

**TO:** HEARINGS OFFICER

**FROM:** LISA ANDERSON-OGILVIE, AICP, DEPUTY COMMUNITY  
DEVELOPMENT DIRECTOR AND PLANNING ADMINISTRATOR

**SUBJECT:** SIGN VARIANCE AND SIGN PERMIT CASE NO. VAR-SI22-01;  
890 OAK STREET SE - 97301; AMANDA NOS.:  
21-122160-SA & 22-108944-SI (Sign 1)  
21-122162-SA & 22-108954-SI (Sign 2)  
21-122163-SA & 22-108945-SI (Sign 3)  
21-122164-SA & 22-108956-SI (Sign 4)  
21-122165-SA & 22-108939-SI (Sign 5)  
21-122166-SA & 22-108941-SI (Sign 6)  
(Sign 7, not included)  
21-122168-SA & 22-108946-SI (Sign 8)  
21-122169-SA & 22-103733-SI (Sign 9)  
21-122170-SA & 22-103729-SI (Sign 10)  
21-122171-SA & 22-108938-SI (Sign 11)

## **REQUEST**

Summary: A request to install ten new signs for the Salem Health campus each requiring one or more sign variance to development standards of the sign code.

Request: A request for sign variances and sign permits for the installation of ten new signs for the Salem Health campus, each requiring one or more variance to development standards of the sign code relating to maximum height, maximum display surface, quantity of signs, and/or illumination, for property approximately 34.8 acres in size, zoned PE (Public and Private Educational Services), PH (Public and Private Health Services) and CO (Commercial Office), within the Salem Hospital Overlay Zone, and located generally at 890 Oak Street SE - 97301 (Marion County Assessors Map and Tax lot numbers: 073W27DA / 00400, 00500, 00600, 00800, 00900, 01100, 01600, 05500, 06300, 06500, 06600, and 90000, and 073W27DB / 00100).

A vicinity map illustrating the location of the property is attached hereto and made a part of this staff report (**Attachment A**).

**OWNER:** Salem Health, Represented by Cheryl Nester Wolfe

**APPLICANT:** Brad Kilby, Harper Houf Peterson Righellis Inc.

**AGENT:** Alden Kasiewicz, Scott Edwards Architecture LLP

## **APPLICATION PROCESSING**

On December 1, 2021, eleven sign variance applications were submitted to the City for processing. After receiving additional information, including withdrawal of the sign variance application for proposed sign 7, and sign permit applications for each of the remaining signs, the collective applications were deemed complete for processing on May 27, 2022. The 120-day state mandated decision deadline for this collective application is September 24, 2022.

The public hearing before the City of Salem Hearings Officer is scheduled for June 22, 2022, at 5:30 p.m. Notice of public hearing was sent by mail to surrounding addresses, property owners, and tenants pursuant to Salem Revised Code (SRC) requirements on June 2, 2022. Public hearing notice was also posted on the property on June 10, 2022 pursuant to SRC requirements.

## **PROPOSAL**

The applicant has submitted Sign Variance and Sign Permit applications for ten signs to be placed throughout the Salem Health Campus for property located generally at 890 Oak Street SE. A description of each of the signs subject to this request, including the need for a variance, are summarized below:

- Sign 1: This is a freestanding vehicle directional sign that is located on the Mission Street SE frontage at the driveway entrance to Building M (Salem Health Rehabilitation Center) and is within the PE (Public and Private Educational Service) zone. SRC 900.215(b)(1)(B) provides that the maximum display area allowance is 24 square feet, and the maximum height allowance is 5 feet. For this sign, the applicant is requesting variances to increase the maximum display area allowance to 28.38 square feet and to increase the maximum height to 6 feet 5 inches.
- Sign 2: This is a freestanding emergency pylon sign that is located on the Winter Street SE frontage near the intersection with Mission Street SE and is within the PE (Public and Private Educational Service) zone. SRC 900.215(b)(1)(B) provides that a maximum of one freestanding sign is permitted on a street frontage, the maximum display area allowance is 24 square feet, and the maximum height allowance is 5 feet. For this sign, the applicant is requesting variances to increase the maximum number of freestanding signs along Winter Street SE to 3, and to increase the maximum height to 13 feet.
- Sign 3: This is a freestanding vehicle directional sign that is located on the Winter Street SE frontage near the intersection with Mission Street SE and is within the PE (Public and Private Educational Service) zone. SRC 900.215(b)(1)(B) provides that a maximum of one freestanding sign is permitted on a street frontage, the maximum display area allowance is 24 square feet, and the maximum height allowance is 5 feet. For this sign, the applicant is requesting

- variances to increase the maximum number of freestanding signs along Winter Street SE to 3, to increase the maximum display area allowance to 28.38 square feet, and to increase the maximum height to 6 feet 5 inches.
- Sign 4: This is a freestanding emergency pylon sign that is located on the Capitol Street SE frontage near the intersection with Mission Street SE and is within the PH (Public and Private Health Services) zone. SRC 900.215(c)(1)(B) provides that a maximum of one freestanding sign is permitted on a street frontage, the maximum display area allowance is 24 square feet, and the maximum height allowance is 5 feet. For this sign, the applicant is requesting variances to increase the maximum number of freestanding signs along Capitol Street SE to 2, and to increase the maximum height to 13 feet.
- Sign 5: This is a freestanding emergency pylon sign that is located on the Capitol Street SE frontage across from Building A and the Building A Expansion, and is within the PE (Public and Private Educational Service) zone. SRC 900.215(b)(1)(B) provides that a maximum of one freestanding sign is permitted on a street frontage, the maximum display area allowance is 24 square feet, and the maximum height allowance is 5 feet. For this sign, the applicant is requesting variances to increase the maximum number of freestanding signs along Capitol Street SE to 2, to increase the maximum display area allowance to 26.3 square feet, and to increase the maximum height to 17 feet.
- Sign 6: This is a freestanding vehicle directional sign that is located along the Oak Street SE frontage near the intersection with University Street SE and is within the PH (Public and Private Health Services) zone. SRC 900.215(c)(1)(B) the maximum display area allowance is 24 square feet, and the maximum height allowance is 5 feet. For this sign, the applicant is requesting variances to increase the maximum display area allowance to 28.38 square feet, and to increase the maximum height to 6 feet 5 inches.
- Sign 7: Not included.
- Sign 8: This is a freestanding vehicle directional sign that is located along the University Street SE frontage across from Leslie Street SE and is within the PE (Public and Private Educational Service) zone. SRC 900.215(b)(1)(B) the maximum display area allowance is 24 square feet, and the maximum height allowance is 5 feet. For this sign, the applicant is requesting variances to increase the maximum display area allowance to 28.38 square feet, and to increase the maximum height to 6 feet 5 inches.
- Sign 9: This is a wall mounted emergency sign proposed on the southern building façade of Building A Expansion, and is within the PH (Public and Private Health Services) zone. SRC 900.215(c)(1)(A) provides that one wall sign is

permitted for each building frontage<sup>1</sup>. Because the southern façade is not a building wall facing a street, a wall sign is not permitted in this location. The applicant is requesting a variance to allow an illuminated wall sign approximately 64 square feet in size to be placed on a building wall that does not face a street.

Sign 10: This is a wall mounted emergency sign proposed on the eastern building façade of Building A, and is within the PH (Public and Private Health Services) zone. SRC 900.215(c)(1)(A) provides that one wall sign is permitted for each building frontage, which shall be limited to the greater of 32 square feet or two percent of the gross face area of the building frontage on which it is located. One wall sign is already proposed on this wall (Sign 13), which complies with SRC 900.215(c)(1)(A) and is not part of this variance request. The gross face area of the building frontage is approximately 2,262 SF, allowing up to 45 square feet of display area for the wall sign. For this sign, the applicant is requesting variances to allow a second illuminated wall sign on a building frontage, and to increase the display area allowance for the wall sign to 129 square feet.

Sign 11: This is a wall mounted illuminated identification sign for Salem Health proposed on the eastern building façade of Building A Expansion, and is within the PH (Public and Private Health Services) zone. SRC 900.215(c)(1)(A) provides that one wall sign is permitted for each building frontage, which shall be limited to the greater of 32 square feet or two percent of the gross face area of the building frontage on which it is located. Further, SRC 900.215(c)(1)(E) provides that only emergency vehicle directional signs and emergency entrances to a building in PH zones shall be externally illuminated signs or internally illuminated signs. One wall sign is already proposed on this wall (Sign 12), which complies with SRC 900.215(c)(1)(A) and is not part of this variance request. For this sign, the applicant is requesting variances to allow a second wall sign on a building frontage, and to allow this identification sign to be illuminated.

### **SUMMARY OF RECORD**

The following items are submitted to the record and are available upon request: 1) All materials submitted by the applicant, including any applicable professional studies such as traffic impact analysis, geologic assessments, and stormwater reports; 2) any materials, testimony, and comments from public agencies, City Departments, neighborhood associations, and the public; and 3) all documents referenced in this report. All application materials are available on the City's online Permit Application Center at <https://permits.cityofsalem.net>. You can use the search function without registering and enter the permit number listed here: Sign 1 = 21-122160-SA & 22-108944-SI; Sign 2 = 21-122162-SA & 22-108954-SI; Sign 3 = 21-122163-SA & 22-

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<sup>1</sup> Per SRC 900.005, *Building frontage* means the wall of a building facing a street.

108945-SI; Sign 4 = 21-122164-SA & 22-108956-SI; Sign 5 = 21-122165-SA & 22-108939-SI; Sign 6 = 21-122166-SA & 22-108941-S; Sign 7, not included; Sign 8 = 21-122168-SA & 22-108946-SI; Sign 9 = 21-122169-SA & 22-103733-SI; Sign 10 = 21-122170-SA & 22-103729-SI; and, Sign 11 = 21-122171-SA & 22-108938-SI.

### **APPLICANT'S STATEMENT**

The applicant's proposed development plans are included as **Attachment B**, and the applicant's statement addressing the applicable approval criteria for the consolidated applications is included as **Attachment C**.

### **FACTS AND FINDINGS**

#### **1. Salem Area Comprehensive Plan (SACP) designation**

The Salem Area Comprehensive Plan (SACP) map designations for the subject property are "Commercial", "Community Services – Education", and Community Services – Hospital." The subject property is within the Urban Growth Boundary and is located inside the Urban Service Area.

#### **2. Zoning and Surrounding Land Uses**

The subject property is zoned CO (Commercial Office), PE (Public and Private Educational Services), and PH (Public and Private Health Services). A portion of the subject property is within the Salem Hospital Overlay Zone.

The zoning and uses of surrounding properties include:

North: Across Bellevue Street SE – PE (Public and Private Educational Services) – Willamette University Campus  
South: Across Mission Street SE – PA (Public Amusement) – Bush's Pasture Park  
East: Across University Street SE – CO (Commercial Office) and PH (Public and Private Health Services) – Salem Health  
West: Across Church Street SE – RS (Single Family Residential) zone and Gaiety Hill/Bush's Pasture Park Historic District

#### **3. Site Analysis**

The subject property is approximately 34.8 acres in size and has frontage along Bellevue Street SE which is designated as a parkway street in the Salem Transportation System Plan (TSP), Mission Street SE which is designated as a minor arterial street, Church Street SE and Winter Street SE which are designated as collector streets, and University Street SE which is designated as a local street. In addition, the Salem Health campus includes Capitol Street SE and Oak Street SE as internal private streets.

#### **4. Neighborhood and Citizen Comments**

The subject property is located within the Central Area Neighborhood Development Organization (CANDO) and the South Central Association of Neighbors (SCAN). Pursuant to SRC Chapter 300, the applicant is required to contact the neighborhood associations prior to submittal of this consolidated application. On November 9, 2021 the applicant contacted members of the SCAN Land Use Committee and on November 11, 2021 the applicant contact members of the CANDO Land Use Committee meeting the requirements of SRC 300.310(c). Notice of the application was sent to the CANDO and SCAN neighborhood associations. Notice was also provided to surrounding addresses, property owners, and tenants within 250 feet of the subject property.

At the time of this staff report, comments have been received from CANDO, SCAN, and one citizen indicating support and/or no objections for the requested sign variances and sign permits.

#### **5. City Department and Public Agency Comments**

The Building and Safety Division has reviewed the proposal and indicated no concerns.

The Public Works Department have reviewed the proposal and indicated concerns with the location for signs 2 and 3, which appear to be in stormwater drainage swale, and sign 6 which appears to be in conflict with the adjacent sidewalk. Prior to issuance of sign permits for these signs, the applicant shall provide updated site plans in locations approved by the Public Works Department.

**Condition 1:** Prior to issuance of sign permits for signs 2, 3 and 6, the applicant shall provide updated site plans showing these signs in locations approved by the Public Works Department.

#### **6. Sign Variance Applicability – SRC Chapter 900**

SRC 900.040(a) provides that sign variances may be granted to the height and display surface standards, to increase the number of allowed signs, to allow relocation of a sign, and to allow structural alterations to a sign.

A sign variance shall not provide for any of the following:

- a) To allow a sign prohibited by SRC 900.020 (Prohibited Signs).
- b) To decrease a setback or special setback.
- c) To allow placement of a sign in a vision clearance area.
- d) To allow structural alterations to a non-conforming or non-complying sign.
- e) To authorize a sign not otherwise permitted on the property for which the variance is sought.
- f) To allow any sign other than those specifically allowed by this Chapter.
- g) To modify the display and brightness regulations for electronic display signs established by SRC 900.090.

**Staff Response:** The sign variances requested in this application are to maximum height, maximum display area, number of allowed signs, location, and illumination, which are allowed per SRC 900.040(a).

## 7. Analysis of Sign Variance Criteria – SRC Chapter 900

Pursuant to SRC 900.040(d), an application for a sign variance shall be granted if the following criteria are met:

### Criterion 1:

Compliance with the applicable standard would create an unnecessary hardship due to unique or unusual physical conditions of the property over which the applicant has no control, such as topography and lot shape, which are not present on other properties in the vicinity that have the same zone designation; the hardship does not result from actions of the applicant, owner, or previous owners of the property; and the sign variance is limited to the minimum reasonably necessary to alleviate the problem created by the unique or unusual physical conditions.

**Finding:** The Salem Hospital campus includes several large buildings, parking areas and offers a variety of services. The applicant indicates that the requested sign variances are necessary to provide a holistic wayfinding system throughout the campus that takes into consideration the state of mind of the visitors, site constraints, and challenges due to the uniqueness of the property and the use. The variances requested are limited to the minimum necessary to alleviate problems created by physical conditions of the campus, while eliminating confusion and promoting clear and efficient movement through the campus for visitors to the site. Further analysis for each sign is as follows:

### *Proposed Sign 1*

**Finding:** This is an internally illuminated freestanding vehicle directional sign that is located on the Mission Street SE frontage at the driveway entrance to Building M (Salem Health Rehabilitation Center) and is within the PE (Public and Private Educational Service) zone. SRC 900.215(b)(1)(B) provides that the maximum display area allowance is 24 square feet, and the maximum height allowance is 5 feet. For this sign, the applicant is requesting variances to increase the maximum display area allowance to 28.38 square feet and to increase the maximum height to 6 feet 5 inches.

A taller sign with a larger display surface is needed to increase the visibility of the sign, eliminate confusion, and promote clear and efficient movement through the campus. The proposed directional signage is the same size and appearance as other directional signage provided throughout the campus to ensure consistent and easy navigation for visitors and patients.

This freestanding sign appears to be located within the dripline of a significant tree, all

significant trees shall be protected during construction activities. SRC 808.046(a)(3) provides that up to a maximum of 30 percent of the critical root zone of a tree may be disturbed in order to accommodate development of the property when a report from an arborist is submitted documenting that such disturbance will not compromise the long-term health and stability of the tree and all recommendations included in the report to minimize any impacts to the tree are followed. Prior to issuance of the related sign permit, the applicant shall provide a report from an arborist and comply with the requirements of SRC 808.046.

**Condition 2:** Prior to issuance of the sign permit for Sign 1, the applicant shall either demonstrate that the sign will not disturb the critical root zone of the significant tree, or shall provide a report from an arborist and comply with the requirements of SRC 808.046.

Staff finds that the variances requested to maximum height and display surface for proposed sign 1 are consistent with this approval criterion.

### *Proposed Sign 2*

**Finding:** This is a freestanding emergency pylon sign that is located on the Winter Street SE frontage near the intersection with Mission Street SE and is within the PE (Public and Private Educational Service) zone. SRC 900.215(b)(1)(B) provides that a maximum of one freestanding sign is permitted on a street frontage, the maximum display area allowance is 24 square feet, and the maximum height allowance is 5 feet. For this sign, the applicant is requesting variances to increase the maximum number of freestanding signs along Winter Street SE to 3, and to increase the maximum height to 13 feet.

The subject property has approximately 1,000 feet of street frontage along Winter Street SE between Bellevue Street SE and Mission Street SE. This emergency pylon sign is one of three freestanding signs along the Winter Street SE frontage and will be located near proposed sign 3 which is a freestanding directional sign. The purpose of the freestanding emergency pylon is to direct visitors to the emergency department, which is a different purpose than the nearby freestanding directional sign which is intended to identify the location of other services provided on the campus. Further, because visitors to the campus will be arriving from both the north and south ends of Winter Street SE, a variance to allow additional freestanding signage is needed to alleviate the problem created by the unusually long length of street frontage.

The proposed emergency pylon is the same size and appearance as other emergency pylons provided throughout the campus and is intended to provide a consistent and easy navigation to the emergency department for visitors and patients. A taller sign is needed to increase the visibility of the sign, eliminate confusion, and promote clear and efficient movement through the campus.

Staff finds that the variances to maximum height and number of freestanding signs



along Winter Street SE for proposed sign 2 are consistent with this approval criterion.

### *Proposed Sign 3*

**Finding:** This is a freestanding vehicle directional sign that is located on the Winter Street SE frontage near the intersection with Mission Street SE and is within the PE (Public and Private Educational Service) zone. SRC 900.215(b)(1)(B) provides that a maximum of one freestanding sign is permitted on a street frontage, the maximum display area allowance is 24 square feet, and the maximum height allowance is 5 feet. For this sign, the applicant is requesting variances to increase the maximum number of freestanding signs along Winter Street SE to 3, to increase the maximum display area allowance to 28.38 square feet, and to increase the maximum height to 6 feet 5 inches.

The subject property has approximately 1,000 feet of street frontage along Winter Street SE between Bellevue Street SE and Mission Street SE. This freestanding directional sign is one of three freestanding signs along the Winter Street SE frontage and will be located near proposed sign 2 which is a freestanding emergency pylon. The purpose of the nearby freestanding emergency pylon is to direct visitors to the emergency department, which is a different purpose than the proposed freestanding directional sign which is intended to identify the location of other services provided on the campus. Further, because visitors to the campus will be arriving from both the north and south ends of Winter Street SE, a variance to allow additional freestanding signage is needed to alleviate the problem created by the unusually long length of street frontage.

A taller sign with a larger display surface is needed to increase the visibility of the sign, eliminate confusion, and promote clear and efficient movement through the campus. The proposed directional signage is the same size and appearance as other directional signage provided throughout the campus to ensure consistent and easy navigation for visitors and patients.

Staff finds that the variances to maximum height, display surface, and number of freestanding signs along Winter Street SE for proposed sign 3 are consistent with this approval criterion.

### *Proposed Sign 4*

**Finding:** This is a freestanding emergency pylon sign that is located on the Capitol Street SE frontage near the intersection with Mission Street SE and is within the PH (Public and Private Health Services) zone. SRC 900.215(c)(1)(B) provides that a maximum of one freestanding sign is permitted on a street frontage, the maximum display area allowance is 24 square feet, and the maximum height allowance is 5 feet. For this sign, the applicant is requesting variances to increase the maximum number of freestanding signs along Capitol Street SE to 2, and to increase the maximum height to 13 feet.

The subject property has approximately 700 feet of street frontage along Capitol Street

SE between Mission Street SE and Oak Street SE. This emergency pylon sign is one of two freestanding signs along the Capitol Street SE frontage and will be located near an existing freestanding directional sign. The purpose of the freestanding emergency pylon is to direct visitors to the emergency department, which is a different purpose than the nearby freestanding directional sign which is intended to identify the location of other services provided on the campus. Further, a variance to allow additional freestanding signage is needed to alleviate the problem created by the unusually long length of street frontage.

