTANT SEALER AS SPECIFIED
8. PROVIDE FSM-1 ESCUTCHEONS AS REQ AT ALL EXTR EAC & CCTV LOCATIONS. REFER TECHNOLOGY FOR DWICE LOCATIONS. FINISH TO MATCH ADJACENT EXTERIOR ARCHITECTURAL FINISHES TYP.



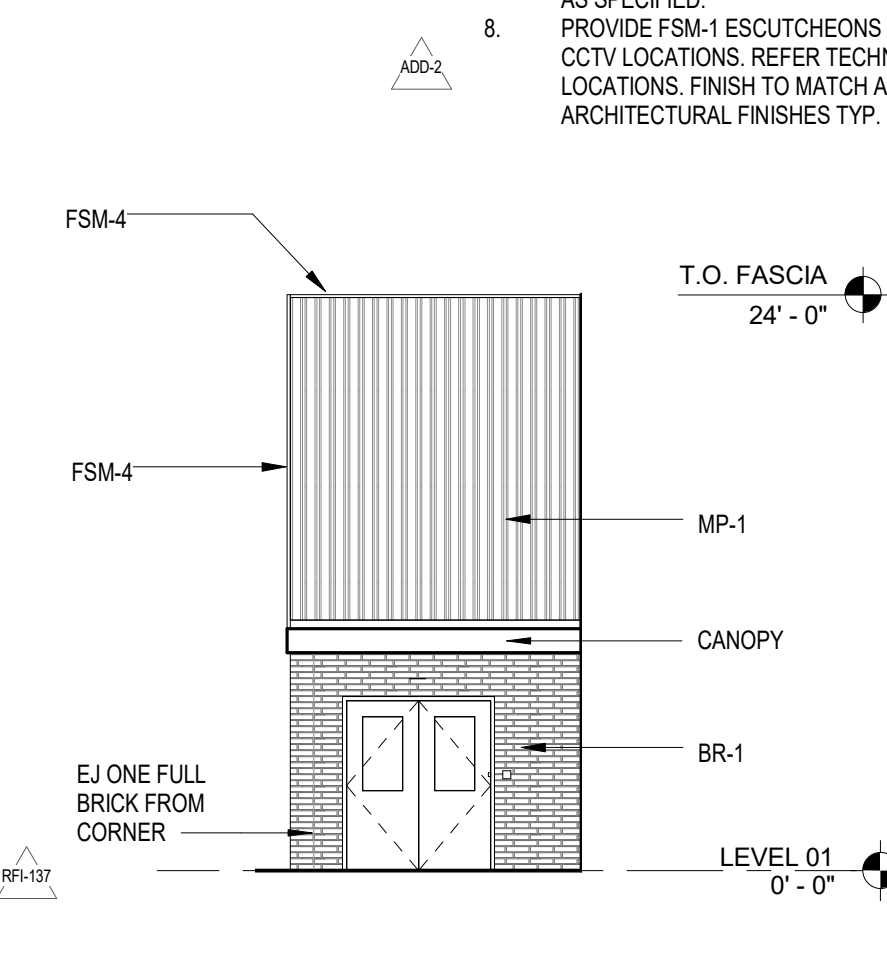
**4 | ELEVATION MPR WEST**  
A2.11 1/8" = 1'-0"



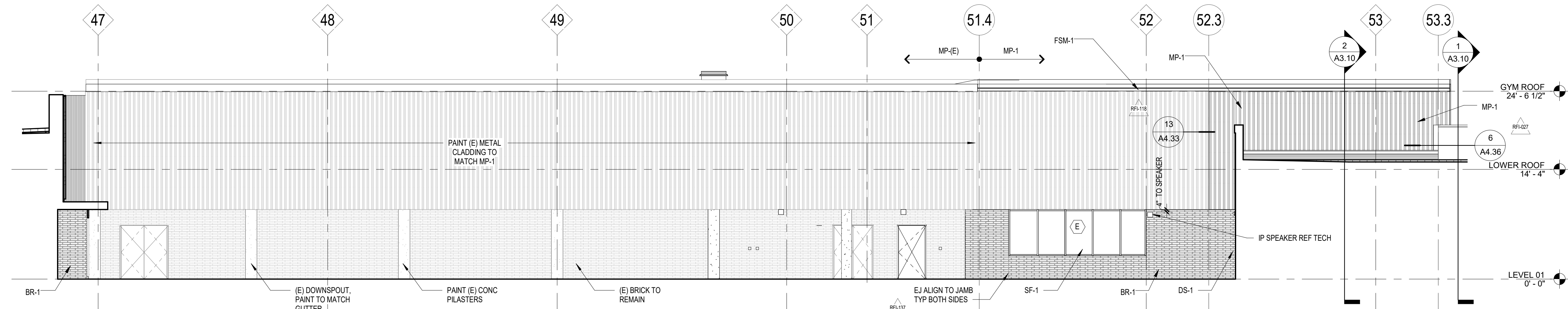
**3 | ELEVATION MPR SOUTH**  
A2.11 1/8" = 1'-0"