The proposed emergency pylon is the same size and appearance as other emergency pylons provided throughout the campus and is intended to provide a consistent and easy navigation to the emergency department for visitors and patients. A taller sign is needed to increase the visibility of the sign, eliminate confusion, and promote clear and efficient movement through the campus.

Staff finds that the variances to maximum height and number of freestanding signs along Capitol Street SE for proposed sign 4 are consistent with this approval criterion.

#### *Proposed Sign 5*

**Finding:** This is a freestanding emergency pylon sign that is located on the Capitol Street SE frontage across from Building A and the Building A Expansion, and is within the PE (Public and Private Educational Service) zone. SRC 900.215(b)(1)(B) provides that a maximum of one freestanding sign is permitted on a street frontage, the maximum display area allowance is 24 square feet, and the maximum height allowance is 5 feet. For this sign, the applicant is requesting variances to increase the maximum number of freestanding signs along Capitol Street SE to 2, to increase the maximum display area allowance to 26.3 square feet, and to increase the maximum height to 17 feet.

The subject property has approximately 700 feet of street frontage along Capitol Street SE between Mission Street SE and Oak Street SE. This emergency pylon sign is one of two freestanding signs along the Capitol Street SE. The purpose of the freestanding emergency pylon is to direct visitors to the emergency department, which is a different purpose than the other freestanding directional sign on the Capitol Street SE frontage which is intended to identify the location of other services provided on the campus. Further, a variance to allow additional freestanding signage is needed to alleviate the problem created by the unusually long length of street frontage.

The proposed emergency pylon has a similar appearance as other emergency pylons provided throughout the campus but is taller than the others given that this sign is located immediately adjacent to the emergency department. Given the importance of this location, a taller sign is needed to increase the visibility of the sign, eliminate confusion, and promote clear and efficient direction to the emergency department.

Staff finds that the variances to maximum height and number of freestanding signs

along Capitol Street SE for proposed sign 5 are consistent with this approval criterion.

#### *Proposed Sign 6*

**Finding:** This is a freestanding vehicle directional sign that is located along the Oak Street SE frontage near the intersection with University Street SE and is within the PH (Public and Private Health Services) zone. SRC 900.215(c)(1)(B) the maximum display area allowance is 24 square feet, and the maximum height allowance is 5 feet. For this sign, the applicant is requesting variances to increase the maximum display area allowance to 28.38 square feet, and to increase the maximum height to 6 feet 5 inches.

A taller sign with a larger display surface is needed to increase the visibility of the sign, eliminate confusion, and promote clear and efficient movement through the campus. The proposed directional signage is the same size and appearance as other directional signage provided throughout the campus to ensure consistent and easy navigation for visitors and patients.

Staff finds that the variances requested to maximum height and display surface for proposed sign 6 are consistent with this approval criterion.

#### *Proposed Sign 7*

Not included.

#### *Proposed Sign 8*

**Finding:** This is a freestanding vehicle directional sign that is located along the University Street SE frontage across from Leslie Street SE and is within the PE (Public and Private Educational Service) zone. SRC 900.215(b)(1)(B) the maximum display area allowance is 24 square feet, and the maximum height allowance is 5 feet. For this sign, the applicant is requesting variances to increase the maximum display area allowance to 28.38 square feet, and to increase the maximum height to 6 feet 5 inches.

A taller sign with a larger display surface is needed to increase the visibility of the sign, eliminate confusion, and promote clear and efficient movement through the campus. The proposed directional signage is the same size and appearance as other directional signage provided throughout the campus to ensure consistent and easy navigation for visitors and patients.

Staff finds that the variances requested to maximum height and display surface for proposed sign 8 are consistent with this approval criterion.

#### *Proposed Sign 9*

**Finding:** This is a wall mounted emergency sign proposed on the southern building façade of Building A Expansion, and is within the PH (Public and Private Health

Services) zone. SRC 900.215(c)(1)(A) provides that one wall sign is permitted for each building frontage. Because the southern façade is not a building wall facing a street, a wall sign is not permitted in this location. The applicant is requesting a variance to allow an illuminated wall sign approximately 64 square feet in size to be placed on a building wall that does not face a street.

In this case, the applicant is requesting to place an illuminated wall sign on the southern building wall of Building A Expansion, which is immediately adjacent to the emergency department entrance. Given the importance of this location, this sign is needed to provide direction to the emergency department in a visible location for visitors and patients travelling north on Capitol Street NE. This wall sign is part of the greater plan for providing wayfinding signs that direct visitors and patients throughout the Salem Health Campus in a manner that promotes clear and efficient movement and ensuring easy navigation for visitors and patients and even though this is not a building wall that faces towards a street, it is a location that is critical for identifying the adjacent emergency department.

Staff finds that the variance requested to allow an illuminated wall sign on a building wall that is not facing a street for proposed sign 9 is consistent with this approval criterion.

#### *Proposed Sign 10*

**Finding:** This is a wall mounted emergency sign proposed on the eastern building façade of Building A, and is within the PH (Public and Private Health Services) zone. SRC 900.215(c)(1)(A) provides that one wall sign is permitted for each building frontage, which shall be limited to the greater of 32 square feet or two percent of the gross face area of the building frontage on which it is located. One wall sign is already proposed on this wall (Sign 13), which complies with SRC 900.215(c)(1)(A) and is not part of this variance request. The gross face area of the building frontage is approximately 2,262 SF, allowing up to 45 square feet of display area for the wall sign. For this sign, the applicant is requesting variances to allow a second illuminated wall sign on a building frontage, and to increase the display area allowance for the wall sign to 129 square feet.

In this case, the applicant is requesting to place more than one illuminated wall sign on the eastern building wall of Building A, which is intended to identify emergency department entrance. Given the importance of this location, this sign is needed to provide direction to the emergency department in a visible location for visitors and patients navigating the campus. This wall sign is part of the greater plan for providing wayfinding signs that direct visitors and patients throughout the Salem Health Campus in a manner that promotes clear and efficient movement and ensuring easy navigation for visitors and patients.

The larger wall sign display surface is needed to increase the visibility of the sign, eliminate confusion, and promote clear and efficient direction to the emergency

department entrance. This wall sign will only be visible from the Salem Hospital Campus.

Staff finds that the variances requested to allow a second illuminated wall sign on a building wall and to increase to the display surface allowance for proposed sign 10 is consistent with this approval criterion.

### *Proposed Sign 11*

**Finding:** This is a wall mounted illuminated identification sign for Salem Health proposed on the eastern building façade of Building A Expansion, and is within the PH (Public and Private Health Services) zone. SRC 900.215(c)(1)(A) provides that one wall sign is permitted for each building frontage, which shall be limited to the greater of 32 square feet or two percent of the gross face area of the building frontage on which it is located. Further, SRC 900.215(c)(1)(E) provides that only emergency vehicle directional signs and emergency entrances to a building in PH zones shall be externally illuminated signs or internally illuminated signs. One wall sign is already proposed on this wall (Sign 12), which complies with SRC 900.215(c)(1)(A) and is not part of this variance request. For this sign, the applicant is requesting variances to allow a second wall sign on a building frontage, and to allow this identification sign to be illuminated.

In this case, the applicant is requesting to place more than one illuminated wall sign on the eastern building wall of Building A Expansion. This wall sign is part of the greater plan for providing wayfinding signs that direct visitors and patients throughout the Salem Health Campus in a manner that promotes clear and efficient movement and ensuring easy navigation for visitors and patients. The larger wall sign display surface is needed to increase the visibility of the sign, and to identify the main entrance for the campus for visitors and patients trying to navigate the campus during all hours of the day and night. Illuminating this identification sign will allow for easier wayfinding to the center of the hospital campus.

Staff finds that the variances requested to allow a second illuminated wall sign on a building wall, and to allow an identification sign to be illuminated for proposed sign 11 is consistent with this approval criterion.

### Criterion 2:

The sign variance is necessary to permit signage comparable with other properties in the vicinity that have the same zone designation.

**Finding:** There are no properties or facilities in the vicinity that are comparable to the Salem Hospital. In terms of zoning designation, the nearest most comparable property is the Oregon State Hospital Campus located at 2600 Center Street NE and which is also located in the PH (Public and Private Health Services) zone. However, this facility does not provide emergency services and the facility has only two primary entrances located on Center Street NE which are well identified. Internal wayfinding signs on the

Oregon State Hospital Campus are mostly exempt from the Sign Code due to being non-illuminated and not visible from a public street or sidewalk.

In contrast, the Salem Hospital sits within a large campus setting including many buildings spanning multiple properties and crossing over public and private internal streets with many entrances and offering a wide variety of services. Emergency services on the Salem Hospital campus are also unique in that they serve the greater region, not just a local population that may be more familiar with the property. Visitors to the site are also likely experiencing medical distress and confusion and will arrive at any time day or night, increasing the importance of highly visible illuminated directional signage throughout the campus.

While there are no comparable properties in the vicinity with the same zoning designation, the requested directional signs are relatively small in height at between 6'5" and 17', and the display surface is also relatively small at between 12.4-28.4 square feet in size, when compared to the allowance for freestanding signage in nearby CR (Retail Commercial) and CG (General Commercial) zoning districts which is typically between 20'-30' in height and 100-150 square feet in size. The requested sign variances are consistent with this approval criterion.

Criterion 3:

The sign variance will not adversely affect the function or appearance of the development and use of the property and surrounding properties.

**Finding:** Salem Hospital is a regional hospital providing a variety of medical services to a population that may not be familiar with the layout of the campus, and further may be experiencing a medical emergency. Directional signage that is easily visible and identifiable throughout the campus, at any time day or night, is critical to direct visitors to the correct location of needed services, helping the Salem Hospital function in a more efficient way. With the exception of signs 1, 2, and 4 which are visible from Mission Street SE, most of the proposed signage will be provided on the interior of the campus and is not visible from surrounding properties.

Staff finds that the variance will not adversely affect the function or appearance of the development and use of the property and surrounding properties. This criterion is met.

Criterion 4:

The sign variance will not impose limitations on other properties and signage in the area, including signage that would be allowed on adjacent properties.

*All signs*

**Finding:** In some cases, such as with outdoor advertising signs, or freestanding signs for shared shopping centers, office complexes, or industrial complexes, approval of a

sign may create limitations on signage permitted on abutting or nearby properties. In this case, granting the requested sign variances will not impose limitations on the sign allowance for abutting or nearby properties; therefore, the request complies with this criterion.

## **8. Analysis of Sign Permit Approval Criteria – SRC Chapter 900**

SRC Chapter 900.025(d) provides that an application for a sign permit shall be granted if the following criteria are met:

### Criterion 1:

The sign meets the requirements of SRC Chapter 56.

**Finding:** Chapter 56 of the Salem Revised Code is the Building Code. Certain signs require additional review by the Building and Safety Division to ensure that the requirements of the building code are met, including freestanding signs greater than 7 feet in height and wall signs that project from a building wall by more than 12 inches or are more than 400 pounds in weight. Proposed signs 2, 4, 5, and 11 have been reviewed by the Building and Safety Division who indicated no concerns and have approved the plans to construct these signs.

### Criterion 2:

The sign is allowed in the zone.

**Finding:** The subject property has three different zoning designations, PE (Public and Private Education) zone, PH (Public and Private Health Services), and the CO (Commercial Office) zone. The ten signs included in this variance request are placed within the PE and PH zones. The applicant is requesting to construct freestanding signs and wall signs which are signs that are allowed in both zones. The variances requested are to maximum height, display area, quantity, and illumination standards.

### Criterion 3:

The sign will not interfere with the use of any public right-of-way, other public easements, or other publicly owned property.

**Finding:** No evidence has been presented that any of the proposed signs will interfere with use of the public right-of-way, public easements, or other publicly owned property.

### Criterion 4:

The sign conforms to all the applicable standards in this Chapter.

**Finding:** With the exception of the standards the applicant has requested sign

variances for, the proposed signs comply with all other applicable standards of SRC Chapter 900.

### **RECOMMENDATION**

Based on the Facts and Findings presented in this staff report, staff recommends the Hearings Officer APPROVE the request for Sign Variances and Sign Permits to install ten new signs for the Salem Health campus each requiring one or more sign variance to development standards of the sign code for property approximately 34.8 acres in size, zoned PE (Public and Private Educational Services), PH (Public and Private Health Services), and CO (Commercial Office), within the Salem Hospital Overlay Zone, and located generally at 890 Oak Street SE – 97301 subject to the following condition of approval:

**Condition 1:** Prior to issuance of sign permits for signs 2, 3 and 6, the applicant shall provide updated site plans showing these signs in locations approved by the Public Works Department.

**Condition 2:** Prior to issuance of the sign permit for Sign 1, the applicant shall either demonstrate that the sign will not disturb the critical root zone of the significant tree, or shall provide a report from an arborist and comply with the requirements of SRC 808.046.

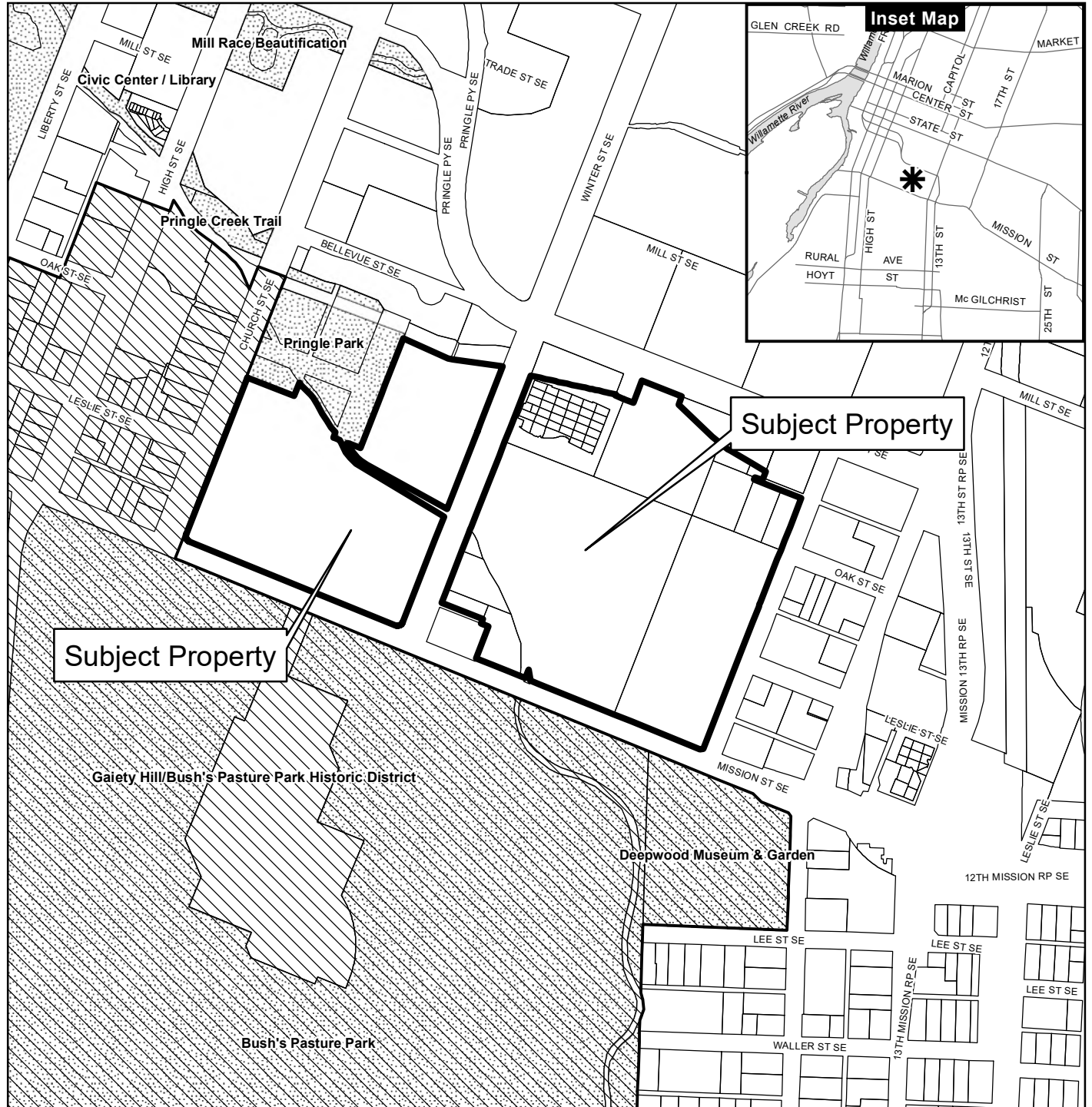
Prepared by: Aaron Panko, Planner III

Application Deemed Complete Date: May 27, 2022  
State Mandated Decision Date: September 24, 2022






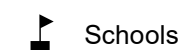

Attachments:       A.     Vicinity Map  
                          B.     Proposed Development Plans  
                          C.     Applicant's Statements



# Vicinity Map 890 Oak Street SE



**Legend**

-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools
-  Parks



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EXISTING VEHICULAR DIRECTIONAL TO REMAIN  
6'-5" TALL, 28.38 SF DISPLAY AREA

EXISTING PERIMETER OBELISK TO BE REMOVED

EXISTING TEMPORARY VEHICULAR DIRECTIONAL TO BE REMOVED



SALEM HEALTH

890 Oak Street SE  
Salem, OR  
11/16/21

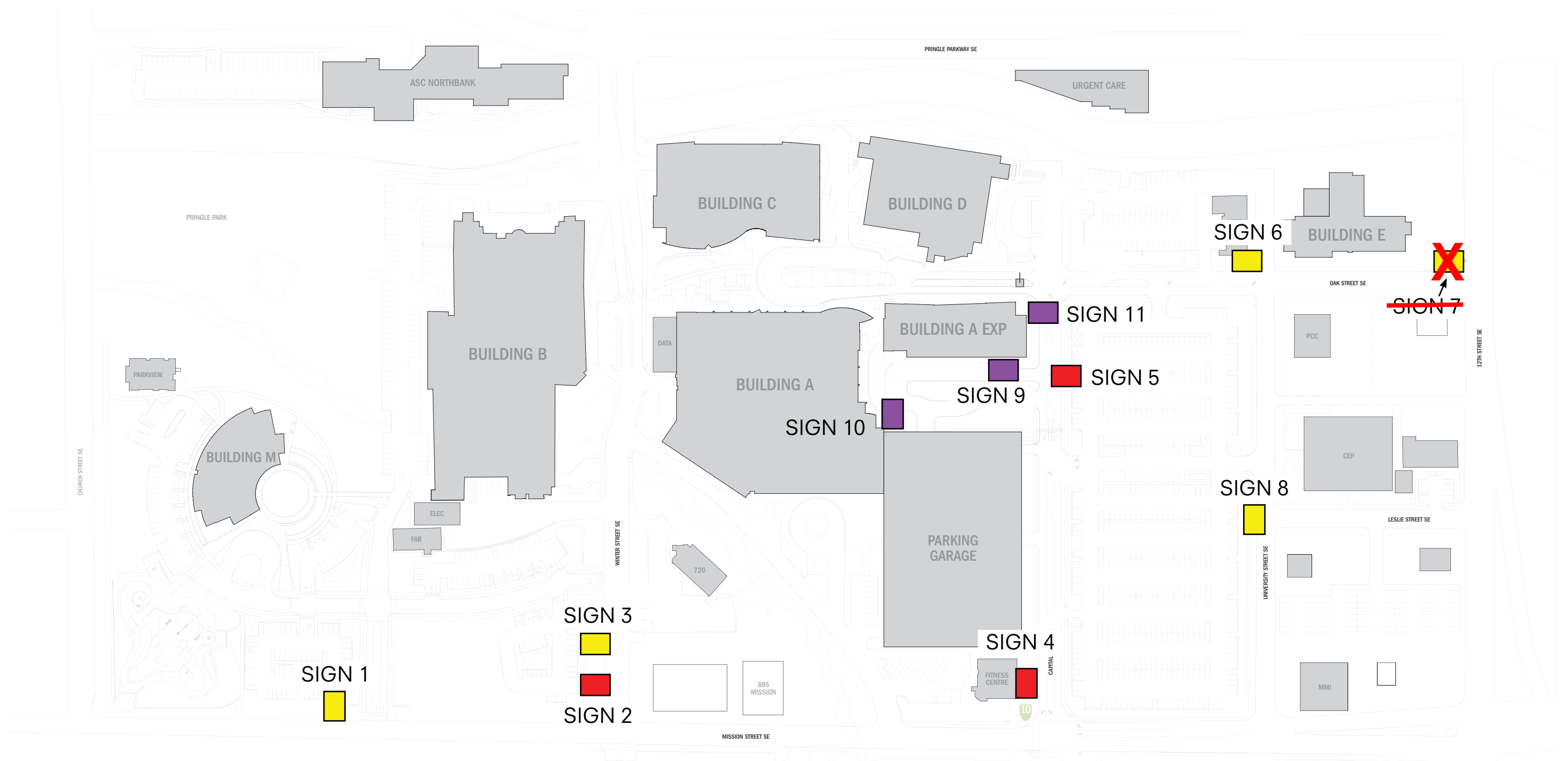
EXISTING SIGNAGE - SITE PLAN



 NEW VEHICULAR DIRECTIONAL SIGN

 NEW BUILDING SIGN

 NEW EMERGENCY DEPARTMENT PYLON



### SALEM HEALTH

890 Oak Street SE  
Salem, OR  
11/16/21

### CAMPUS SIGNAGE VARIANCES - SITE PLAN



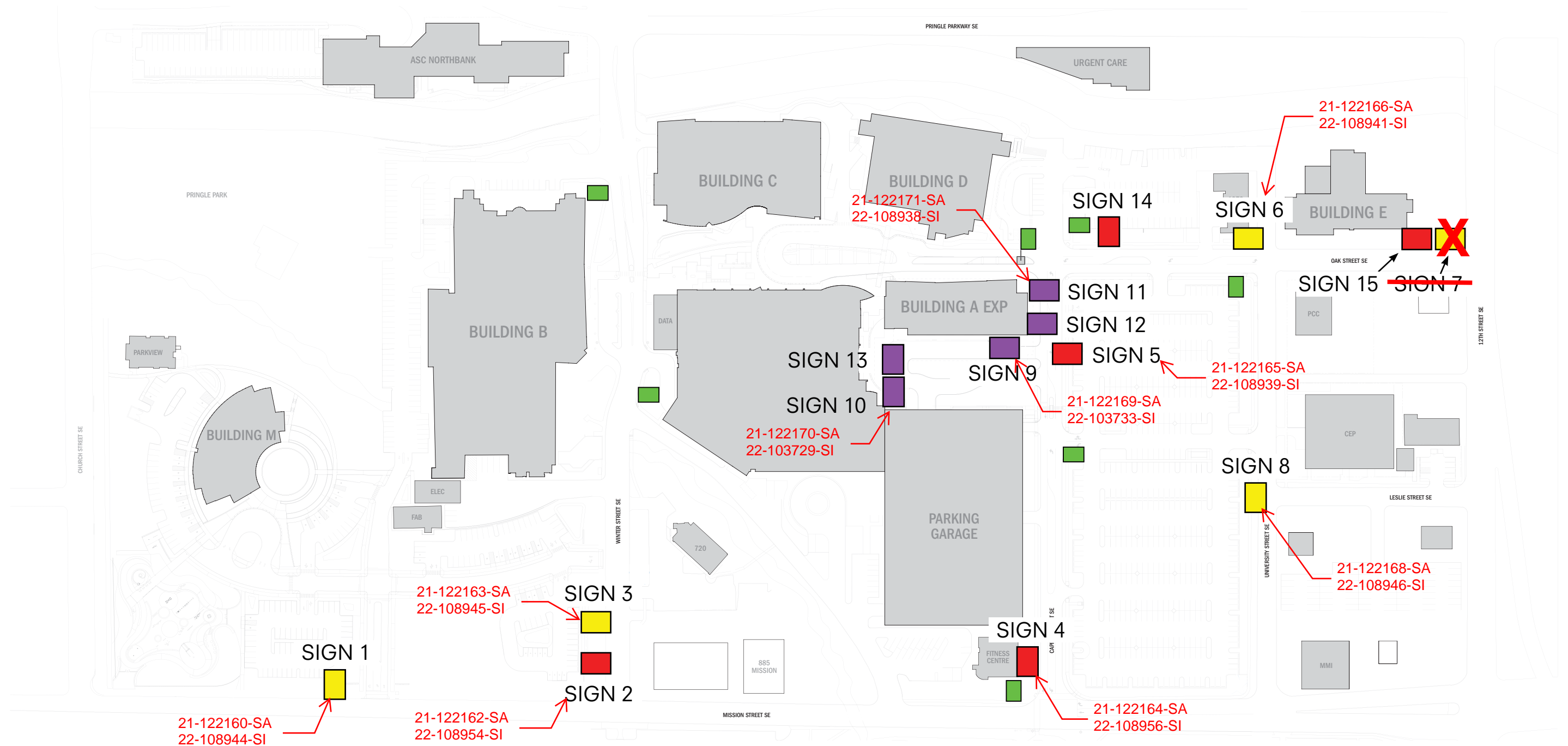
EXISTING VEHICULAR DIRECTIONAL TO REMAIN

NEW EMERGENCY DEPARTMENT PYLON

NEW VEHICULAR DIRECTIONAL SIGN

NEW BUILDING SIGN

**\* SIGNS 12-15 DO NOT REQUIRE A VARIANCE, BUT WILL BE PERMITTED**



### SALEM HEALTH

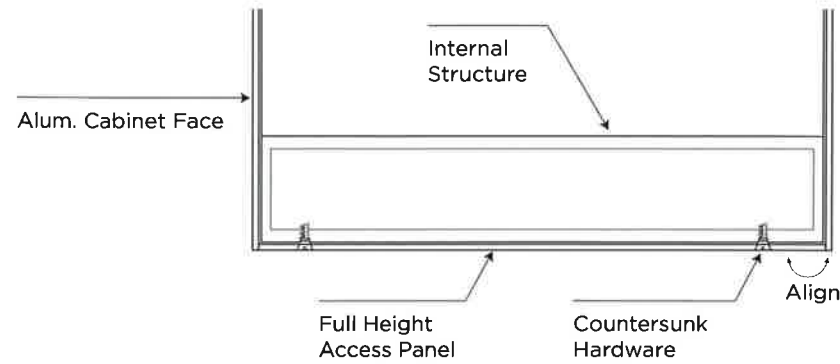
890 Oak Street SE  
Salem, OR  
11/16/21

### FUTURE SIGNAGE - SITE PLAN



# Signs 1, 3, 6, and 8

## SALEM HOSPITAL BUILDING A EXPANSION EXTERIOR GRAPHIC ELEMENTS



**A** Section Detail  
Scale: 3" = 1'-0"

Dimensions & shapes of all elements as shown on G3.D1a.

**A Cabinet:** Unless noted otherwise, all materials, surfaces, dimensions and colors are to match existing Salem Hospital exterior signs. Sign Contractor is responsible for field verifying existing sign conditions.

Top Cabinet at EMERGENCY to be stencil-cut with push thru projection white acrylic letters. Acrylic letters of 1" thickness with lip milled from single sheet, no glue, concealed mechanical attachment to reverse face. Letters to have diffuser film applied and trimmed flush at reverse and 3M vinyl as indicated applied to first surface of letters.

**Illumination:** Internal illumination configured to provide a bright even illumination across all graphic elements. Provide photo cell control at sign location concealed from view. Provide all hardware required for successful installation & make all final electrical hook-ups from owner supplied primary. Sign Contractor is responsible for field verifying existing sign illumination methods and conditions.

**Typography:** Frutiger 65 Bold, 8" cap height (Based on "E"), Kerned Optically (+100%) for EMERGENCY.

Frutiger 65 Bold, 4.5" cap height (based on "E"), and Kerned Optically at (+10%).

**Arrows:** 10" height based on vertical orientation at EMERGENCY.  
6.5" height based on vertical orientation.

**Symbols:** 6" height and width.

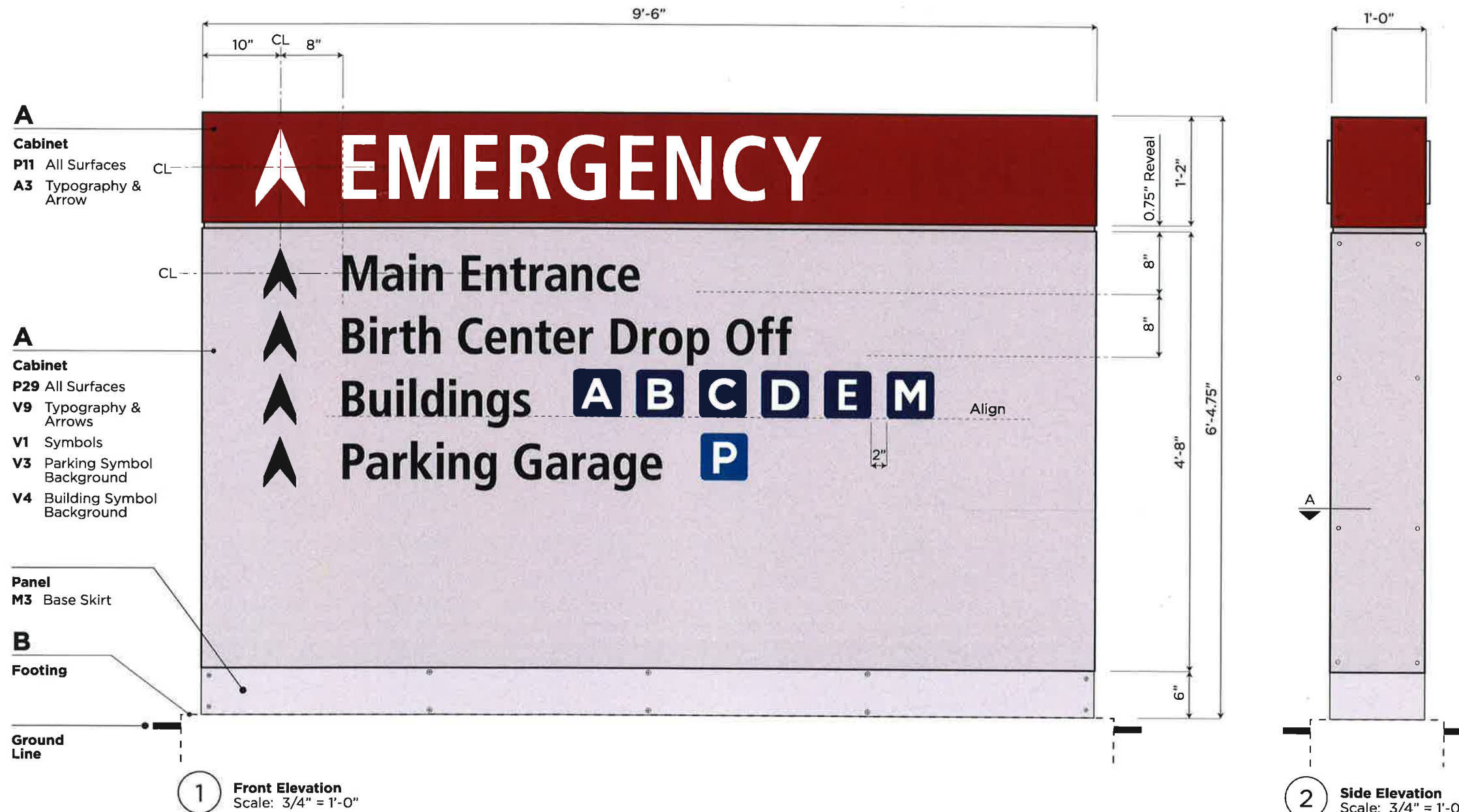
**B Footing:** Single unit below grade concrete and rebar footing of size and configuration required to support sign assembly. Sign Contractor is responsible for engineering and coordinating installation of appropriate footings.

**Installation:** Concealed attachment between sign cabinet and footing. Ensure cabinet is level and plumb. Paint access panel screw heads to match cabinet after installation. Sign Contractor is responsible for verifying all as-built conditions in the field that may impact installation and maintenance of this sign, prior to fabrication.

**Power:** Owner to bring power to sign location under separate contract. Sign Contractor to confirm requirements prior to fabrication.

**Engineering:** Structural Engineering is required. Provide sealed structural engineering calculations.

**Permits:** Sign contractor is responsible for obtaining any permits from the proper authority(s).



Mark	Description	Date



1909 Woodall Rodgers Fwy.  
Suite 415  
Dallas, TX 75201  
t: 214.661.6976

JOB NO. 10003.050

**Salem Hospital**  
890 Oak Street, SE  
Salem, Oregon 97301

**D1** Directional Sign - Large

SHEET  
ISSUED: 03.07.2022 **G3.D1a**

# Signs 2 and 4

Dimensions & shapes of all elements as shown on G3.E10a.

**A Cabinet:** Unless noted otherwise, all materials, surfaces, dimensions and colors are to match existing Salem Hospital exterior sign standards. Sign Contractor is responsible for field verifying existing sign conditions.

Cabinet Faces at EMERGENCY and Arrows to be stencil-cut with push thru projection white acrylic letters. Acrylic letters of 1" thickness with lip milled from single sheet, no glue, concealed mechanical attachment to reverse face. Letters to have diffuser film applied and trimmed flush at reverse.

Typography: Trade Gothic LT Bold, 10" cap height (Based on "E"), Kerned Optically (+40%).

Arrows: 16.5" width by 11" height.

Illumination: Internal illumination configured to provide a bright even illumination across all graphic elements. Provide photo cell control at sign location concealed from view. Provide all hardware required for successful installation & make all final electrical hook-ups from general contractor supplied primary. Sign Contractor is responsible for field verifying existing sign illumination methods and conditions.

**B Footing:** Single unit below grade concrete and rebar footing of size and configuration required to support sign assembly. Sign Contractor is responsible for engineering and coordinating installation of appropriate footings.

**Installation:** Concealed attachment between sign cabinet and footing. Sign Contractor is responsible for verifying all as-built conditions in the field that may impact installation and maintenance of this sign, prior to fabrication.

**Engineering:** Structural Engineering is required. Provide sealed structural engineering calculations.

**Permits:** Sign contractor is responsible for obtaining any permits from the proper authority(s).

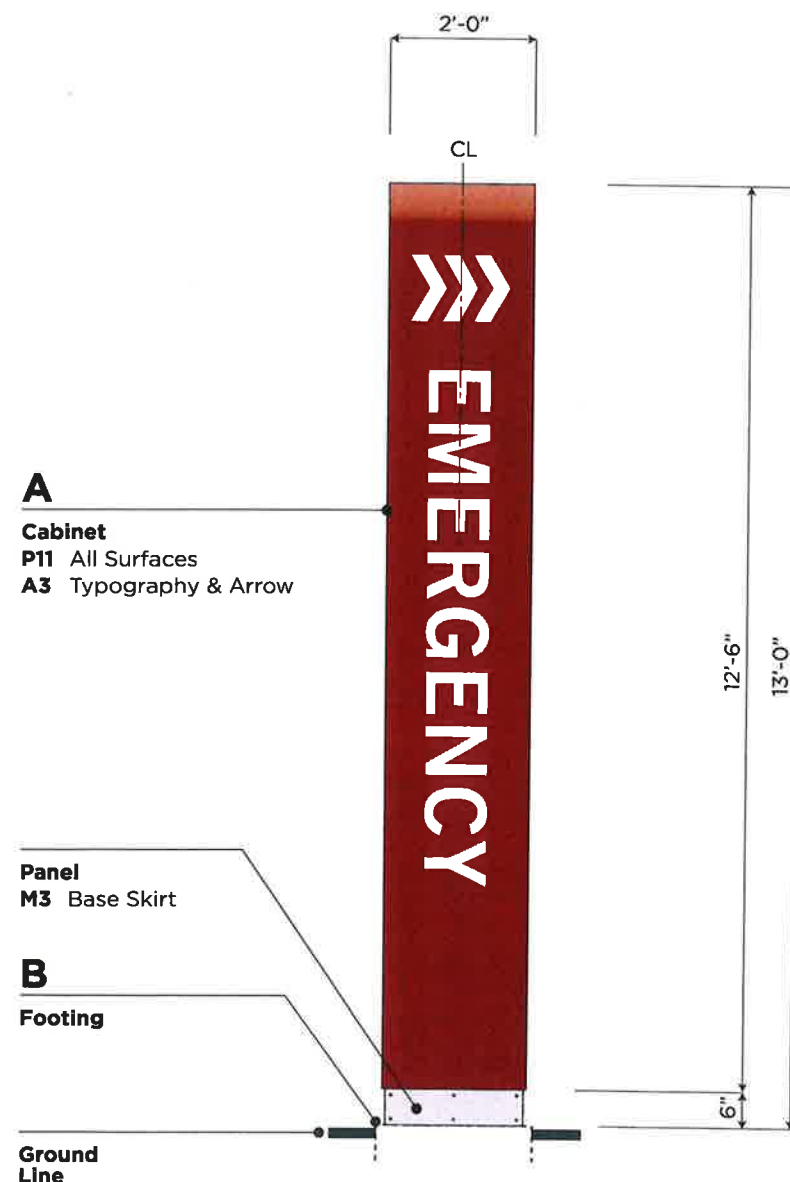
Mark	Description	Date



1909 Woodall Rodgers Fwy.  
Suite 415  
Dallas, TX 75201  
t: 214.661.6976

JOB NO. 10003.050

**Salem Hospital**  
890 Oak Street, SE  
Salem, Oregon 97301



**A**  
**Cabinet**  
P11 All Surfaces  
A3 Typography & Arrow

**Panel**  
M3 Base Skirt

**B**  
**Footing**

Ground Line

1 **Front Elevation**  
Scale: 3/8" = 1'-0"



2 **Side Elevation**  
Scale: 3/8" = 1'-0"

**E10** Emergency Pylon - Small

SHEET

ISSUED: 03.07.2022

**G3.E10a**

# Sign 5

## SALEM HOSPITAL BUILDING A EXPANSION

### EXTERIOR GRAPHIC ELEMENTS

Dimensions & shapes of all elements as shown on G3.E10b.

**A Cabinet:** Unless noted otherwise, all materials, surfaces, dimensions and colors are to match existing Salem Hospital exterior sign standards. Sign Contractor is responsible for field verifying existing sign conditions.

Cabinet Faces at EMERGENCY and Arrows to be stencil-cut with push thru projection white acrylic letters. Acrylic letters of 1" thickness with lip milled from single sheet, no glue, concealed mechanical attachment to reverse face. Letters to have diffuser film applied and trimmed flush at reverse.

Upper Typography: Trade Gothic LT Bold, 13" cap height (Based on "E"), Kerned Optically (+40%).

Upper Arrows: 21" width by 14" height.

Lower Typography: Trade Gothic LT Bold, 3" cap height (Based on "E"), Kerned Optically (+20%).

Lower Arrows: 7.5" width by 5" height.

**Illumination:** Internal illumination configured to provide a bright even illumination across all graphic elements. Provide photo cell control at sign location concealed from view. Provide all hardware required for successful installation & make all final electrical hook-ups from general contractor supplied primary. Sign Contractor is responsible for field verifying existing sign illumination methods and conditions.

**B Footing:** Single unit below grade concrete and rebar footing of size and configuration required to support sign assembly. Sign Contractor is responsible for engineering and coordinating installation of appropriate footings.

**Installation:** Concealed attachment between sign cabinet and footing. Sign Contractor is responsible for verifying all as-built conditions in the field that may impact installation and maintenance of this sign, prior to fabrication.