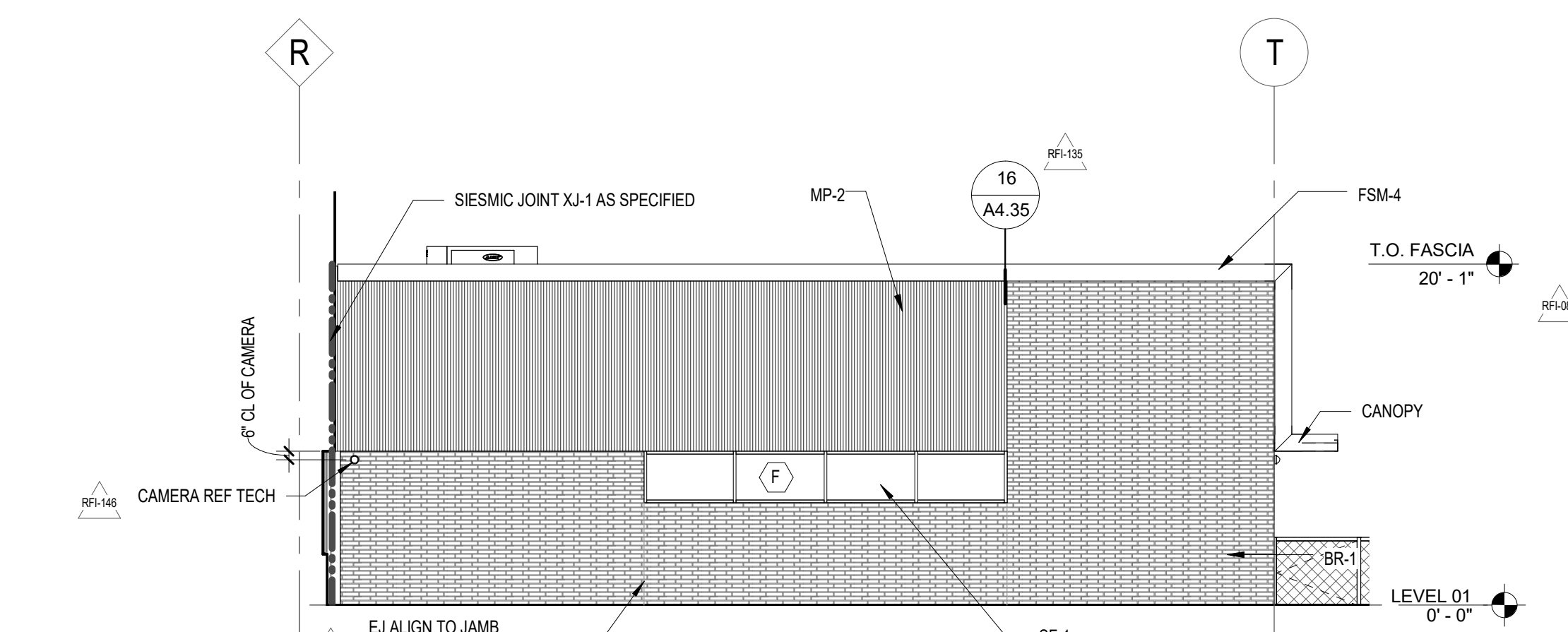
**2 | ELEVATION MPR EAST**  
A2.11 1/8" = 1'-0"



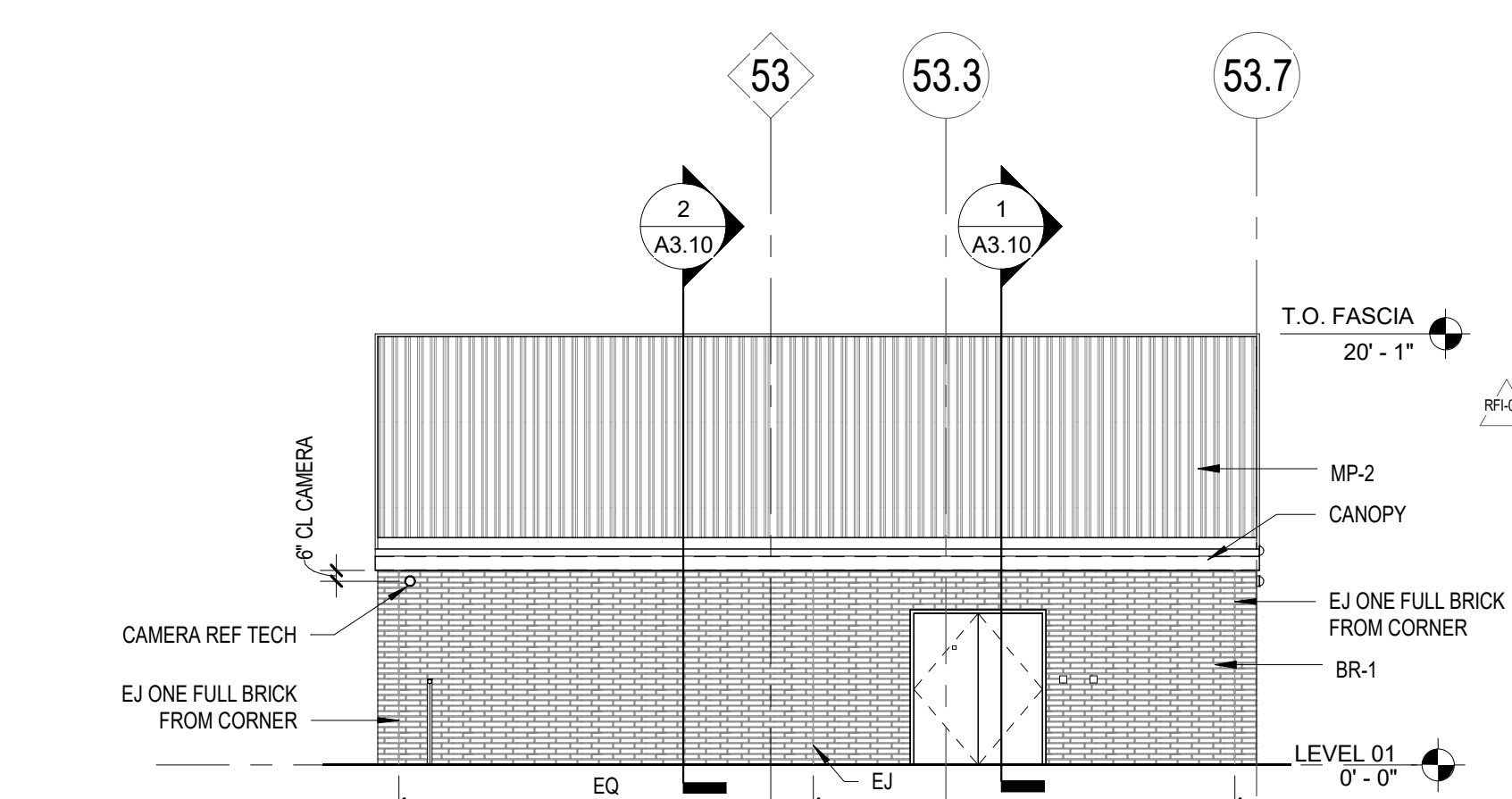
**1 | ELEVATION MPR NORTH**  
A2.11 1/8" = 1'-0"



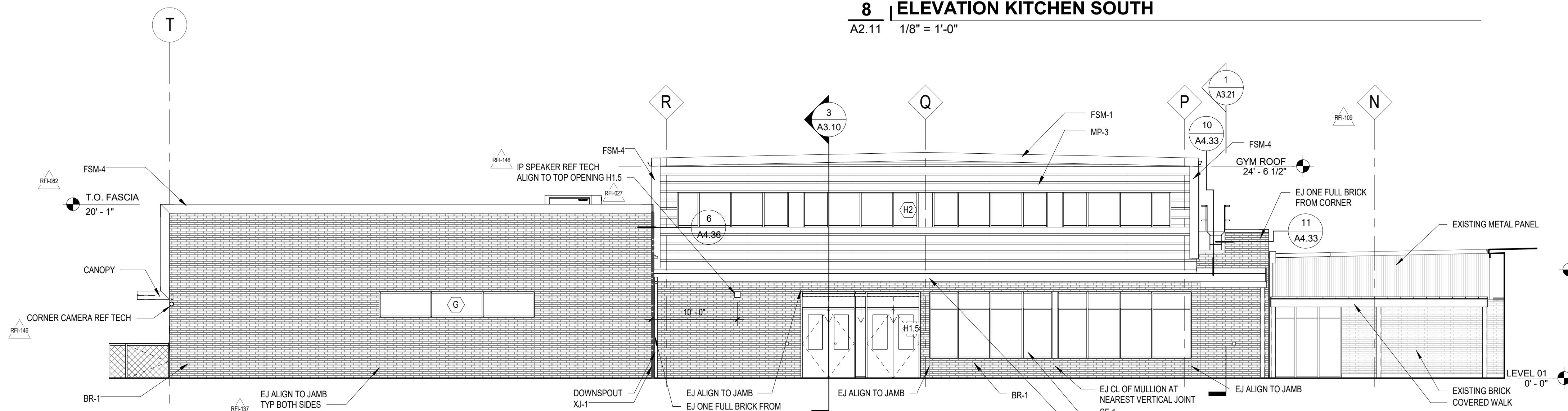
**6 | ELEVATION COMMONS EAST**  
A2.11 1/8" = 1'-0"



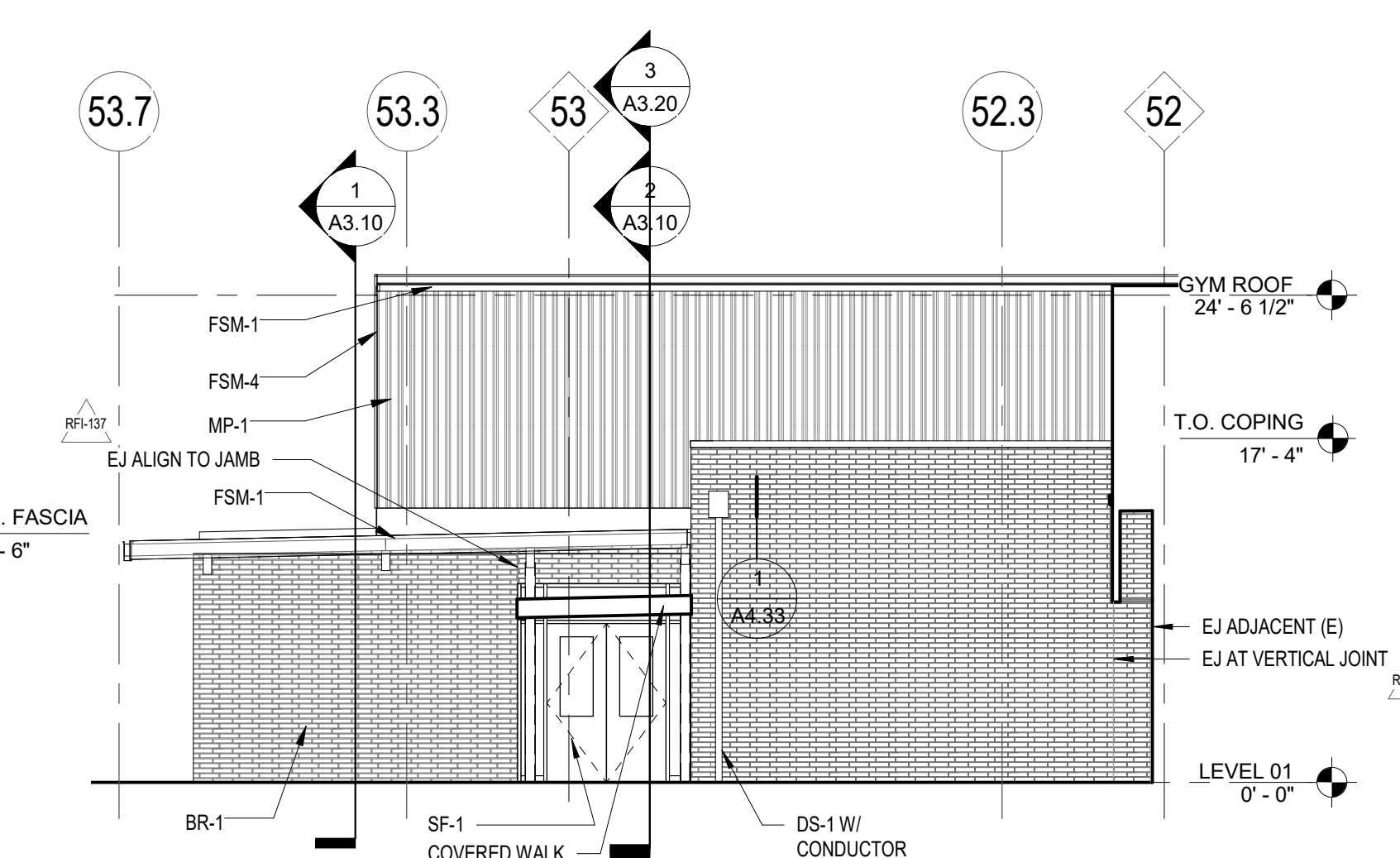
**8 | ELEVATION KITCHEN SOUTH**  
A2.11 1/8" = 1'-0"



**7 | ELEVATION KITCHEN EAST**  
A2.11 1/8" = 1'-0"

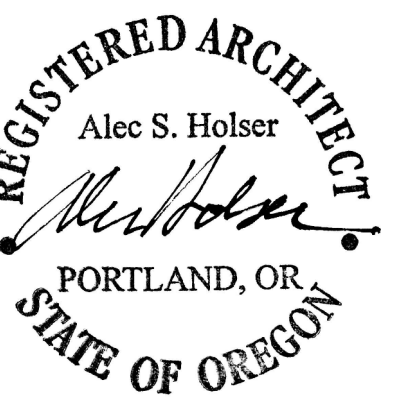


**10 | ELEVATION COMMONS AND KITCHEN NORTH**  
A2.11 1/8" = 1'-0"



**9 | ELEVATION COMMONS WEST**  
A2.11 1/8" = 1'-0"

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Project Owner:



Project Name:  
**Sumpster Elementary School**  
Project Address:  
**525 Rockwood St SE Salem, OR 97306**  
Key Plan

Issued 07/2019

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Revisions to Sheet

Revision	Date
RFI-027	08/18/2021
RFI-082	12/01/2021
RFI-109	01/18/2022
RFI-118	02/07/2022
RFI-135	03/09/2022
RFI-137	03/07/2022
RFI-146	03/10/2022
PR-32	02/28/2022

Status: **CONSTRUCTION DOCUMENTS**

Date: **01/15/2020**

Sheet Title  
**EXTERIOR ELEVATIONS**

Sheet No.