**Engineering:** Structural Engineering is required. Provide sealed structural engineering

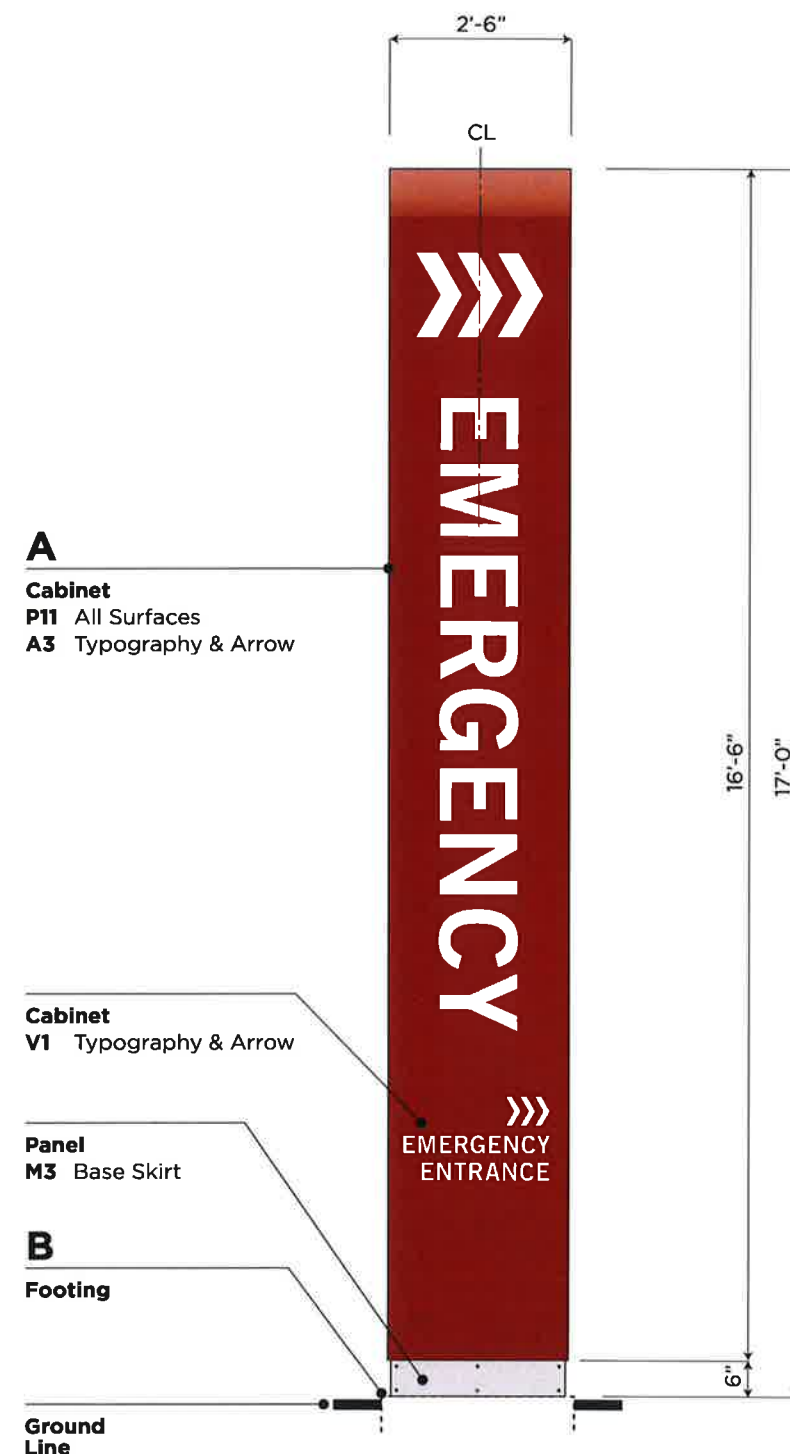
Mark	Description	Date



1909 Woodall Rodgers Fwy.  
Suite 415  
Dallas, TX 75201  
t: 214.661.6976

JOB NO. 10003.050

**Salem Hospital**  
890 Oak Street, SE  
Salem, Oregon 97301



1 Front Elevation  
Scale: 3/8" = 1'-0"



2 Side Elevation  
Scale: 3/8" = 1'-0"

**E10** Emergency Pylon - Large

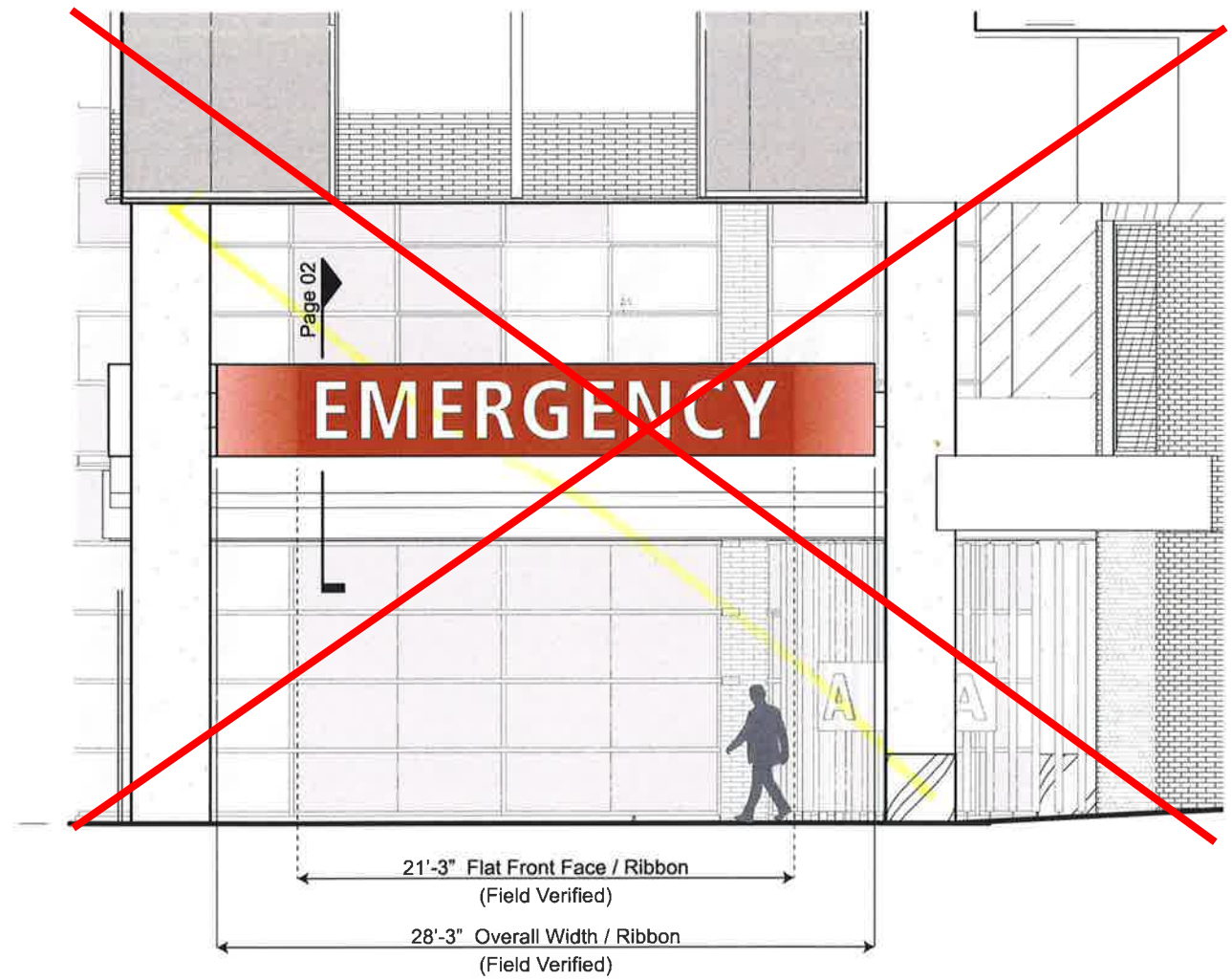
SHEET

ISSUED: 03.07.2022

**G3.E10b**

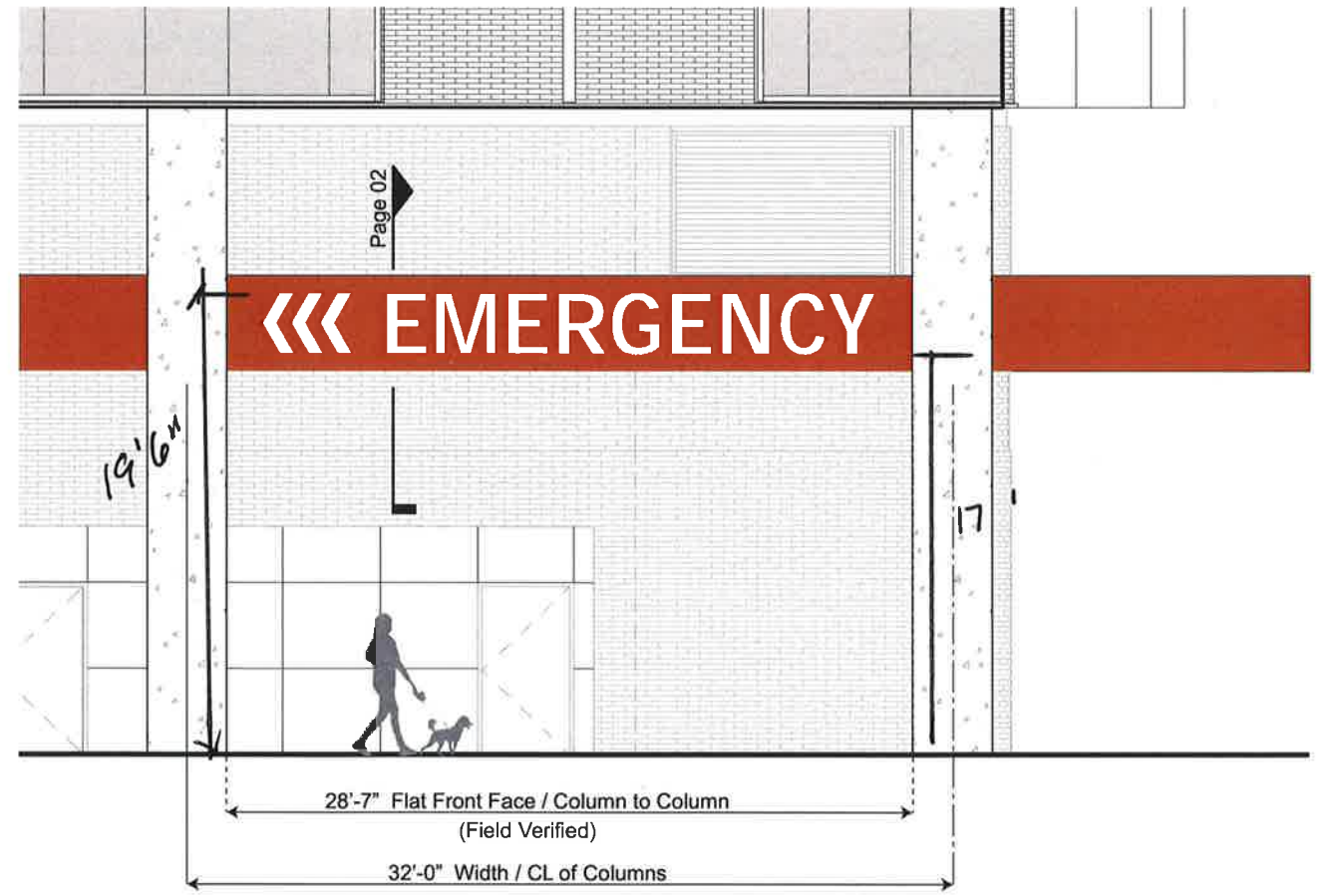
# Sign 9

## RIBBON SIGNAGE at EMERGENCY DRIVE EMERGENCY SIGNAGE



1 LOCATION 1 - EAST ELEVATION AT EMERGENCY DRIVE LANE ENTRANCE  
1/8" = 1'-0"

**REFERENCE DETAILED LAYOUT ON PAGE 03**

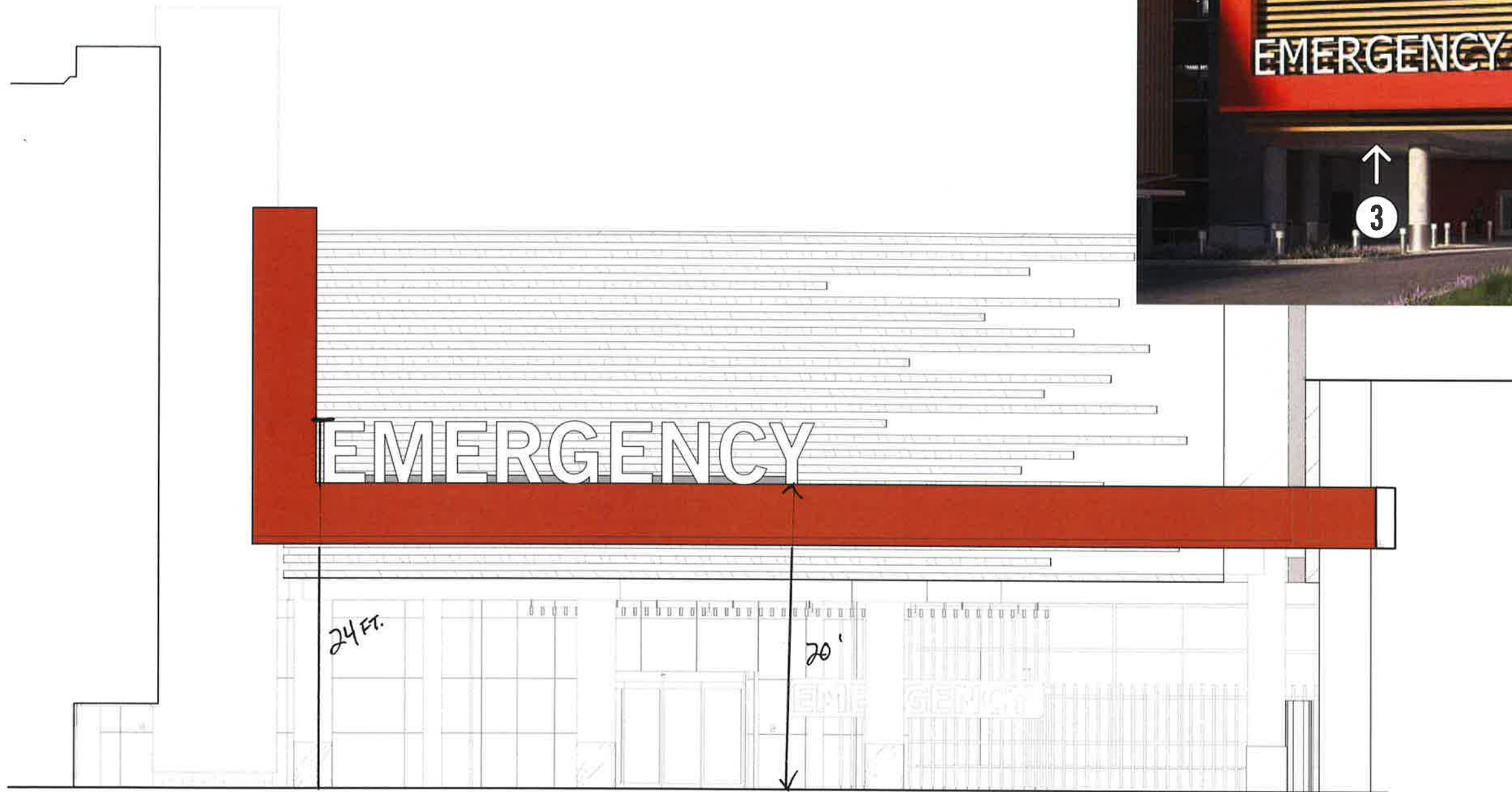


2 LOCATION 2 - SOUTH ELEVATION AT EMERGENCY DRIVE LANE  
1/8" = 1'-0"

**REFERENCE DETAILED LAYOUT ON PAGE 04**



# Sign 10



3 LOCATION 3 - EAST ELEVATION AT EMERGENCY ENTRANCE  
1/8" = 1'-0"

**REFERENCE DETAILED LAYOUT ON PAGE 03**

Sign 11



Mark	Description	Date



1909 Woodall Rodgers Fwy, Suite 415  
Dallas, TX 75201 t: 214.661.6976

JOB NO. 10003.050

**Salem Health**  
**Building A Expansion**  
890 Oak Street SE  
Salem, Oregon 97301

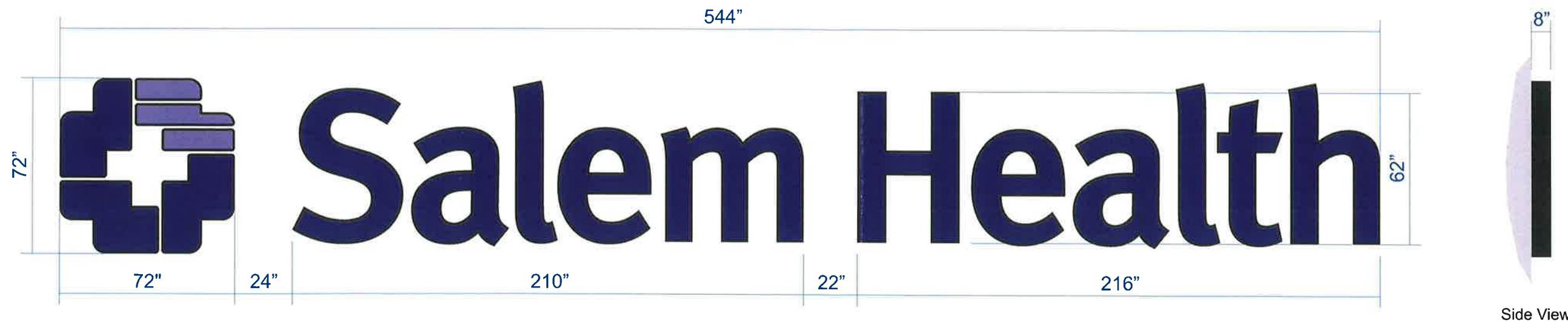
Design Intent Documents

SERIES

ISSUE FOR PRICING: 07.27.2021

**G3.00**

# Sign 11



**A** ILLUMINATED CHANNEL LETTERS 272 SF  
SCALE: 1/4" = 1' - 0"

**FURNISH AND INSTALL (1) SET OF ILLUMINATED CHANNEL LETTERS**

- 1 BACKS TO BE .125" ALUMINUM. RETURNS TO BE 8" DEEP AND CONSTRUCTED FROM .080 ALUMINUM. RETAINERS TO BE 1" WIDE AND CONSTRUCTED OF .125" ALUMINUM. ALL PAINTED P1 AS PER COLOR KEY.
- 2 FACES TO BE .177 WHITE POLYCARBONATE WITH PERFORATED VINYL GRAPHICS AS PER COLOR KEY.
- 3 ILLUMINATION TO BE 7100K LEDS WITH 60W POWER SUPPLY AND PHOTOCCELL CONTROL (CONCEALED FROM CASUAL VIEWERS) ON LOCATION.
- 4 WEEP HOLES TO BE CONSTRUCTED IN SUCH A WAY AS TO MINIMIZE LIGHT LEAKS.
- 5 MOUNTED TO BUILDING WALL WITH APPROPRIATE FASTENERS.

**VINYL COLOR KEY**

- PRINT TO MATCH 3M #7725-38 ROYAL PURPLE
- PRINT TO MATCH PMS #2095 C

**PAINT COLOR KEY**

- MP18249 DARK PEWTER METALLIC



**PROPOSED CONDITIONS**

Name Salem Health.cdr	Located *	Initial upon agreement	Date
Design 21-SH113	Designer Greg Bohanan	Client	
Date 11.3.21	VSG Rep Dick Miller	Landlord	

**Survey by:**

Initials
Date



Office: 3800 Fruit Valley Road, Suite B  
Vancouver, WA 98660  
Mailing: P.O. Box 5828  
Vancouver, WA 98660  
P: 360.693.4773 F: 360.693.2747

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**AFFILIATIONS:**

## Salem Health Hospital Sign Variance: Sign 1

Type III Review

---

**Owner:** Salem Health  
890 Oak Street SE  
Salem, OR 97301

**Architect:** Scott Edwards Architecture  
2525 E Burnside St.  
Portland, OR 97214

Alden Kasiewicz  
[alden@seallp.com](mailto:alden@seallp.com)  
(503)226-3617

**Planner:** Harper Houf Peterson Righellis, Inc.  
205 SE Spokane Street, Suite 200  
Portland, OR 97202

Brad Kilby, AICP  
[brack@hhpr.com](mailto:brack@hhpr.com)  
(503)221-1131

**Site Location:** 890 Oak Street SE (Salem Hospital Campus)

**Tax Lot:** 073W27DB Tax Lot 00100

**Project Size:** 13.10 Acres

**Zone:** Public and Private Education (PE)

**Summary of Request:** The owner, Salem Health, is seeking a variance to allow for a freestanding sign to exceed the height and display area of section 900.215(C)(1)(B). The proposed sign would be 28 square feet and 6 feet 5 inches tall, larger than the standard display area and height allowed. The hospital already has a freestanding sign that utilizes the height exemption of this section.