**A2.11**

Job No.

**4807-01**

plotted: 3/14/2022 12:35:48 PM  
sheet size: 30" x 42"

PIXELS HIGH (AAA)	PIXELS WIDE (BBB)	PIXEL SPACING (CC)
60	125	15.85mm
48	100	19.81mm
36	75	26.42mm

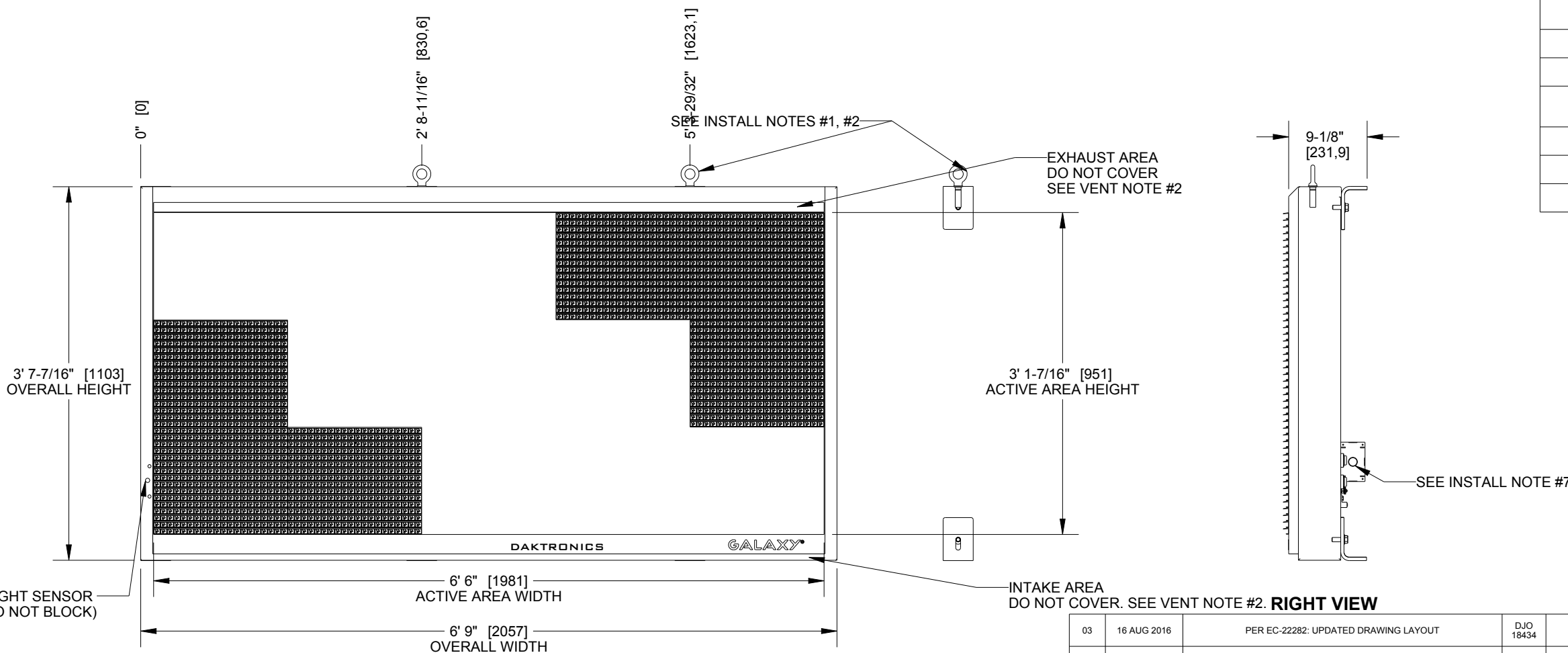
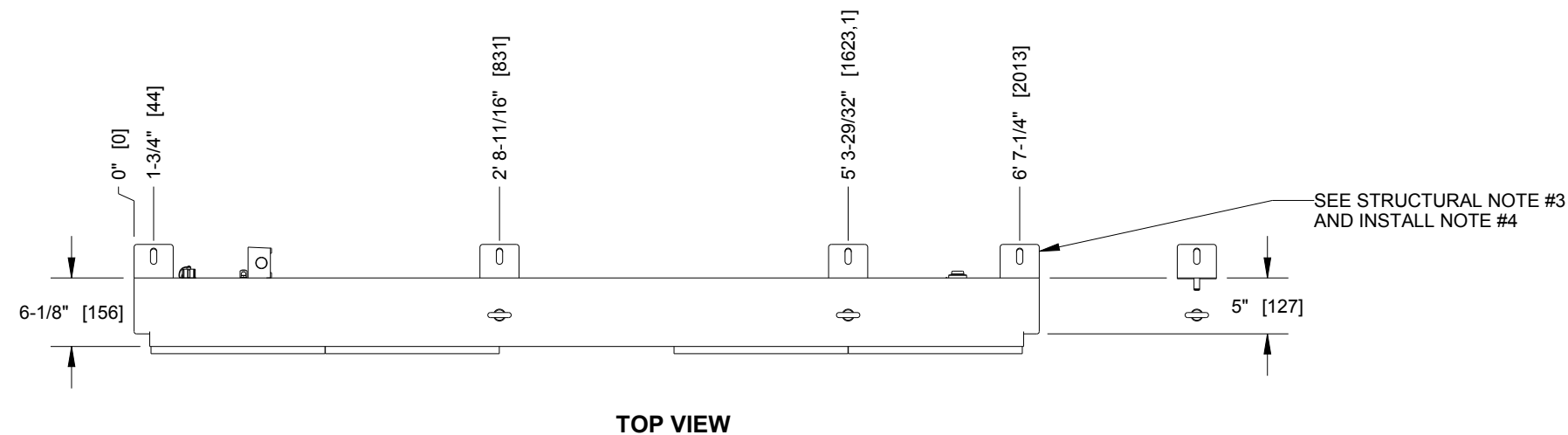
#	DETAIL	DESCRIPTION
1	DISPLAY	GS6 - AAAxBBB-CC (SEE CHART ON TOP LEFT)
2	LED COLOR	RED, AMBER, OR RGB
3	ACTIVE AREA	3' 1-7/16" [951] X 6' 6" [1981]
4	OVERALL SIZE	3' 7-7/16" [1103] X 6' 9" [2057]
5	CABINET	ALUMINUM & STEEL
6	VENTILATION	FRONT
7	ACCESS	SERVICE FROM FRONT OF DISPLAY
8	WEIGHT	176 LBS [80 KG] (APPROX)
9	SHIPPING	SHIPPED AS A SINGLE UNIT
10	DIMENSIONS	FEET AND INCHES [MILLIMETERS]
11	PAINTED	SEMI-GLOSS BLACK