**Date:** November 29, 2021



# Table of Contents

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I.	SUMMARY OF PROPOSAL AND REQUEST .....	3
	Existing Conditions.....	3
	Proposal .....	4
II.	RESPONSES TO APPLICABLE CODE SECTIONS.....	6
	Chapter 900: Sign Code.....	6
III.	CONCLUSION .....	177



# I. SUMMARY OF PROPOSAL AND REQUEST

## Existing Conditions

Salem Health is the owner of the property and operates the Salem Hospital on the subject site. The hospital is in a campus setting, just south of downtown Salem and serves as the primary health care provider for Oregon’s Mid-Willamette Valley. The hospital is one of Oregon’s largest acute care hospitals and operates one of the busiest emergency departments on the West Coast. As one of Salem’s largest employers, the hospital employs over 5,200 employees and has approximately 770 medical providers on staff. The hospital campus is generally divided into an east and west campus with Winter Street SE serving as the dividing line as illustrated in the vicinity map shown below. The topography is generally flat with slopes ranging between 3-5%. The campus is generally bound on the south by Mission Street SE, on the east by 12<sup>th</sup> Street SE, on the north by Bellevue Street SE and the Shelton Ditch, and on the west by Church Street SE and Pringle City Park. A tributary of Pringle Creek goes through the middle of the campus in an SE/NW direction. Many of the internal streets are private with public access easements overlaid.

Vicinity Map



## Proposed sign Location

This is the general proposed location of the sign. This is looking east as you approach the light at Winter Street SE. There are no visible signs indicating that you are coming up to the hospital campus.

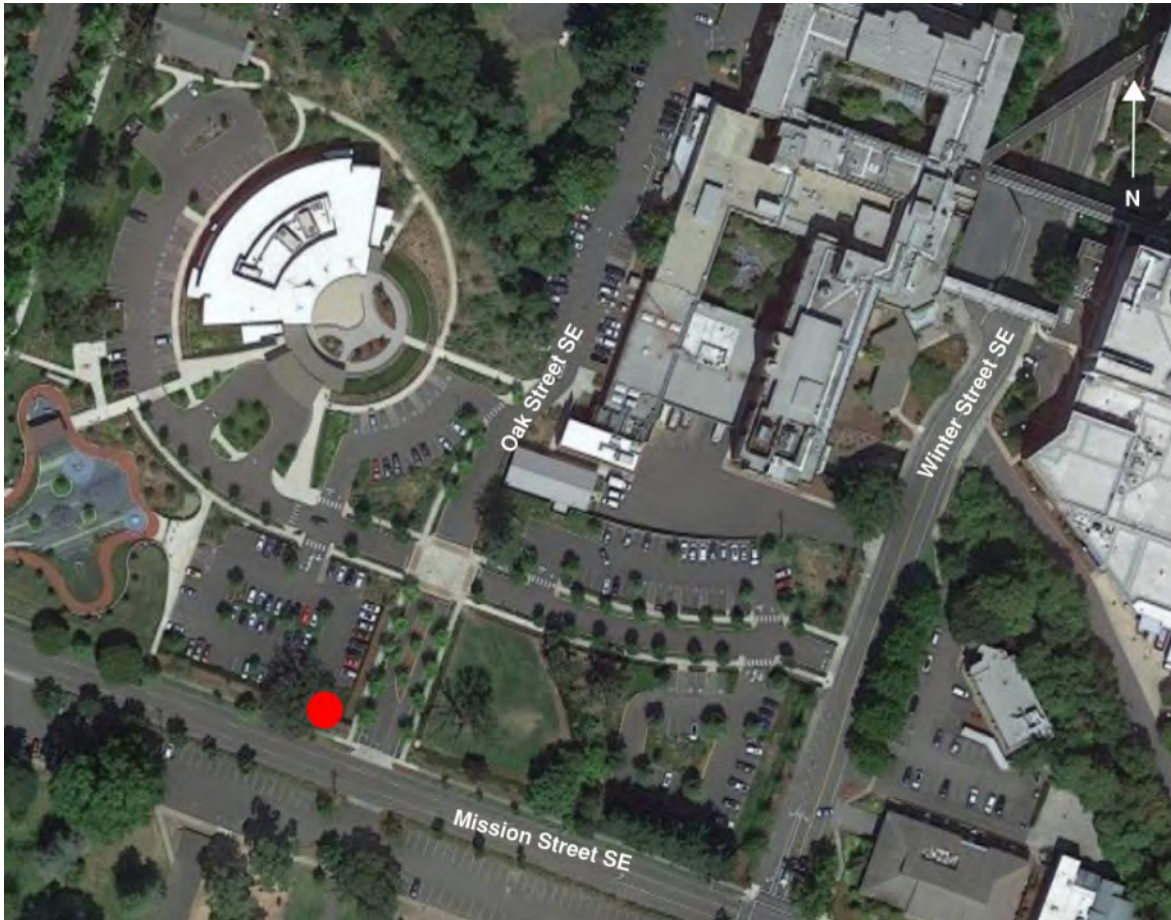


## Proposal

Salem Health proposes to construct a freestanding sign that is approximately 28.38 square feet of display area on a sign that is 6.5 feet in height on Mission Street SE near the intersection with Winter Street SE. The applicant is requesting a variance to Standard 900.215(b)(1)(B) of the Salem Sign Code to allow for this freestanding sign to be larger than the standard display area of 24 square feet and the standard height of 5 feet. The approximate location of Sign 1 is shown below with a red circle.



Location Map





## II. RESPONSES TO APPLICABLE CODE SECTIONS

---

**Note:** Responses to all applicable sections of the Salem Revised Code are included below. Sections that are not applicable or do not require a response may be omitted from the narrative text.

### Chapter 900: Sign Code

#### Section 900.020: Prohibited Signs

*The following signs are prohibited:*

- a) Any sign which creates a public nuisance due to statements, words, or pictures of an obscene or pornographic character.*
- b) Any sign which violates ORS ch. 377.*
- c) Any sign which is placed on, affixed to, or painted on a motor vehicle, vehicle, or trailer and placed on public or private property with the primary purpose of providing a sign not otherwise permitted by this chapter.*
- d) Any sign located in a manner which could impede traffic on any street, alley, bikeway, or other vehicular way.*
- e) Any sign constructed in such a manner or at such a location that it will obstruct access to any fire escape or other means of ingress or egress from a building. No sign structure, or part thereof, shall cover, wholly or partially, any window or doorway in a manner that will substantially limit access to the building in case of fire.*
- f) Any sign constructed or maintained which, by reason of its size, location, movement, coloring, or manner of illumination may be confused with or construed as an official traffic control device or which hides any official traffic control device from view.(g)Any sign, other than an official traffic control device, located within a vision clearance area.(h)Any sign that employs a structure, material, illumination, size, or placement not specifically allowed under this chapter, unless the sign is a lawfully established nonconforming sign.*

**Response:** The applicant is not proposing any of the signs prohibited above. For reference, the sign does not display any prohibited content; does not affect any state highway (ORS 377); is not proposed to be fixed to any motor vehicle, vehicle, or trailer; would not be located within a vision clearance area or within an area that would impede traffic; is not in a location that would impact emergency access; and does not appear similar to any official traffic control device.

#### Section 900.025: Sign Permits

- a) Applicability. Except as otherwise provided in this chapter, a permit is required for the construction, erection, enlargement, alteration, or relocation of any sign.*



- b) *Procedure type. An application for a sign permit is a Type I procedure under SRC chapter 300.*
- c) *Additional submittal requirements. In addition to the submittal requirements under SRC chapter 300, an application for a sign permit shall contain:*
  - 1) *The location of the sign by street and number.*
  - 2) *The name and address of the sign owner and of the sign erector.*
  - 3) *Two complete sets of plans for the sign, in a graphic form, detailed and clear enough to show compliance with this chapter. At a minimum, the plans shall include:*
    - A. *A detailed drawing of the sign, drawn to scale.*
    - B. *Site plan drawn to scale, including location of all existing signs on the property and their sizes.*
    - C. *Elevations of the building or structure with signs.*
    - D. *Identification of materials and type of sign.*
    - E. *A statement whether the sign is located on property owned or leased by the person constructing, erecting, or using the sign.*
- d) *Criteria. An application for a sign permit shall be granted if the following criteria are met:*
  - 1) *The sign meets the requirements of SRC chapter 56.*
  - 2) *The sign is allowed in the zone.*
  - 3) *The sign will not interfere with the use of any public right-of-way, other public easements, or other publicly owned property.*
  - 4) *The sign conforms to all the applicable standards in this chapter.*
- e) *Expiration. Sign permits shall be valid for 180 days after the date of issuance. The Director may grant a one-time extension for a sign permit, not to exceed 90 days, upon showing that there was reasonable cause for the delay and that the construction, erection, alteration, or other work still complies with this chapter.*
- f) *Permit fees. The application for a sign permit shall be accompanied by a fee as prescribed by resolution of the council.*

**Response:** Freestanding signs are permitted under the provisions of Section 900.215(b)(1)(B), but a variance is requested to allow for a larger display area and height. If the variance is approved, the applicant and contractor will obtain the necessary sign permits as required.

Section 900.030: Exceptions from Permit Requirements

- a) *The following activities do not require a sign permit:*
  - 1) *Changing of copy on a sign specifically designed for the use of replaceable copy.*
  - 2) *Painting, repainting, cleaning, and normal maintenance and repair of a sign, where no substantial structural alteration is made.*
- b) *The following signs do not require a sign permit, but are otherwise regulated by this chapter:*
  - 1) *Temporary signs not located in the public right-of-way.*
  - 2) *Signs for dwelling units authorized under SRC 900.185(a).*
  - 3) *Vehicle directional signs.*
- c) *The following signs do not require a sign permit, and are allowed in addition to any other signs otherwise allowed by this chapter:*



- 1) *A warning sign that does not exceed four square feet in display surface and six feet in height, that is not located in a vision clearance area, and that is erected on private property to warn the public of a danger on, or prohibiting or limiting access to, the premises on which the sign is located.*
- 2) *Permanent building plaques, cornerstones, name plates, and similar building identifications.*
- 3) *House and building numbers where the numerals do not exceed six inches in height.*
- 4) *Historical markers erected or maintained by public authority or by a historical society or historical organization identifying sites, buildings, or structures of recognized historical value.*
- 5) *Non-illuminated signs not visible from a public sidewalk, street, highway, or alley.*
- 6) *Interior signs.*
  - A. *Non-illuminated interior signs in commercial and industrial zones, including, but not limited to, signs attached to or painted on the inside of a window.*
  - B. *Illuminated interior signs intended to be viewed from the public sidewalk, street, highway, alley, plaza, park, or other similar public place; provided, however, that the sign does not flash or employ an effect, and does not exceed eight square feet in display surface.*
  - C. *Illuminated interior signs not intended to be viewed from the public right-of-way*
- 7) *Directional signs that do not exceed eight square feet of display surface.*
- 8) *Directional signs in commercial and industrial zones that do not exceed 22 square feet of display surface, that designate an automobile service entrance onto the premises, and limited to one per business per premises.*
- 9) *Temporary signs authorized by a park use permit.*

**Response:** The sign is not exempt from any of the above permit requirements.

Section 900.040: Sign Variance

- a) *Applicability. Sign variances may be granted to the height and display surface standards, to increase the number of allowed signs, to allow relocation of a sign, and to allow structural alterations to a sign.*
  - 1) *Limitation. A sign variance shall not provide for any of the following:*
    - A. *To allow a sign prohibited by SRC 900.020, "Prohibited Signs."*
    - B. *To decrease a setback or a special setback.*
    - C. *To allow placement of a sign in a vision clearance area.*
    - D. *To allow structural alterations to a nonconforming or non-complying sign.*
    - E. *To authorize a sign not otherwise permitted on the property for which the variance is sought.*
    - F. *To allow any sign other than those specifically allowed by this chapter.*
    - G. *To modify the display and brightness regulations for electronic display sign established by SRC 900.090.*

**Responses:** This is a specific request to allow for a freestanding sign on Mission Street SE near the intersection with Winter Street SE that is larger than what is allowed under Standard 900.215(b)(1)(B). It is not a request to allow a prohibited sign, decrease a setback, allow placement within a vision clearance area, allow structural alteration to a non-conforming or non-complying sign, allow a sign that is not otherwise permitted on the property, to allow a sign that's not specifically allowed by the chapter, or to modify an electronic display sign.

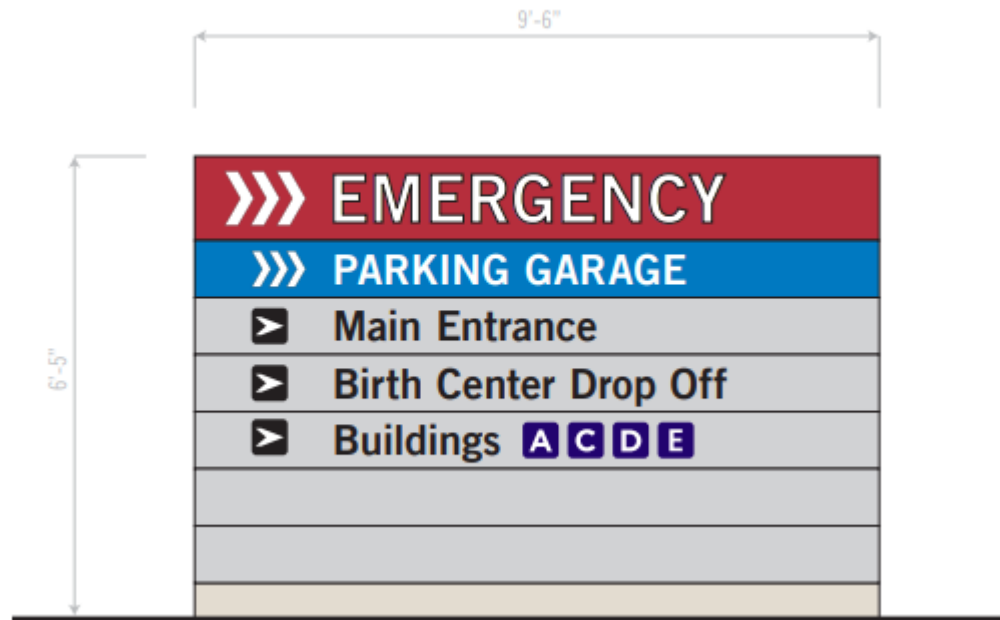


b) *Procedure Type. A sign variance is a Type III procedure under SRC chapter 300.*

**Response:** The applicant is aware of the procedure and will comply with the applicant's responsibilities through the Type III process.

c) *Submittal requirements. In addition to the submittal requirements for a sign permit required by SRC 900.025, an application for a sign permit that includes a variance shall contain a statement of the specific standard for which the variance is requested, and the amount or scope of the variance.*

**Response:** As mentioned, this is a request for a variance to Standard 900.215(b)(1)(B) to allow a freestanding sign located on Mission Street SE to be 6 feet 5 inches in height and approximately 28.38 square feet in area (greater than the standard of 5 feet in height and 24 square feet in area). Below is the approximate design of Sign 1.



d) *Criteria. An application for a sign variance shall be granted if all of the following criteria are met:*

- a) *Compliance with the applicable standard would create an unnecessary hardship due to unique or unusual physical conditions of the property over which the applicant has no control, such as topography and lot shape, which are not present on other properties in the vicinity that have the same zone designation; the hardship does not result from actions of the applicant, owner, or previous owners of the property; and the sign variance is limited to the minimum reasonably necessary to alleviate the problem created by the unique or unusual physical conditions;*



**Response:** The owner is seeking support of a wayfinding plan for the entire campus. This property is larger than most of the surrounding properties and located in a specific zone that is geared towards public health facilities. The property includes several large buildings, parking areas and departments throughout the entire campus. Salem Hospital is proposing a series of sign variances as part of a holistic wayfinding system that takes into consideration the state of mind of the visitor, site constraints, challenges, and the applicable sign code requirements. The signs proposed within the wayfinding plan are not located arbitrarily. Rather they are proposed in locations that are intended to eliminate confusion and promote clear and efficient movement throughout the campus for their patients. Specifically, Sign 1 will assist in wayfinding for pedestrians and vehicles to find the services and buildings they are searching for on the hospital campus. Mission Street SE is near the perimeter of the hospital campus and allowing a larger than standard sized sign will ensure easy and efficient wayfinding as visitors and patients enter the Salem Health Hospital campus and to services located off of Winter Street SE.

*b) The sign variance is necessary to permit signage comparable with other properties in the vicinity that have the same zone designation;*

**Response:** There are no comparable properties within the vicinity that have the same zone designation. Salem Hospital is located within the PH zone and sits within a large campus setting. Similarly situated properties within the area most likely experiencing the same challenges may include Willamette University or the Capitol Campus. In both instances, the likelihood that their visitors are experiencing medical distress and confusion as a result of those stresses affecting their ability to find a location on those campuses is likely to be lower and more than likely not a matter of life or death. The hospital is a facility that serves the region.

*c) The sign variance will not adversely affect the function or appearance of the development and use of the property and surrounding properties; and*

**Response:** The proposed sign variance would not affect the function or overall appearance of the development and use of the property and surrounding properties. A variety of specialized medical services are provided throughout the campus as it is a regional hospital, not everyone that visits the campus is familiar with the area making wayfinding that much more important. The majority of signage proposed within the wayfinding plan is interior to the campus affording visitors additional information about the location of the services they may be seeking. This specific sign will ensure that visitors and patients traveling onto the hospital campus will be able to find the buildings and services they are looking for safely and easily as they approach the campus from the west heading towards the intersection of Mission Street SE and Winter Street SE.

*d) The sign variance will not impose limitations on other properties and signage in the area, including signage that would be allowed on adjacent properties.*

**Response:** The proposed signage on this property provides messaging specific to the location of services for patients and visitors within the campus. There is no evidence to suggest that granting this variance would impose limitations on other properties or signage within the area.



- e) *Conditions of approval. The Review Authority may impose conditions on the approval of a sign variance necessary to establish compliance with the approval criteria.*

**Response:** The applicant is aware that specific conditions could be imposed upon the approval of the variance if it were to be approved.

- f) *Concurrent processing required. Applications for a sign variance shall be processed concurrently with the sign permit application.*

**Response:** Sign variances and applications for 11 signs are being requested concurrently with this request.

#### Section 900.060: Materials

- a) *Except as otherwise specified in this section, materials used for construction of signs shall be of the quality and grade specified for buildings and structures pursuant to SRC chapter 56.*
- b) *Except for lamps, tubes, bulbs, or neon tubing, no glass shall be used in the display surface of any sign.*
- c) *Roof signs, wall signs, projecting signs, and hanging signs shall be constructed of noncombustible materials, except for nonstructural trim, display surfaces, and cutouts which may be constructed of wood, metal, approved plastics, or any combination thereof.*
- d) *Except as provided in subsection (e) of this section, only metal and approved plastics shall be used in construction of electronic display signs, internally illuminated signs, and externally illuminated signs.*
- e) *Combustible materials for covering or ornamenting a sign structure may be used for electronic display signs, internally illuminated signs, and externally illuminated signs, provided that no load-bearing member of the sign structure is constructed of combustible materials and there is no substantial fire or electrical safety hazard.*
- f) *The sign structure of outdoor advertising signs shall be metal.*

**Response:** The project complies with this standard. The proposed materials for Sign 1 will be metal and the sign will be installed by professionals. This sign is not proposed to be illuminated.

#### Section 900.065: Sign Supports

*Unless approval to place a sign in right-of-way has been obtained from the applicable government agency, sign supports shall be located on private property.*

**Response:** The proposed sign will be located entirely upon private property. Please see the Campus Signage Site Plan for the proposed location. This sign is identified as Sign 1 on the site plan.

#### Section 900.070: Electronic Sign Construction

- a) *Electronic display signs externally illuminated signs, and internally illuminated signs shall be permanently and rigidly affixed to the sign structure or building.*
- b) *The bottom of electronic display signs externally illuminated signs, and internally illuminated signs and outline lighting enclosures shall not be less than 16 feet above areas accessible to vehicles; provided,*



however, the bottom of such signs and enclosures may be less than 16 feet above areas accessible to vehicles where such enclosures are protected from physical damage.

- c) *Electronic display signs externally illuminated signs, and internally illuminated signs shall have placed, within easy view, a laboratory label from an approved testing agency.*
- d) *Electronic display signs externally illuminated signs, and internally illuminated signs shall be serviced by underground utilities.*
- e) *Where underground electric service is provided by a utility company, outdoor advertising signs shall be serviced by underground utilities.*

**Response:** The proposed sign is not an electronic sign. These criteria are not applicable to this proposal.

Section 900.075: General Illumination Standards; Zone-Specific Standards

- a) *Except as otherwise provided in this section, permanent signs may be externally or internally illuminated.*
- b) *Temporary signs shall not be externally or internally illuminated.*
- c) *No sign shall use lights or illumination that creates an unduly distracting or hazardous condition to a motorist, a pedestrian, or the general public, or that may be confused with or construed as an official traffic control device.*
- d) *Wall signs, roof signs, and projecting signs placed on a building face that fronts a residential use may not be externally or internally illuminated.*
- e) *No reflective bulb, par spot, or incandescent lamp that exceeds 25 watts shall be exposed to direct view from a public street, but may be used for indirect illumination of a display surface.*
- f) *Neon tubing shall not exceed 300 milliamperes for white tubing or 100 milliamperes for colored tubing.*
- g) *Fluorescent tubes used for interior illumination of a sign shall be placed behind a plexiglass face and shall:*
  - 1) *In residential zones, not exceed illumination equivalent to 425 milliamperes, and be spaced at least seven inches apart, measured from center to center.*
  - 2) *In commercial, industrial, and public zones, not exceed illumination equivalent to 800 milliamperes and be spaced at least nine inches apart, measured center to center.*
- h) *The light source for an internally illuminated sign may be comprised of light emitting diodes, so long as the light emitting diodes are used for illumination only, do not create an electronic display or effect, and conform to the brightness limitations set forth in SRC 900.090.*
- i) *Zone-specific standards. Notwithstanding subsection (a) of this section, the following standards apply in the following zones:*
  - 5) *In the Public and Private Health Services (PH) Zone, only signs designating emergency entrances shall be illuminated.*

**Response:** The project complies with this standard. Sign 1 is a permanent freestanding sign that is proposed to be internally illuminated. Lighting from the sign will be internal and not include any exposed bulbs or lighting standard that would be expected to trespass off of the property.



Section 900.085: Effects

- a) *The use of effects is allowed only where flashing light is allowed, subject to the standards set forth in SRC 900.080 and in this section.*
- b) *No sign may use a speller effect, or effect in the form of a starburst, expanding starburst, expanding arrow, or extending arrow.*
- c) *Chaser effects.*
  - 1) *Each display surface may have only one chaser effect.*
  - 2) *Only one sign per building frontage may use a chaser effect. If building has frontage on two or more streets, the building may have a sign using a chaser effect on each frontage.*
  - 3) *No chaser effect is permitted to be on the same side of a sign as flashing light.*
  - 4) *No chaser effect shall exceed 20 percent of the illuminated display surface of the sign.*
  - 5) *No chaser effect shall produce an apparent motion in a single direction that exceeds ten feet per second plus an additional five feet per second for each ten-foot distance over 20 feet between the sign and the nearest adjacent street or highway right-of-way, up to a maximum of 50 feet per second.*
  - 6) *This subsection shall not apply to chaser effects on theater marquees.*

**Response:** No effects are proposed with this sign. These criteria are not applicable to the proposed sign.

Section 900.100: Signs Installed Over or Within the Right-of-Way

*No sign shall be erected over or within the public right-of-way unless the placement of the sign is first approved by the governmental unit having jurisdiction over the right-of-way.*

**Response:** The proposed sign will be located entirely within the boundaries of the property. This criterion is not applicable to the proposed sign.

Section 900.115: Sign Location for Safety

- a) *No sign shall be erected or maintained which, by reason of its size, location, or construction constitutes a hazard to the public.*
- b) *No sign shall obstruct any building opening such that light or ventilation is reduced below minimums required by the Salem Revised Code or any other applicable law.*
- c) *No sign shall be erected within five feet of an exterior wall in which there are openings that lie directly behind the display surface unless the sign conforms with the requirements specified by SRC chapter 56 and the sign is constructed of noncombustible materials or approved plastics.*
- d) *Any sign located on a sidewalk shall have a safety barrier of not less than 18 inches, measured from the bottom of the sidewalk surface, and constructed of solid and seamless materials.*
- e) *No sign shall be placed within a sidewalk intersection.*
- f) *Signs shall be located not less than ten feet horizontally and ten feet vertically from all overhead electrical conductors which are energized in excess of 750 volts.*

**Response:** Sign 1 is not proposed in a location that would constitute a hazard to the public. None of the other criterion listed in this section are applicable to the proposed sign.





Section 900.120: Sign Maintenance

- a) *All signs, together with the site and all components of the sign structure, shall be kept in good repair, free from deterioration, and in a neat, clean, attractive, and safe condition.*
- b) *No sign shall be located on a wall facing a side lot line if it is necessary to go onto the adjacent lot to install or service the sign, unless written consent of the adjacent property owner has been obtained prior to the issuance of the sign permit.*

**Response:** The signs will become part of the regular maintenance associated with the upkeep of the campus and campus facilities. These criteria are not applicable to the proposed sign.

Section 900.130: Freestanding Signs

- a) *Setbacks.*
  - 1) *Freestanding signs shall have a setback of not less than three feet from the street front property line, unless the property is subject to a special setback area and no authorization to place a freestanding sign in the special setback area has been given, in which case the freestanding sign shall be setback not less than three feet from the special setback area.*
  - 2) *Freestanding signs shall have a setback of not less than five feet from a side property line.*

**Response:** The project complies with this standard. Sign 1 will be located 3 feet from the front property line on Mission Street SE.

- b) *Structure.*
  - 1) *A freestanding sign shall be directly supported by poles or a foundation.*
  - 2) *No external cross braces, guy wires, "T" frames, "A" frames, "trusses," or similar bracing systems shall be used in constructing freestanding signs. Nothing in this subsection prohibits the use of standardized outdoor advertising structures and stringers customarily used for the support of sections of the display surface.*

**Response:** The project complies with this standard. The proposed sign will be a freestanding sign placed directly on a foundation. There will be no external braces supporting the sign.

- c) *Limit. A corner lot shall be limited to one freestanding sign.*

**Response:** Proposed Sign 1 is the only sign proposed on Mission Street SE at the intersection with Winter Street SE.

Section 900.135: Hanging Signs

- a) *Clearance. Hanging signs shall have a vertical clearance of seven feet, six inches between the bottom of the hanging sign and the grade below the sign.*
- b) *Structure. No supporting member of any hanging sign shall pierce or extend through the support structure.*
- c) *Size. The display surface of a hanging sign shall not exceed six square feet.*



**Response:** The proposed sign is not a hanging sign. These criteria are not applicable to this request.

Section 900.145: Roof Signs

- a) *Width. On buildings that are less than 50 feet wide, the width of a roof sign shall be no greater than 50 percent of the width of building. On buildings that are 50 feet wide or greater, the width of a roof sign shall be no greater than 25 feet or 25 percent of the width of the building, whichever is less.*
- b) *Height.*
  - 1) *Roof signs located on a flat roof shall not exceed the following heights:*
    - A. *Building height of 15 feet or less, six feet.*
    - B. *Building height of 15 to 20 feet, seven feet.*
    - C. *Building height greater than 20 feet, eight feet.*
  - 2) *The height of a roof sign located on a gable, hipped roof, or pitched roof that is less than eight feet in height shall be no greater than 50 percent of the vertical height of the roof. The height of roof signs located on a gable, hipped roof, or pitched roof that is eight feet in height or greater shall be no greater than four feet or 25 percent of the vertical height of the roof, whichever is larger. Vertical height shall be measured from the lower edge of the roof to the peak of the gable, hip, or pitch, vertically from, and not along the plane of, the gable, hip, or pitch.*
  - 3) *Roof signs located on a marquee or canopy shall not exceed a height of four feet above the roof of the marquee or canopy.*
- c) *Setbacks.*
  - 1) *A roof sign shall be setback a minimum of three feet from the front wall.*
  - 2) *A roof sign shall be setback a minimum of three feet from each end wall.*
- d) *Clearance.*
  - 1) *A roof sign shall have a minimum clearance of three feet between the bottom of the roof sign and the top of a parallel parapet.*
  - 2) *When a roof sign is placed on the peak of a roof, the roof sign shall have a minimum clearance of 1½ feet between the bottom of the sign and the roof.*
- e) *Structure. Except for vertical poles, the supporting structure of a roof sign shall be completely enclosed.*

**Response:** The proposed sign is not a roof sign. These criteria are not applicable to this request.

Section 900.150: Wall Signs

- a) *Wall signs on building walls. Wall signs placed on a wall of a building shall conform to this subsection.*
  - 1) *Height*
    - A. *Wall signs may project above the higher of the eave line, roof line, or top of the parapet a distance equal to one-third of the height of the sign or three feet, whichever is less.*
    - B. *Wall signs that do not extend the full length of the wall may project above the eave line, roof line, or top of the parapet one-third of the height of a building if the building is less than 15 feet in height, or six feet if the building is over 15 feet in height.*
    - C. *The height of a wall sign that extends the full length of the wall shall not exceed four feet, measured from the roof line directly behind the wall to the top of the wall.*
    - D. *Wall signs attached to a marquee shall not exceed 30 inches in height.*



2) *Structure*

- A. *The supporting structure for any wall sign shall be completely enclosed so as not to be visible from any public street, alley, or adjacent property.*
- B. *No external braces, guy wires, "A" frames, or similar bracing system shall be used in constructing a wall sign.*
- C. *Wall signs may be installed on mansard roofs of 30 degrees or less, if they are installed vertically, and if the supporting structure is completely enclosed so as not to be visible from any public street, alley, or adjacent property.*

3) *Clearance*

- A. *The bottom of a wall sign that projects from a wall and is located on an alley shall have a clearance of not less than 14 feet from grade and shall have a maximum projection from the wall to which it is attached of not more than 12 inches.*
- B. *The lower edge of a wall sign attached to a marquee shall not extend below the marquee.*

**Response:** The proposed sign is not a wall sign. Therefore, this section does not apply to this application.

Section 900.215: Permanent Signs in Public Zones

b) *Signs permitted in Public and Private Education (PE) Zones*

1) *The following signs are permitted in PE zones:*

- A. *Wall signs. One wall sign for each building frontage, which shall be limited to the greater of 32 square feet or two percent of the gross face area of the building frontage on which it is located.*

**Response:** The proposed sign is not a wall sign. Therefore, the above criterion does not apply.

- B. *Freestanding signs. One freestanding sign for each building frontage, which shall be limited to five feet in height and 24 square feet in total display surface; provided, however, that one such sign may be 16 feet in height and 32 square feet in total display surface. Such signs shall be set back at least three feet from a street front property line or the special setback area established by the Salem Zoning Ordinance, whichever is greater, provided further that, where adjacent property is zoned residential or commercial office, signs shall be set back at least 20 feet from the side lot line abutting a CO or residential zone.*

**Response:** This freestanding sign is proposed to be approximately 6 feet 5 inches in height and contain 28.38 square feet of display area, exceeding the dimensional requirements in Standard (B) above. There is an existing sign on the property already utilizing the larger height and display area provided above. Therefore, a variance is requested to allow the proposed sign to be slightly higher and larger than the standard 24 square feet in size. Please see details to the variance in Section 900.040 of this narrative.



- C. *Vehicle directional signs. One vehicle directional sign located at each motor vehicle entrance to or exit from the property. A wall sign shall be limited to a display surface not exceeding four square feet. A freestanding sign shall be limited to a display surface not exceeding eight square feet and to a height not exceeding 30 inches.*
- D. *Electronic display signs. Electronic display signs no larger than 800 square feet shall be permitted in the PH zone within stadiums, athletic fields, and other outdoor assembly facilities, where they are intended primarily for viewing by persons within the facility, are oriented toward the interior of the facility and viewing stands and are used only during events where the public attends as spectators. Notwithstanding any other provision of this chapter, signs allowed by this subsection may employ dissolve, fade, scrolling, static display, travel, and video display. Signs allowed by this subsection shall not be subject to the electronic sign display surface standards set forth in SRC 900.090(c).*

**Response:** The proposed sign is not considered an electronic display sign or vehicle directional sign. Therefore, the standards do not apply to this application.

- E. *Externally illuminated and internally illuminated signs. No flashing illumination shall be permitted.*

**Response:** The sign is not proposed to be illuminated. Therefore, this criterion does not apply.

### III. CONCLUSION

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This summary of request and supplemental attachments demonstrates that Sign 1 is in compliance with applicable approval criteria and code standards of Type III Sign Variance. The applicant respectfully requests that the City of Salem approve the land use application.



# Salem Health Hospital Sign Variance: Sign 2

Type III Review

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**Owner:** Salem Health  
890 Oak Street SE  
Salem, OR 97301

**Architect:** Scott Edwards Architecture  
2525 E Burnside St.  
Portland, OR 97214

Alden Kasiewicz  
[alden@seallp.com](mailto:alden@seallp.com)  
(503)226-3617

**Planner:** Harper Houf Peterson Righellis, Inc.  
205 SE Spokane Street, Suite 200  
Portland, OR 97202

Brad Kilby, AICP  
[brack@hhpr.com](mailto:brack@hhpr.com)  
(503)221-1131

**Site Location:** 890 Oak Street SE (Salem Health Campus)

**Tax Lot:** 073W27DB Tax Lot 00100

**Project Size:** 13.1 acres

**Zone:** Public and Private Education (PE)

**Summary of Request:** The owner, Salem Health, is seeking a variance to allow for a freestanding directional pylon sign to exceed the quantity and height of section 900.215(C)(1)(B). The proposed display area would be 12.44 square feet and 13 feet tall. The hospital already has a freestanding sign that utilizes the height exemption of this section.

**Date:** November 29, 2021



# Table of Contents

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I.	SUMMARY OF PROPOSAL AND REQUEST .....	3
	Existing Conditions.....	3
	Proposal .....	4
II.	RESPONSES TO APPLICABLE CODE SECTIONS.....	5
	Chapter 900: Sign Code.....	5
III.	CONCLUSION .....	17



# I. SUMMARY OF PROPOSAL AND REQUEST

## Existing Conditions

Salem Health is the owner of the property and operates the Salem Hospital on the subject site. The hospital is in a campus setting, just south of downtown Salem and serves as the primary health care provider for Oregon’s Mid-Willamette Valley. The hospital is one of Oregon’s largest acute care hospitals and operates one of the busiest emergency departments on the West Coast. As one of Salem’s largest employers, the hospital employs over 5,200 employees and has approximately 770 medical providers on staff. The hospital campus is generally divided into an east and west campus with Winter Street SE serving as the dividing line as illustrated in the vicinity map shown below. The topography is generally flat with slopes ranging between 3-5%. The campus is generally bound on the south by Mission Street SE, on the east by 12<sup>th</sup> Street SE, on the north by Bellevue Street SE and the Shelton Ditch, and on the west by Church Street SE and Pringle City Park. A tributary of Pringle Creek goes through the middle of the campus in an SE/NW direction. Many of the internal streets are private with public access easements overlaid.

Vicinity Map



### Proposed Sign Location

The proposed directional pylon would be located at the NW corner of the intersection of SE Winter Street and SE Mission Street as shown in the image below.



### Proposal

Salem Health proposes to construct a freestanding sign that is approximately 13 feet in height and contains 12.44 square feet of display area near the intersection of Winter Street SE and Mission Street SE. The applicant is requesting a variance to Standard 900.215(b)(1)(B) of the Salem Sign Code to allow for this additional sign to be constructed and to exceed the standard height of 5 feet in height. The approximate location of Sign 2 is shown below with a red circle.





## Location Map



## II. RESPONSES TO APPLICABLE CODE SECTIONS

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**Note:** Responses to all applicable sections of the Salem Revised Code are included below. Sections that are not applicable or do not require a response may be omitted from the narrative text.

### Chapter 900: Sign Code

#### Section 900.020: Prohibited Signs

*The following signs are prohibited:*

- a) *Any sign which creates a public nuisance due to statements, words, or pictures of an obscene or pornographic character.*
- b) *Any sign which violates ORS ch. 377.*
- c) *Any sign which is placed on, affixed to, or painted on a motor vehicle, vehicle, or trailer and placed on public or private property with the primary purpose of providing a sign not otherwise permitted by this chapter.*



- d) *Any sign located in a manner which could impede traffic on any street, alley, bikeway, or other vehicular way.*
- e) *Any sign constructed in such a manner or at such a location that it will obstruct access to any fire escape or other means of ingress or egress from a building. No sign structure, or part thereof, shall cover, wholly or partially, any window or doorway in a manner that will substantially limit access to the building in case of fire.*
- f) *Any sign constructed or maintained which, by reason of its size, location, movement, coloring, or manner of illumination may be confused with or construed as an official traffic control device or which hides any official traffic control device from view.*(g)*Any sign, other than an official traffic control device, located within a vision clearance area.*(h)*Any sign that employs a structure, material, illumination, size, or placement not specifically allowed under this chapter, unless the sign is a lawfully established nonconforming sign.*

**Response:** The applicant is not proposing any of the signs prohibited above. For reference, the sign does not display any prohibited content; does not affect any state highway (ORS 377); is not proposed to be fixed to any motor vehicle, vehicle, or trailer; would not be located within a vision clearance area or within an area that would impede traffic; is not in a location that would impact emergency access; and does not appear similar to any official traffic control device.

Section 900.025: Sign Permits

- a) *Applicability. Except as otherwise provided in this chapter, a permit is required for the construction, erection, enlargement, alteration, or relocation of any sign.*
- b) *Procedure type. An application for a sign permit is a Type I procedure under SRC chapter 300.*
- c) *Additional submittal requirements. In addition to the submittal requirements under SRC chapter 300, an application for a sign permit shall contain:*
  - 1) *The location of the sign by street and number.*
  - 2) *The name and address of the sign owner and of the sign erector.*
  - 3) *Two complete sets of plans for the sign, in a graphic form, detailed and clear enough to show compliance with this chapter. At a minimum, the plans shall include:*
    - A. *A detailed drawing of the sign, drawn to scale.*
    - B. *Site plan drawn to scale, including location of all existing signs on the property and their sizes.*
    - C. *Elevations of the building or structure with signs.*
    - D. *Identification of materials and type of sign.*
    - E. *A statement whether the sign is located on property owned or leased by the person constructing, erecting, or using the sign.*
- d) *Criteria. An application for a sign permit shall be granted if the following criteria are met:*
  - 1) *The sign meets the requirements of SRC chapter 56.*
  - 2) *The sign is allowed in the zone.*
  - 3) *The sign will not interfere with the use of any public right-of-way, other public easements, or other publicly owned property.*
  - 4) *The sign conforms to all the applicable standards in this chapter.*



- e) *Expiration. Sign permits shall be valid for 180 days after the date of issuance. The Director may grant a one-time extension for a sign permit, not to exceed 90 days, upon showing that there was reasonable cause for the delay and that the construction, erection, alteration, or other work still complies with this chapter.*
- f) *Permit fees. The application for a sign permit shall be accompanied by a fee as prescribed by resolution of the council.*

**Response:** The applicant is requesting a variance to Section 900.215(b)(1)(B) to allow for an additional freestanding sign on the property and to allow for the sign to be greater in height than the 5 foot standard. If the variance is approved, the applicant and contractor will obtain the necessary sign permits as required.