STRUCTURAL RATING		
1	DESIGN WIND PRESSURE "P" (CASE A)	P<= .100 PSF (ASD)
2	STANDARD/CODE	IBC 2009/ASCE7-05, IBC 2012/ASCE7-10
3	ALL CLIP ANGLES MUST BE USED TO MOUNT DISPLAY	

POWER RATING PER SINGLE FACE: FOR SIZING ELEC. SERVICE MAX REQ'D SHOWN				
TECHNOLOGY	COLOR	MAX WATTS	120VAC 1PH 50/60Hz (2 WIRES + GND) DOMESTIC	240VAC 1PH 50Hz (2 WIRES + GND) INTERNATIONAL SPECIAL ORDER
			LINE 1 (AMPS)	LINE 1 (AMPS)
GS6	RED	468	3.90	1.95
	AMBER	468	3.90	1.95
	RGB	762	6.36	3.18

VENTILATION REQUIREMENTS	
1	DISPLAY RELIES ON VENTILATION TO FUNCTION PROPERLY. INTAKES, LOCATED AT THE FRONT OF THE DISPLAY, MUST BE ABLE TO DRAW IN AIR AT A TEMPERATURE NO GREATER THAN 120° F.
2	IN ORDER TO ENSURE AMBIENT TEMPERATURE AIRFLOW IS MAINTAINED, NO PORTION OF THE VENTILATION OPENINGS ALONG THE FRONT OF THE DISPLAY MAY BE COVERED OR OBSTRUCTED IN ANY WAY.

INSTALL NOTES	
1	IN ORDER TO PRESERVE THE STRUCTURAL INTEGRITY OF THE DISPLAY CABINET, THE 90° ANGLE BETWEEN THE CABINET AND THE LIFTEYE MUST BE MAINTAINED - USING A SPREADER BEAM IS SUGGESTED. ALL EYEBOLTS MUST BE USED WHEN LIFTING.
2	1/2" LIFTEYES TO ASSIST WITH DISPLAY INSTALLATION. LIFTEYES MAY NOT BE USED FOR PERMANENT INSTALLATION. LIFTEYES MAY BE REMOVED.
3	MECHANICAL AND SIGNAL CONNECTIONS OCCUR EXTERNAL TO DISPLAY.
4	CLIP ANGLE FOR MOUNTING. CLIP ANGLES CAN BE ADJUSTED VERTICALLY 1 - 3/16" AS NEEDED DURING INSTALLATION. CLIP ANGLE CAN BE WELDED OR BOLTED TO STRINGER. ALL CLIP ANGLE LOCATIONS MUST BE USED.
5	DAKTRONICS IS NOT RESPONSIBLE FOR THE MOUNTING HARDWARE OR THE INTEGRITY OF THE MOUNTING STRUCTURE.
6	DAKTRONICS IS NOT RESPONSIBLE FOR THE MAIN ELECTRICAL DISCONNECT. SEE POWER RATINGS ABOVE.
7	<b>SEE DWG-03097583 FOR SIGNAL &amp; MTG DETAILS</b>



03	16 AUG 2016	PER EC-22282: UPDATED DRAWING LAYOUT	DJO	18434
02	09 MAY 16	UPDATED GALAXY LABEL	BAB	18436
01	27 OCT 2015	UPDATED 120/240 LINE AMPS	TJW	
REV	DATE:		BY:	

		THE CONCEPTS EXPRESSED AND DETAILS SHOWN ON THIS DRAWING ARE CONFIDENTIAL AND PROPRIETARY. DO NOT REPRODUCE BY ANY MEANS WITHOUT THE EXPRESS WRITTEN CONSENT OF DAKTRONICS, INC. OR ITS WHOLLY OWNED SUBSIDIARIES. COPYRIGHT 2016 DAKTRONICS, INC. (USA)		THIRD ANGLE PROJECTION	
PROJECT: GALAXY GS6 SERIES					
TITLE: SHOP DWG, GS6-R, 3' 8"x6' 9" (3x5 MODS)					
DATE: 14-AUG-17		DIM UNITS: INCHES [MILLIMETERS]		SHEET 1 OF 1	
SCALE: 1/15		DO NOT SCALE DRAWING		REV 04	
DESIGN: TWHITEH		JOB NO. P1817		FUNC - TYPE - SIZE E - 07 - B	
DRAWN: DOSTRAA		3111338			

**SALEM-KEIZER SCHOOL DISTRICT 24J  
SUMPTER ELEMENTARY SCHOOL  
SIGN PERMIT & CONDITIONAL USE PERMIT FOR  
ELECTRONIC SIGN IN A RESIDENTIAL ZONE  
WRITTEN STATEMENT**

**OWNER/APPLICANT:**

Salem-Keizer School District 24J  
3630 State Street  
Salem, OR 97301

**APPLICANT’S REPRESENTATIVE:**

Mark D. Shipman, Attorney  
Saalfeld Griggs PC  
PO Box 470  
Salem, OR 97308  
Phone: 503-399-1070  
Email: mshipman@sglaw.com



**SUBJECT PROPERTY INFORMATION:**

The subject property is approximately 9.29 acres in size and located at 525 Rockwood ST SE, in Salem, Oregon, designated by the Marion County Assessor as Tax Map 8S-3W-15BC, Tax Lot 2500 (the “**Subject Property**”) as shown above and depicted on the attached **Exhibit “A.”** The Subject Property is developed as the Salem-Keizer School District’s (herein “**Applicant**”) Sumpter Elementary School. The City of Salem’s (herein the “**City**”) Comprehensive Plan Map designates the Subject Property as “Community Service Education” (CSE) and it is zoned “Residential Agriculture” (RA). (For Current Comprehensive Plan Designation and Zoning Map, See **Exhibit “B”**). The Subject Property is located within the City limits and within the City’s Urban Service Area (“**USA**”).