Section 900.030: Exceptions from Permit Requirements

- a) *The following activities do not require a sign permit:*
  - 1) *Changing of copy on a sign specifically designed for the use of replaceable copy.*
  - 2) *Painting, repainting, cleaning, and normal maintenance and repair of a sign, where no substantial structural alteration is made.*
- b) *The following signs do not require a sign permit, but are otherwise regulated by this chapter:*
  - 1) *Temporary signs not located in the public right-of-way.*
  - 2) *Signs for dwelling units authorized under SRC 900.185(a).*
  - 3) *Vehicle directional signs.*
- c) *The following signs do not require a sign permit, and are allowed in addition to any other signs otherwise allowed by this chapter:*
  - 1) *A warning sign that does not exceed four square feet in display surface and six feet in height, that is not located in a vision clearance area, and that is erected on private property to warn the public of a danger on, or prohibiting or limiting access to, the premises on which the sign is located.*
  - 2) *Permanent building plaques, cornerstones, name plates, and similar building identifications.*
  - 3) *House and building numbers where the numerals do not exceed six inches in height.*
  - 4) *Historical markers erected or maintained by public authority or by a historical society or historical organization identifying sites, buildings, or structures of recognized historical value.*
  - 5) *Non-illuminated signs not visible from a public sidewalk, street, highway, or alley.*
  - 6) *Interior signs.*
    - A. *Non-illuminated interior signs in commercial and industrial zones, including, but not limited to, signs attached to or painted on the inside of a window.*
    - B. *Illuminated interior signs intended to be viewed from the public sidewalk, street, highway, alley, plaza, park, or other similar public place; provided, however, that the sign does not flash or employ an effect, and does not exceed eight square feet in display surface.*
    - C. *Illuminated interior signs not intended to be viewed from the public right-of-way*
  - 7) *Directional signs that do not exceed eight square feet of display surface.*



- 8) *Directional signs in commercial and industrial zones that do not exceed 22 square feet of display surface, that designate an automobile service entrance onto the premises, and limited to one per business per premises.*
- 9) *Temporary signs authorized by a park use permit.*

**Response:** The sign is not exempt from any of the above permit requirements.

Section 900.040: Sign Variance

- a) *Applicability. Sign variances may be granted to the height and display surface standards, to increase the number of allowed signs, to allow relocation of a sign, and to allow structural alterations to a sign.*
  - 1) *Limitation. A sign variance shall not provide for any of the following:*
    - A. *To allow a sign prohibited by SRC 900.020, "Prohibited Signs."*
    - B. *To decrease a setback or a special setback.*
    - C. *To allow placement of a sign in a vision clearance area.*
    - D. *To allow structural alterations to a nonconforming or non-complying sign.*
    - E. *To authorize a sign not otherwise permitted on the property for which the variance is sought.*
    - F. *To allow any sign other than those specifically allowed by this chapter.*
    - G. *To modify the display and brightness regulations for electronic display sign established by SRC 900.090.*

**Responses:** This is a specific request to allow for an additional freestanding directional pylon sign on Winter Street SE near the intersection with Mission Street SE that is larger than allowed under Standard 900.215(b)(1)(B). It is not a request to allow a prohibited sign, decrease a setback, allow placement within a vision clearance area, allow structural alteration to a non-conforming or non-complying sign, allow a sign that is not otherwise permitted on the property, to allow a sign that's not specifically allowed by the chapter, or to modify an electronic display sign.

- b) *Procedure Type. A sign variance is a Type III procedure under SRC chapter 300.*

**Response:** The applicant is aware of the procedure and will comply with the applicant's responsibilities through the Type III process.

- c) *Submittal requirements. In addition to the submittal requirements for a sign permit required by SRC 900.025, an application for a sign permit that includes a variance shall contain a statement of the specific standard for which the variance is requested, and the amount or scope of the variance.*

**Response:** As mentioned, this is a request for a variance to Standard 900.215(c)(1)(B) to allow a freestanding sign located on Winter Street SE to 13 feet in height (greater than the standard of 5 feet in height). Additionally, there are a total of four existing and proposed freestanding signs on Winter Street SE, so a variance is also requested to the quantity allowed under Standard 900.215(c)(1)(B). Below is the approximate design and location of Sign 2.





- d) *Criteria. An application for a sign variance shall be granted if all of the following criteria are met:*
- a) *Compliance with the applicable standard would create an unnecessary hardship due to unique or unusual physical conditions of the property over which the applicant has no control, such as topography and lot shape, which are not present on other properties in the vicinity that have the same zone designation; the hardship does not result from actions of the applicant, owner, or previous owners of the property; and the sign variance is limited to the minimum reasonably necessary to alleviate the problem created by the unique or unusual physical conditions;*

**Response:** The owner is seeking support of a wayfinding plan for the entire campus. This property is larger than most of the surrounding properties and located in a specific zone that is geared towards public health facilities. The property includes several large buildings, parking areas and departments throughout the entire campus. Salem Hospital is proposing a series of sign variances as part of a holistic wayfinding system that takes into consideration the state of mind of the visitor, site constraints, challenges, and the applicable sign code requirements. The signs proposed within the wayfinding plan are not located arbitrarily. Rather they are proposed in locations that are intended to eliminate confusion and promote clear and efficient movement throughout the campus for their patients. Specifically, Sign 2 will assist in wayfinding for pedestrians and vehicles to find the emergency department on the hospital campus. Winter Street SE is an entrance street into the hospital campus from the south and allowing for an additional sign on the building frontage that is taller



than the standard 5 feet will ensure easy and efficient wayfinding as visitors and patients navigate to the emergency room located off of Capitol Street SE which is approximately 300 feet further east than this location.

- b) The sign variance is necessary to permit signage comparable with other properties in the vicinity that have the same zone designation;*

**Response:** There are no comparable properties within the vicinity that have the same zone designation. Salem Hospital is located within the PH zone and sits within a large campus setting. Similarly situated properties within the area most likely experiencing the same challenges may include Willamette University or the Capitol Campus. In both instances, the likelihood that their visitors are experiencing medical distress and confusion as a result of those stresses affecting their ability to find a location on those campuses is likely to be lower and more than likely not a matter of life or death.

- c) The sign variance will not adversely affect the function or appearance of the development and use of the property and surrounding properties; and*

**Response:** The proposed sign variance would not affect the function or overall appearance of the development and use of the property and surrounding properties. A variety of specialized medical services are provided throughout the campus as it is a regional hospital, not everyone that visits the campus is familiar with the area making wayfinding that much more important. The majority of signage proposed within the wayfinding plan is interior to the campus affording visitors additional information about the location of the services they may be seeking. This specific sign will ensure that visitors and patients traveling onto the hospital campus will be able to find the emergency room.

- d) The sign variance will not impose limitations on other properties and signage in the area, including signage that would be allowed on adjacent properties.*

**Response:** The proposed signage on this property provides messaging specific to the location of services for patients and visitors within the campus. There is no evidence to suggest that granting this variance would impose limitations on other properties or signage within the area.

- e) Conditions of approval. The Review Authority may impose conditions on the approval of a sign variance necessary to establish compliance with the approval criteria.*

**Response:** The applicant is aware that specific conditions could be imposed upon the approval of the variance if it were to be approved.

- f) Concurrent processing required. Applications for a sign variance shall be processed concurrently with the sign permit application.*

**Response:** Sign variances and applications for 11 signs are being requested concurrently with this request.



Section 900.060: Materials

- a) *Except as otherwise specified in this section, materials used for construction of signs shall be of the quality and grade specified for buildings and structures pursuant to SRC chapter 56.*
- b) *Except for lamps, tubes, bulbs, or neon tubing, no glass shall be used in the display surface of any sign.*
- c) *Roof signs, wall signs, projecting signs, and hanging signs shall be constructed of noncombustible materials, except for nonstructural trim, display surfaces, and cutouts which may be constructed of wood, metal, approved plastics, or any combination thereof.*
- d) *Except as provided in subsection (e) of this section, only metal and approved plastics shall be used in construction of electronic display signs, internally illuminated signs, and externally illuminated signs.*
- e) *Combustible materials for covering or ornamenting a sign structure may be used for electronic display signs, internally illuminated signs, and externally illuminated signs, provided that no load-bearing member of the sign structure is constructed of combustible materials and there is no substantial fire or electrical safety hazard.*
- f) *The sign structure of outdoor advertising signs shall be metal.*

**Response:** The project complies with this standard. The proposed materials for Sign 2 will be metal and the sign will be installed by professionals.

Section 900.065: Sign Supports

*Unless approval to place a sign in right-of-way has been obtained from the applicable government agency, sign supports shall be located on private property.*

**Response:** The proposed sign will be located entirely upon private property. Please see the Campus Signage Site Plan for the proposed location. This sign is identified as Sign 2 on the attached site plan.

Section 900.070: Electronic Sign Construction

- a) *Electronic display signs externally illuminated signs, and internally illuminated signs shall be permanently and rigidly affixed to the sign structure or building.*
- b) *The bottom of electronic display signs externally illuminated signs, and internally illuminated signs and outline lighting enclosures shall not be less than 16 feet above areas accessible to vehicles; provided, however, the bottom of such signs and enclosures may be less than 16 feet above areas accessible to vehicles where such enclosures are protected from physical damage.*
- c) *Electronic display signs externally illuminated signs, and internally illuminated signs shall have placed, within easy view, a laboratory label from an approved testing agency.*
- d) *Electronic display signs externally illuminated signs, and internally illuminated signs shall be serviced by underground utilities.*
- e) *Where underground electric service is provided by a utility company, outdoor advertising signs shall be serviced by underground utilities.*

**Response:** The proposed sign is not an electronic sign. These criteria are not applicable to this proposal.

Section 900.075: General Illumination Standards; Zone-Specific Standards

- a) *Except as otherwise provided in this section, permanent signs may be externally or internally illuminated.*



- b) *Temporary signs shall not be externally or internally illuminated.*
- c) *No sign shall use lights or illumination that creates an unduly distracting or hazardous condition to a motorist, a pedestrian, or the general public, or that may be confused with or construed as an official traffic control device.*
- d) *Wall signs, roof signs, and projecting signs placed on a building face that fronts a residential use may not be externally or internally illuminated.*
- e) *No reflective bulb, par spot, or incandescent lamp that exceeds 25 watts shall be exposed to direct view from a public street, but may be used for indirect illumination of a display surface.*
- f) *Neon tubing shall not exceed 300 milliamperes for white tubing or 100 milliamperes for colored tubing.*
- g) *Fluorescent tubes used for interior illumination of a sign shall be placed behind a plexiglass face and shall:*
  - 1) *In residential zones, not exceed illumination equivalent to 425 milliamperes, and be spaced at least seven inches apart, measured from center to center.*
  - 2) *In commercial, industrial, and public zones, not exceed illumination equivalent to 800 milliamperes and be spaced at least nine inches apart, measured center to center.*
- h) *The light source for an internally illuminated sign may be comprised of light emitting diodes, so long as the light emitting diodes are used for illumination only, do not create an electronic display or effect, and conform to the brightness limitations set forth in SRC 900.090.*

**Response:** The project complies with this standard. Sign 2 is a permanent freestanding sign that is proposed to be internally illuminated. Lighting from the sign will be internal and not include any exposed bulbs or lighting standard that would be expected to trespass off of the property.

Section 900.085: Effects

- a) *The use of effects is allowed only where flashing light is allowed, subject to the standards set forth in SRC 900.080 and in this section.*
- b) *No sign may use a speller effect, or effect in the form of a starburst, expanding starburst, expanding arrow, or extending arrow.*
- c) *Chaser effects.*
  - 1) *Each display surface may have only one chaser effect.*
  - 2) *Only one sign per building frontage may use a chaser effect. If building has frontage on two or more streets, the building may have a sign using a chaser effect on each frontage.*
  - 3) *No chaser effect is permitted to be on the same side of a sign as flashing light.*
  - 4) *No chaser effect shall exceed 20 percent of the illuminated display surface of the sign.*
  - 5) *No chaser effect shall produce an apparent motion in a single direction that exceeds ten feet per second plus an additional five feet per second for each ten-foot distance over 20 feet between the sign and the nearest adjacent street or highway right-of-way, up to a maximum of 50 feet per second.*
  - 6) *This subsection shall not apply to chaser effects on theater marquees.*

**Response:** No effects are proposed with this sign. These criteria are not applicable to the proposed sign.





Section 900.100: Signs Installed Over or Within the Right-of-Way

*No sign shall be erected over or within the public right-of-way unless the placement of the sign is first approved by the governmental unit having jurisdiction over the right-of-way.*

**Response:** The proposed sign will be located entirely within the boundaries of the property. This criterion is not applicable to the proposed sign.

Section 900.115: Sign Location for Safety

- a) No sign shall be erected or maintained which, by reason of its size, location, or construction constitutes a hazard to the public.*
- b) No sign shall obstruct any building opening such that light or ventilation is reduced below minimums required by the Salem Revised Code or any other applicable law.*
- c) No sign shall be erected within five feet of an exterior wall in which there are openings that lie directly behind the display surface unless the sign conforms with the requirements specified by SRC chapter 56 and the sign is constructed of noncombustible materials or approved plastics.*
- d) Any sign located on a sidewalk shall have a safety barrier of not less than 18 inches, measured from the bottom of the sidewalk surface, and constructed of solid and seamless materials.*
- e) No sign shall be placed within a sidewalk intersection.*
- f) Signs shall be located not less than ten feet horizontally and ten feet vertically from all overhead electrical conductors which are energized in excess of 750 volts.*

**Response:** The proposed sign is not proposed in a location that would constitute a hazard to the public. It will not obstruct any building entrance or sidewalk. None of the other criterion listed in this section are applicable to the proposed sign.

Section 900.120: Sign Maintenance

- a) All signs, together with the site and all components of the sign structure, shall be kept in good repair, free from deterioration, and in a neat, clean, attractive, and safe condition.*
- b) No sign shall be located on a wall facing a side lot line if it is necessary to go onto the adjacent lot to install or service the sign, unless written consent of the adjacent property owner has been obtained prior to the issuance of the sign permit.*

**Response:** The signs will become part of the regular maintenance associated with the upkeep of the campus and campus facilities. These criteria are not applicable to the proposed sign.

Section 900.130: Freestanding Signs

- a) Setbacks.*
  - 1) Freestanding signs shall have a setback of not less than three feet from the street front property line, unless the property is subject to a special setback area and no authorization to place a freestanding sign in the special setback area has been given, in which case the freestanding sign shall be setback not less than three feet from the special setback area.*
  - 2) Freestanding signs shall have a setback of not less than five feet from a side property line.*



**Response:** The proposed sign will comply with all required setbacks. As proposed, Sign 2 will be located 3 feet from the property line on Winter Street SE.

*b) Structure.*

- 1) A freestanding sign shall be directly supported by poles or a foundation.*
- 2) No external cross braces, guy wires, "T" frames, "A" frames, "trusses," or similar bracing systems shall be used in constructing freestanding signs. Nothing in this subsection prohibits the use of standardized outdoor advertising structures and stringers customarily used for the support of sections of the display surface.*

**Response:** The project complies with this standard. The proposed sign will be a freestanding pylon styled sign that will be placed directly on a foundation. There will be no external braces supporting the sign.

*c) Limit. A corner lot shall be limited to one freestanding sign.*

**Response:** Acknowledged by the applicant. There is an existing freestanding sign on the property, which is a corner lot at Winter Street SE and Mission Street SE. The applicant is requesting a variance to allow for this additional wayfinding sign and to allow for the sign to exceed the dimensional standards of Section 900.215(b)(1)(B).

Section 900.135: Hanging Signs

- a) Clearance. Hanging signs shall have a vertical clearance of seven feet, six inches between the bottom of the hanging sign and the grade below the sign.*
- b) Structure. No supporting member of any hanging sign shall pierce or extend through the support structure.*
- c) Size. The display surface of a hanging sign shall not exceed six square feet.*

**Response:** The proposed sign is not a hanging sign. These criteria are not applicable to this request.

Section 900.145: Roof Signs

- a) Width. On buildings that are less than 50 feet wide, the width of a roof sign shall be no greater than 50 percent of the width of building. On buildings that are 50 feet wide or greater, the width of a roof sign shall be no greater than 25 feet or 25 percent of the width of the building, whichever is less.*
- b) Height.*
  - 1) Roof signs located on a flat roof shall not exceed the following heights:*
    - A. Building height of 15 feet or less, six feet.*
    - B. Building height of 15 to 20 feet, seven feet.*
    - C. Building height greater than 20 feet, eight feet.*
  - 2) The height of a roof sign located on a gable, hipped roof, or pitched roof that is less than eight feet in height shall be no greater than 50 percent of the vertical height of the roof. The height of roof signs located on a gable, hipped roof, or pitched roof that is eight feet in height or greater shall be no greater than four feet or 25 percent of the vertical height of the roof, whichever is larger.*



*Vertical height shall be measured from the lower edge of the roof to the peak of the gable, hip, or pitch, vertically from, and not along the plane of, the gable, hip, or pitch.*

- 3) *Roof signs located on a marquee or canopy shall not exceed a height of four feet above the roof of the marquee or canopy.*
- c) *Setbacks.*
  - 1) *A roof sign shall be setback a minimum of three feet from the front wall.*
  - 2) *A roof sign shall be setback a minimum of three feet from each end wall.*
- d) *Clearance.*
  - 1) *A roof sign shall have a minimum clearance of three feet between the bottom of the roof sign and the top of a parallel parapet.*
  - 2) *When a roof sign is placed on the peak of a roof, the roof sign shall have a minimum clearance of 1½ feet between the bottom of the sign and the roof.*
- e) *Structure. Except for vertical poles, the supporting structure of a roof sign shall be completely enclosed.*

**Response:** The proposed sign is not a roof sign. These criteria are not applicable to this request.

#### Section 900.150: Wall Signs

- a) *Wall signs on building walls. Wall signs placed on a wall of a building shall conform to this subsection.*
  - 1) *Height*
    - A. *Wall signs may project above the higher of the eave line, roof line, or top of the parapet a distance equal to one-third of the height of the sign or three feet, whichever is less.*
    - B. *Wall signs that do not extend the full length of the wall may project above the eave line, roof line, or top of the parapet one-third of the height of a building if the building is less than 15 feet in height, or six feet if the building is over 15 feet in height.*
    - C. *The height of a wall sign that extends the full length of the wall shall not exceed four feet, measured from the roof line directly behind the wall to the top of the wall.*
    - D. *Wall signs attached to a marquee shall not exceed 30 inches in height.*
  - 2) *Structure*
    - A. *The supporting structure for any wall sign shall be completely enclosed so as not to be visible from any public street, alley, or adjacent property.*
    - B. *No external braces, guy wires, "A" frames, or similar bracing system shall be used in constructing a wall sign.*
    - C. *Wall signs may be installed on mansard roofs of 30 degrees or less, if they are installed vertically, and if the supporting structure is completely enclosed so as not to be visible from any public street, alley, or adjacent property.*
  - 3) *Clearance*
    - A. *The bottom of a wall sign that projects from a wall and is located on an alley shall have a clearance of not less than 14 feet from grade and shall have a maximum projection from the wall to which it is attached of not more than 12 inches.*
    - B. *The lower edge of a wall sign attached to a marquee shall not extend below the marquee.*



**Response:** The proposed sign is not a wall sign. Therefore, this section does not apply to this application.

Section 900.215: Permanent Signs in Public Zones

*b) Signs permitted in Public and Private Education (PE) Zones*

*1) The following signs are permitted in PE zones:*

*A. Wall signs. One wall sign for each building frontage, which shall be limited to the greater of 32 square feet or two percent of the gross face area of the building frontage on which it is located.*

**Response:** The proposed sign is not a wall sign. Therefore, the above criterion does not apply.

*B. Freestanding signs. One freestanding sign for each building frontage, which shall be limited to five feet in height and 24 square feet in total display surface; provided, however, that one such sign may be 15 feet in height and 24 square feet in total display surface. Such signs shall be set back at least three feet from a street front property line or the special setback area established by the Salem Zoning Ordinance, whichever is greater, provided further that, where adjacent property is zoned residential or commercial office, signs shall be set back at least 20 feet from the side lot line abutting a CO or residential zone.*

**Response:** There is an existing freestanding sign on the project site, and the applicant is requesting a variance to allow for more than one freestanding sign on the building frontage. Additionally, the freestanding sign is proposed to be approximately 13 feet in height and 12.44 square feet in display area, exceeding the height requirements in Standard (B) above. Therefore, a variance is requested to allow the proposed sign to be taller than the 5 foot standard. Please see details to the variance in Section 900.040 of this narrative.