The surrounding properties have the following zoning designations:

DIRECTION	ZONING	DESIGNATION	USE
North	Single Family Residential	Single Family Residential	Public Park
West	Single Family Residential	Single Family Residential	Residential Use
East	Residential Agriculture	Community Service Education	Sumpter School Park
South	Single Family Residential	Single Family Residential	Residential Use

The Subject Property is located within the South Gateway Neighborhood Association (“**South Gateway NA**”). Applicant contacted the South Gateway NA’s Chair and Land Use Chair on March 28, 2022, to provide notice and solicit comments in compliance with SRC 300.310. Applicant has submitted a copy of that letter and corresponding email as part of this Application (as defined below). An open house is not required for this Application.

Access to the Subject Property is provided by Rockwood ST SE, classified as a local street under the City’s Functional Street Classification Map (“**SCM**”). Applicant contacted Salem Cherriots on April 6, 2022, in connection with the development of the Subject Property and as part of the Site Plan Review process, providing a copy of the proposed site plan. The proposed sign replacement is not adjacent to any transit route and notification of this revision is not necessary.

**OWNERSHIP OF THE PROPERTY:**

Applicant is the owner of the Subject Property and has provided a copy of the deed of record as part of this Application.

**BACKGROUND INFORMATION:**

Prior to filing this Application, Applicant filed for a Pre-Application Conference to discuss the anticipated applications needed for the renovation of the Subject Property as a part of the 2018 school bond. The Pre-Application Conference request was granted and a meeting with the Applicant, Applicant’s representatives and City Staff was held on September 21, 2020. Applicant received approval for the renovation and relocation of two existing covered play structures, the removal of two existing classroom portables and construction of a new five (5) classroom addition, as well as the construction of building additions for a new kitchen and multi-purpose room on April 12, 2021 (the “**Site Plan Approval**”). However, the Site Plan Approval did not include the addition of an electronic sign.

**SUMMARY OF PROPOSAL:**

Applicant proposes the addition of an electronic sign to replace the existing reader board (the “**Proposed Sign**”). Under Section 900.025 and Section 900.045 of the Salem Revised Code (“**SRC**”), Applicant is required to obtain both a sign permit and a conditional use permit for an electronic display sign. As required under SRC 900.045(f) Applicant is filing these applications concurrently but for ease of review is providing a consolidated written statement, addressing the applicable approval criteria for both applications. The addition of the sign does not require a modification of the Site Plan Approval. The Applicant is the owner of the Subject Property and the sign will be installed by a licensed contractor as part of the development approved under the Site Plan Approval.

**EXISTING SITE CONDITIONS:**

The Subject Property has approximately five hundred eighty two (582’) feet of frontage along Rockwood Street Southeast. The Subject Property is currently the location of Applicant’s Mabel P. Sumpter Elementary School (the “**Existing School**”). The Existing School use (basic education) is a special use in the RA Zone and a permitted use in the PE Zone, which is the implementing zone for Community Service Education, the Comprehensive Plan Designation. The site is generally level; however, it is rated as

“moderate” for landslide hazard risk. The Subject Property is fully served by necessary facilities. The Existing Conditions Plan has been submitted as part of this Application.

**ADDITIONAL SUBMITTAL MATERIALS:**

A proposed site plan, detailed drawing of the sign, elevations of the building, and material list for the electronic sign has been submitted as part of this Application (the “*Plan Set*”).

**APPLICABLE DETAIL PLANS:**

Detailed plans are prepared as policy guides to the Salem Area Comprehensive Plan (“*SACP*”) and are specific plans for a particular geographic area of the City, or for the provision or performance of some particular service or function. The South Gateway NA does not have an adopted neighborhood plan, however, the Subject Property is within what was once the Liberty-Boone Neighborhood Association, which is no longer active but did have an adopted neighborhood plan which is still valid for land use decisions (the “*Liberty-Boone NP*”). The Liberty-Boone NP designates the Subject Property for “School” use.

**SALEM TRANSPORTATION SYSTEM PLAN (STSP):**

The STSP uses a Street Classification System to determine the functional classification of each street within the City’s street system. The Subject Property has approximately five hundred fifty five (550’) feet of frontage along Rockwood Street Southeast which is classified as a local street in the STSP. The Subject Property has two (2) one-way driveways along Rockwood Street SE, one (1) for ingress and one (1) for egress.

**HOMEOWNERS ASSOCIATION INFORMATION:**

The Subject Property is not subject to an active homeowner’s association (HOA). This Application does not require notice or approval from an HOA.

**PREVIOUS LAND USE DECISIONS:**

- SPR-ADJ21-05

**FINDINGS APPLYING TO THE APPLICABLE SALEM REVISED CODE CRITERIA FOR A SIGN PERMIT AND ELECTRONIC DISPLAY SIGN CONDITIONAL USE PERMIT**

Under Section 900.025(a) of the SRC, Applicant is required to obtain a sign permit for the Proposed Sign as well as filing an application for a conditional use permit under SRC 900.045(a). The applicable approval criteria are set out in bold and italics below with Applicant’s proposed findings following in plain type.

***Sec. 900.025. – Sign permits.***

***(d) Criteria. An application for a sign permit shall be granted if the following criteria are met:***

- (1) The sign meets the requirements of SRC chapter 56.***

**Proposed Finding:** The Proposed Sign meets the requirements of the Building Code. Applicant will be required to apply for a building permit for this element of the development on the Subject Property. The applicable department will review and approve the Proposed Sign under the requirements of Chapter 56. This criterion is satisfied.

***(2) The sign is allowed in the zone.***

**Proposed Finding:** The Subject Property is zoned “RA” meaning that the Proposed Sign is permitted in the zone under a conditional use permit. Concurrently with this Application, the Applicant is applying for a conditional use permit under SRC 900.045. Provided Applicant demonstrates that it satisfies the applicable approval criteria in SRC 900.045(d), this criterion is satisfied. Additionally, under the Our Salem proposed comprehensive plan and zoning map, the Subject Property will be re-zoned to “Public Education,” under that zoning, the sign is permitted in the zone.

***(3) The sign will not interfere with the use of any public right-of-way, other public easements, or other publicly owned property.***

**Proposed Finding:** The Proposed Sign is being installed the addition to the multi-purpose room’s south western face, visible from the primary driveway entrance used for student drop-off. It will not be located within any right of way or public easements and will assist in Applicant’s public “basic education” use on the Subject Property. This criterion is satisfied.

***(4) The sign conforms to all the applicable standards in this chapter.***

**Proposed Finding:** The Proposed Sign is substantially similar to the signs used by Applicant on its other schools, conforming to the provisions of the sign and the building codes. By virtue of the current zoning of the Property, Applicant is submitting a conditional use permit concurrently with its application for a sign permit demonstrating that the Proposed Sign satisfies the additional criteria set out in that section of Chapter 900.

***Sec. 900.045. – Electronic display sign conditional use permits.***

***(d) Criteria. An application for an electronic display sign conditional use permit shall be granted if the following criteria are met:***

***(1) The sign will not create or significantly increase street level sign clutter;***

**Proposed Finding:** The Proposed Sign will be located on the addition to the multi-purpose room’s south western face, visible from the primary driveway entrance used for student drop-off. It will not add or create street level sign clutter.

***(2) The sign will not adversely impact the neat, clean, orderly, and attractive appearance of the surrounding vicinity to a significant degree;***

**Proposed Finding:** The Proposed Sign is located in a manner that is designed to communicate information to parents dropping off students as well as students arriving via bus, walking, or by bicycle. The Proposed Sign will be aesthetically pleasing and will help maintain a neat, clean, orderly and attractive appearance by replacing an older sign with an updated sign that will allow for the more effective dissemination of

information, minimizing the need for additional signs advertising events or other important information elsewhere on the Subject Property. Further, the Proposed Sign is being proposed for an area which is shielded from the adjacent roads by street trees and will be angled in a manner that will minimize the visual impact on the surrounding residential areas. The fact that the Proposed Sign is replacing an existing sign, supports the determination that signs are an anticipated aspect of the Existing School and the basic education use, the addition of an electronic component to the sign will not affect the appearance of the surrounding vicinity. This criterion is satisfied.

***(3) The sign will not create a traffic or safety hazard; and***

**Proposed Finding:** The Proposed Sign is located in a manner that is designed to communicate information to parents dropping off students as well as students arriving via bus, walking, or by bicycle. The Proposed Sign is positioned in a way to not create a traffic or safety hazard. Due to the angle of the sign and the buffering from the existing street trees, drivers will not be able to view the sign from the surrounding vehicle use areas. This will eliminate any potential safety and traffic hazards associated with the sign. This criterion is satisfied.

***(4) The sign complies with all other standards in this chapter, including, but not limited to, height and placement standards.***

**Proposed Finding:** The Proposed Sign is substantially similar to the signs used by Applicant on its other schools, conforming to the provisions of the sign and the building codes. The Proposed Sign is approximated three feet, seven and 7/16 (3' 7 7/16") inches tall by six feet nine (6' 9") inches wide and complies with the placement standards in the sign code. Applicant has provided the relevant details in the Plan Set, demonstrating compliance with these standards. This criterion is satisfied.

**CONCLUSION:**

Based on the findings contained in this written statement, the Applicant has satisfactorily addressed the applicable criteria for granting both the Sign Permit and the Conditional Use Permit for an electronic sign in a residential zone. Applicant respectfully requests that these Applications be approved.

### EXHIBIT A TAX MAP



**08 3W 15BC  
SALEM**



**MARION COUNTY, OREGON  
SW1/4 NW1/4 SECS 18S 18W W.M.  
SCALE 1" = 100'**

**LEGEND**

- Line Types:
  - Subdiv Boundary: Thin Solid Line
  - Lot Boundary: Dashed Line
  - Section Boundary: Long Dash - Short Dash
  - County Line: Thick Solid Line
  - Water: Blue
  - Water Table Boundary: Dotted Line
  - Water Table: Dashed Line with 'W'
  - Water Table Elevation: 'W' followed by elevation
  - Water Table Contour: Dashed Line with 'W' and elevation
  - Water Table Contour Elevation: 'W' followed by elevation
  - Water Table Contour Interval: 'W' followed by interval

**CANCELLED NUMBERS**

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**NOTES**

K12 4043 - All other lots in this school district are under the jurisdiction of the Marion County Board of Education.

**DISCLAIMER - THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY.**

Assessors Office  
Cartography Dept

PLOT DATE: 12/27/2018

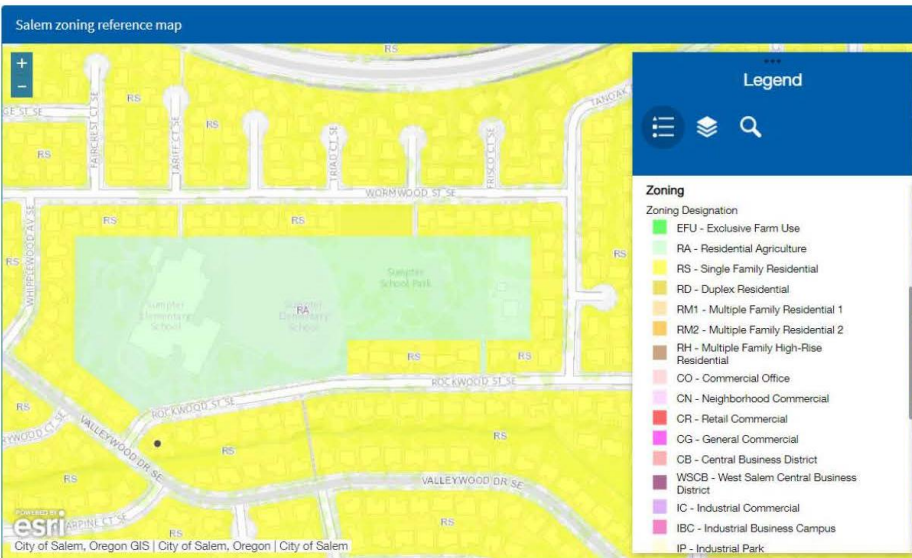
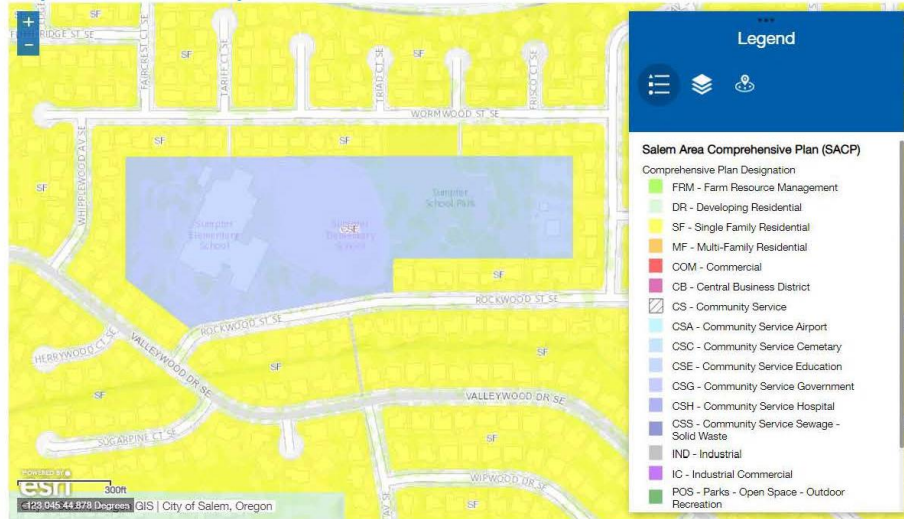
**08 3W 15BC  
SALEM**

FOR ADDITIONAL MAPS VISIT OUR WEBSITE AT: [www.co.marion.or.us](http://www.co.marion.or.us)

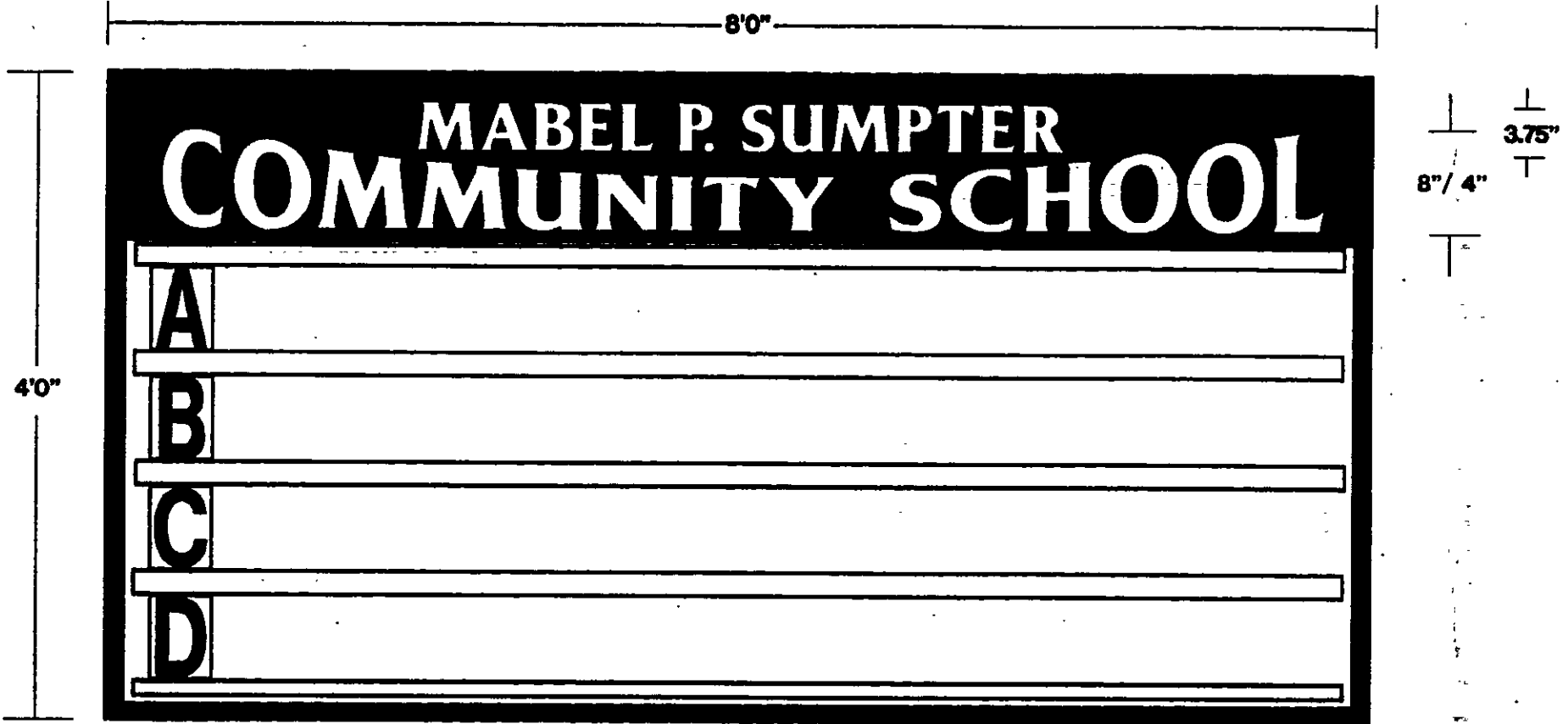


## EXHIBIT B COMPREHENSIVE PLAN DESIGNATION AND ZONING MAP

**Map of Salem Area Comprehensive Plan**



SK# 5568-01  
REVISED A



S/F 800 MA INTERIOR ILLUMINATED WALL MOUNT DISPLAY / SCALE 1"=1'0"  
 SHEET METAL FABRICATED CABINET PAINT DURANODIC (BRONZE).  
 FACE TO BE 3/16" WHITE ACRYLIC SHEET (PLEX) W/ TRACK FOR (4)  
 LINES OF 6" ZIP CHANGE LETTERS (READERBOARD), TOP COPY TO BE  
 WHITE ON #230-38 DK. BLUE TRANSLUCENT VINYL BACKGROUND PANEL.  
 U.L. APPROVED

110 lbs

DRAWN BY:  
STEVE BOBB

SALES:  
COREY SPADY

SALEM SIGN CO., INC. 1825 FRONT ST. N.E.  
 SALEM, OREGON 97303  
 503-371-6362 FAX 371-0901

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