*C. Vehicle directional signs. One vehicle directional sign located at each motor vehicle entrance to or exit from the property. A wall sign shall be limited to a display surface not exceeding four square feet. A freestanding sign shall be limited to a display surface not exceeding eight square feet and to a height not exceeding 30 inches.*

*D. Electronic display signs. Electronic display signs no larger than 800 square feet shall be permitted in the PH zone within stadiums, athletic fields, and other outdoor assembly facilities, where they are intended primarily for viewing by persons within the facility, are oriented toward the interior of the facility and viewing stands and are used only during events where the public attends as spectators. Notwithstanding any other provision of this chapter, signs allowed by this subsection may employ dissolve, fade, scrolling, static display, travel, and video display. Signs allowed by this subsection shall not be subject to the electronic sign display surface standards set forth in SRC 900.090(c).*

**Response:** The proposed sign is intended to be a directional sign however, not as defined in this Chapter. The sign is not considered an electronic display sign. Therefore, the above standards do not apply to this application.



*E. Externally illuminated and internally illuminated signs. No flashing illumination shall be permitted.*

**Response:** The project complies with this standard. Sign 2 is proposed to be an internally illuminated emergency freestanding pylon and it will not include any flashing illumination.

### III. CONCLUSION

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This summary of request and supplemental attachments demonstrates that Sign 2 is in compliance with applicable approval criteria and code standards of Type III Sign Variance. The applicant respectfully requests that the City of Salem approve the land use application.



# Salem Health Hospital Sign Variance: Sign 3

Type III Review

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**Owner:** Salem Health  
890 Oak Street SE  
Salem, OR 97301

**Architect:** Scott Edwards Architecture  
2525 E Burnside St.  
Portland, OR 97214

Alden Kasiewicz  
[alden@seallp.com](mailto:alden@seallp.com)  
(503)226-3617

**Planner:** Harper Houf Peterson Righellis, Inc.  
205 SE Spokane Street, Suite 200  
Portland, OR 97202

Brad Kilby, AICP  
[bradk@hhpr.com](mailto:bradk@hhpr.com)  
(503)221-1131

**Site Location:** 890 Oak Street SE (Salem Health Campus)

**Tax Lot:** 073W27DB Tax Lot 00100

**Project Size:** 13.10 acres

**Zone:** Public and Private Education (PE)

**Summary of Request:** The owner, Salem Health, is seeking a variance to allow for a freestanding sign to exceed the height and display area of section 900.215(C)(1)(B). The proposed sign would be 28 square feet and 6 feet 5 inches tall, larger than the standard display area and height allowed. The hospital already has a freestanding sign that utilizes the height exemption of this section.

**Date:** November 29, 2021



# Table of Contents

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I.	SUMMARY OF PROPOSAL AND REQUEST.....	3
	Existing Conditions .....	3
	Proposal.....	4
II.	RESPONSES TO APPLICABLE CODE SECTIONS.....	5
	Chapter 900: Sign Code .....	5
III.	CONCLUSION .....	17



# I. SUMMARY OF PROPOSAL AND REQUEST

## Existing Conditions

Salem Health is the owner of the property and operates the Salem Hospital on the subject site. The hospital is in a campus setting, just south of downtown Salem and serves as the primary health care provider for Oregon’s Mid-Willamette Valley. The hospital is one of Oregon’s largest acute care hospitals and operates one of the busiest emergency departments on the West Coast. As one of Salem’s largest employers, the hospital employs over 5,200 employees and has approximately 770 medical providers on staff. The hospital campus is generally divided into an east and west campus with Winter Street SE serving as the dividing line as illustrated in the vicinity map shown below. The topography is generally flat with slopes ranging between 3-5%. The campus is generally bound on the south by Mission Street SE, on the east by 12<sup>th</sup> Street SE, on the north by Bellevue Street SE and the Shelton Ditch, and on the west by Church Street SE and Pringle City Park. A tributary of Pringle Creek goes through the middle of the campus in an SE/NW direction. Many of the internal streets are private with public access easements overlaid.

Vicinity Map





## Proposed sign Location

This is the general proposed location of the sign. This is looking north from the intersection of Mission Street SE and Winter Street SE. As proposed there would be two free standing directional signs on Winter Street SE in this vicinity of the campus including one emergency directional pylon, one existing free standing sign further north on Winter Street SE and this proposed sign.



## Proposal

Salem Health proposes to construct a freestanding sign with 28.38 square feet of display area and approximately 6.5 feet in height on Winter Street SE near the intersection with Mission Street SE. The applicant is requesting a variance to Standard 900.215(c)(1)(B) of the Salem Sign Code to allow for an additional freestanding sign on the property and to allow for the sign to be larger than the standard display area of 24 square feet and the standard height of 5 feet. The approximate location of Sign 3 is shown below with a red circle.



Location Map



## II. RESPONSES TO APPLICABLE CODE SECTIONS

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**Note:** Responses to all applicable sections of the Salem Revised Code are included below. Sections that are not applicable or do not require a response may be omitted from the narrative text.

### Chapter 900: Sign Code

#### Section 900.020: Prohibited Signs

*The following signs are prohibited:*

- a) *Any sign which creates a public nuisance due to statements, words, or pictures of an obscene or pornographic character.*
- b) *Any sign which violates ORS ch. 377.*
- c) *Any sign which is placed on, affixed to, or painted on a motor vehicle, vehicle, or trailer and placed on public or private property with the primary purpose of providing a sign not otherwise permitted by this chapter.*



- d) *Any sign located in a manner which could impede traffic on any street, alley, bikeway, or other vehicular way.*
- e) *Any sign constructed in such a manner or at such a location that it will obstruct access to any fire escape or other means of ingress or egress from a building. No sign structure, or part thereof, shall cover, wholly or partially, any window or doorway in a manner that will substantially limit access to the building in case of fire.*
- f) *Any sign constructed or maintained which, by reason of its size, location, movement, coloring, or manner of illumination may be confused with or construed as an official traffic control device or which hides any official traffic control device from view.*(g)*Any sign, other than an official traffic control device, located within a vision clearance area.*(h)*Any sign that employs a structure, material, illumination, size, or placement not specifically allowed under this chapter, unless the sign is a lawfully established nonconforming sign.*

**Response:** The applicant is not proposing any of the signs prohibited above. For reference, the sign does not display any prohibited content; does not affect any state highway (ORS 377); is not proposed to be fixed to any motor vehicle, vehicle, or trailer; would not be located within a vision clearance area or within an area that would impede traffic; is not in a location that would impact emergency access; and does not appear similar to any official traffic control device.

Section 900.025: Sign Permits

- a) *Applicability. Except as otherwise provided in this chapter, a permit is required for the construction, erection, enlargement, alteration, or relocation of any sign.*
- b) *Procedure type. An application for a sign permit is a Type I procedure under SRC chapter 300.*
- c) *Additional submittal requirements. In addition to the submittal requirements under SRC chapter 300, an application for a sign permit shall contain:*
  - 1) *The location of the sign by street and number.*
  - 2) *The name and address of the sign owner and of the sign erector.*
  - 3) *Two complete sets of plans for the sign, in a graphic form, detailed and clear enough to show compliance with this chapter. At a minimum, the plans shall include:*
    - A. *A detailed drawing of the sign, drawn to scale.*
    - B. *Site plan drawn to scale, including location of all existing signs on the property and their sizes.*
    - C. *Elevations of the building or structure with signs.*
    - D. *Identification of materials and type of sign.*
    - E. *A statement whether the sign is located on property owned or leased by the person constructing, erecting, or using the sign.*
- d) *Criteria. An application for a sign permit shall be granted if the following criteria are met:*
  - 1) *The sign meets the requirements of SRC chapter 56.*
  - 2) *The sign is allowed in the zone.*
  - 3) *The sign will not interfere with the use of any public right-of-way, other public easements, or other publicly owned property.*
  - 4) *The sign conforms to all the applicable standards in this chapter.*



- e) *Expiration. Sign permits shall be valid for 180 days after the date of issuance. The Director may grant a one-time extension for a sign permit, not to exceed 90 days, upon showing that there was reasonable cause for the delay and that the construction, erection, alteration, or other work still complies with this chapter.*
- f) *Permit fees. The application for a sign permit shall be accompanied by a fee as prescribed by resolution of the council.*

**Response:** The applicant is requesting a variance to Section 900.215(b)(1)(B) to allow for more than one freestanding sign on the property and to allow for the sign to have a larger display area and exceed the maximum height. If the variance is approved, the applicant and contractor will obtain the necessary sign permits as required.

Section 900.030: Exceptions from Permit Requirements

- a) *The following activities do not require a sign permit:*
  - 1) *Changing of copy on a sign specifically designed for the use of replaceable copy.*
  - 2) *Painting, repainting, cleaning, and normal maintenance and repair of a sign, where no substantial structural alteration is made.*
- b) *The following signs do not require a sign permit, but are otherwise regulated by this chapter:*
  - 1) *Temporary signs not located in the public right-of-way.*
  - 2) *Signs for dwelling units authorized under SRC 900.185(a).*
  - 3) *Vehicle directional signs.*
- c) *The following signs do not require a sign permit, and are allowed in addition to any other signs otherwise allowed by this chapter:*
  - 1) *A warning sign that does not exceed four square feet in display surface and six feet in height, that is not located in a vision clearance area, and that is erected on private property to warn the public of a danger on, or prohibiting or limiting access to, the premises on which the sign is located.*
  - 2) *Permanent building plaques, cornerstones, name plates, and similar building identifications.*
  - 3) *House and building numbers where the numerals do not exceed six inches in height.*
  - 4) *Historical markers erected or maintained by public authority or by a historical society or historical organization identifying sites, buildings, or structures of recognized historical value.*
  - 5) *Non-illuminated signs not visible from a public sidewalk, street, highway, or alley.*
  - 6) *Interior signs.*
    - A. *Non-illuminated interior signs in commercial and industrial zones, including, but not limited to, signs attached to or painted on the inside of a window.*
    - B. *Illuminated interior signs intended to be viewed from the public sidewalk, street, highway, alley, plaza, park, or other similar public place; provided, however, that the sign does not flash or employ an effect, and does not exceed eight square feet in display surface.*
    - C. *Illuminated interior signs not intended to be viewed from the public right-of-way*
  - 7) *Directional signs that do not exceed eight square feet of display surface.*



- 8) *Directional signs in commercial and industrial zones that do not exceed 22 square feet of display surface, that designate an automobile service entrance onto the premises, and limited to one per business per premises.*
- 9) *Temporary signs authorized by a park use permit.*

**Response:** The sign is not exempt from any of the above permit requirements.

Section 900.040: Sign Variance

- a) *Applicability. Sign variances may be granted to the height and display surface standards, to increase the number of allowed signs, to allow relocation of a sign, and to allow structural alterations to a sign.*
  - 1) *Limitation. A sign variance shall not provide for any of the following:*
    - A. *To allow a sign prohibited by SRC 900.020, "Prohibited Signs."*
    - B. *To decrease a setback or a special setback.*
    - C. *To allow placement of a sign in a vision clearance area.*
    - D. *To allow structural alterations to a nonconforming or non-complying sign.*
    - E. *To authorize a sign not otherwise permitted on the property for which the variance is sought.*
    - F. *To allow any sign other than those specifically allowed by this chapter.*
    - G. *To modify the display and brightness regulations for electronic display sign established by SRC 900.090.*

**Responses:** This is a specific request to allow for an additional freestanding sign on Winter Street SE near the intersection with Mission Street SE that is larger and taller than allowed under Standard 900.215(b)(1)(B). It is not a request to allow a prohibited sign, decrease a setback, allow placement within a vision clearance area, allow structural alteration to a non-conforming or non-complying sign, allow a sign that is not otherwise permitted on the property, to allow a sign that's not specifically allowed by the chapter, or to modify an electronic display sign.

- b) *Procedure Type. A sign variance is a Type III procedure under SRC chapter 300.*

**Response:** The applicant is aware of the procedure and will comply with the applicant's responsibilities through the Type III process.

- c) *Submittal requirements. In addition to the submittal requirements for a sign permit required by SRC 900.025, an application for a sign permit that includes a variance shall contain a statement of the specific standard for which the variance is requested, and the amount or scope of the variance.*

**Response:** As mentioned, this is a request for a variance to Standard 900.215(c)(1)(B) to allow another freestanding sign located on Winter Street SE to be 6 feet 5 inches in height and approximately 28.38 square feet in display area (greater than the standard of 5 feet in height and 24 square feet in display area). Additionally, there are a total of four existing and proposed freestanding signs on Winter Street SE, so this variance is also requested to the quantity allowed under Standard 900.215(c)(1)(B). Below is the approximate design of Sign 3.





- d) *Criteria. An application for a sign variance shall be granted if all of the following criteria are met:*
- a) *Compliance with the applicable standard would create an unnecessary hardship due to unique or unusual physical conditions of the property over which the applicant has no control, such as topography and lot shape, which are not present on other properties in the vicinity that have the same zone designation; the hardship does not result from actions of the applicant, owner, or previous owners of the property; and the sign variance is limited to the minimum reasonably necessary to alleviate the problem created by the unique or unusual physical conditions;*

**Response:** The owner is seeking support of a wayfinding plan for the entire campus. This property is larger than most of the surrounding properties and located in a specific zone that is geared towards public health facilities. The property includes several large buildings, parking areas and departments throughout the entire campus. Salem Hospital is proposing a series of sign variances as part of a holistic wayfinding system that takes into consideration the state of mind of the visitor, site constraints, challenges, and the applicable sign code requirements. The signs proposed within the wayfinding plan are not located arbitrarily. Rather they are proposed in locations that are intended to eliminate confusion and promote clear and efficient movement throughout the campus for their patients. Specifically, Sign 3 will assist in wayfinding for pedestrians and vehicles to find the services and buildings they are searching for on the hospital campus. Winter Street SE is an entrance street into the hospital campus from the south and allowing for a larger than standard sized sign will ensure easy and efficient wayfinding as visitors and patients enter the Salem Health Hospital campus and to services located on the western portion of the campus, including Building B and the Heart Center.



- b) *The sign variance is necessary to permit signage comparable with other properties in the vicinity that have the same zone designation;*

**Response:** There are no comparable properties within the vicinity that have the same zone designation. Salem Hospital is located within the PH zone and sits within a large campus setting. Similarly situated properties within the area most likely experiencing the same challenges may include Willamette University or the Capitol Campus. In both instances, the likelihood that their visitors are experiencing medical distress and confusion as a result of those stresses affecting their ability to find a location on those campuses is likely to be lower and more than likely not a matter of life or death.

- c) *The sign variance will not adversely affect the function or appearance of the development and use of the property and surrounding properties; and*

**Response:** The proposed sign variance would not affect the function or overall appearance of the development and use of the property and surrounding properties. A variety of specialized medical services are provided throughout the campus as it is a regional hospital, not everyone that visits the campus is familiar with the area making wayfinding that much more important. The majority of signage proposed within the wayfinding plan is interior to the campus affording visitors additional information about the location of the services they may be seeking. This specific sign will ensure that visitors and patients traveling onto the hospital campus will be able to find the buildings and services they are looking for safety and easily.

- d) *The sign variance will not impose limitations on other properties and signage in the area, including signage that would be allowed on adjacent properties.*

**Response:** The proposed signage on this property provides messaging specific to the location of services for patients and visitors within the campus. There is no evidence to suggest that granting this variance would impose limitations on other properties or signage within the area.

- e) *Conditions of approval. The Review Authority may impose conditions on the approval of a sign variance necessary to establish compliance with the approval criteria.*

**Response:** The applicant is aware that specific conditions could be imposed upon the approval of the variance if it were to be approved.

- f) *Concurrent processing required. Applications for a sign variance shall be processed concurrently with the sign permit application.*

**Response:** Sign variances and applications for 11 signs are being requested concurrently with this request.



Section 900.060: Materials

- a) *Except as otherwise specified in this section, materials used for construction of signs shall be of the quality and grade specified for buildings and structures pursuant to SRC chapter 56.*
- b) *Except for lamps, tubes, bulbs, or neon tubing, no glass shall be used in the display surface of any sign.*
- c) *Roof signs, wall signs, projecting signs, and hanging signs shall be constructed of noncombustible materials, except for nonstructural trim, display surfaces, and cutouts which may be constructed of wood, metal, approved plastics, or any combination thereof.*
- d) *Except as provided in subsection (e) of this section, only metal and approved plastics shall be used in construction of electronic display signs, internally illuminated signs, and externally illuminated signs.*
- e) *Combustible materials for covering or ornamenting a sign structure may be used for electronic display signs, internally illuminated signs, and externally illuminated signs, provided that no load-bearing member of the sign structure is constructed of combustible materials and there is no substantial fire or electrical safety hazard.*
- f) *The sign structure of outdoor advertising signs shall be metal.*

**Response:** The project complies with this standard. The proposed materials for Sign 3 will be metal and the sign will be installed by professionals.

Section 900.065: Sign Supports

*Unless approval to place a sign in right-of-way has been obtained from the applicable government agency, sign supports shall be located on private property.*

**Response:** The proposed sign will be located entirely upon private property. Please see the Campus Signage Site Plan for the proposed location. This sign is identified as Sign 3 on the attached site plan.

Section 900.070: Electronic Sign Construction

- a) *Electronic display signs externally illuminated signs, and internally illuminated signs shall be permanently and rigidly affixed to the sign structure or building.*
- b) *The bottom of electronic display signs externally illuminated signs, and internally illuminated signs and outline lighting enclosures shall not be less than 16 feet above areas accessible to vehicles; provided, however, the bottom of such signs and enclosures may be less than 16 feet above areas accessible to vehicles where such enclosures are protected from physical damage.*
- c) *Electronic display signs externally illuminated signs, and internally illuminated signs shall have placed, within easy view, a laboratory label from an approved testing agency.*
- d) *Electronic display signs externally illuminated signs, and internally illuminated signs shall be serviced by underground utilities.*
- e) *Where underground electric service is provided by a utility company, outdoor advertising signs shall be serviced by underground utilities.*

**Response:** The proposed sign is not an electronic sign. These criteria are not applicable to this proposal.

Section 900.075: General Illumination Standards; Zone-Specific Standards

- a) *Except as otherwise provided in this section, permanent signs may be externally or internally illuminated.*





- b) *Temporary signs shall not be externally or internally illuminated.*
- c) *No sign shall use lights or illumination that creates an unduly distracting or hazardous condition to a motorist, a pedestrian, or the general public, or that may be confused with or construed as an official traffic control device.*
- d) *Wall signs, roof signs, and projecting signs placed on a building face that fronts a residential use may not be externally or internally illuminated.*
- e) *No reflective bulb, par spot, or incandescent lamp that exceeds 25 watts shall be exposed to direct view from a public street, but may be used for indirect illumination of a display surface.*
- f) *Neon tubing shall not exceed 300 milliamperes for white tubing or 100 milliamperes for colored tubing.*
- g) *Fluorescent tubes used for interior illumination of a sign shall be placed behind a plexiglass face and shall:*
  - 1) *In residential zones, not exceed illumination equivalent to 425 milliamperes, and be spaced at least seven inches apart, measured from center to center.*
  - 2) *In commercial, industrial, and public zones, not exceed illumination equivalent to 800 milliamperes and be spaced at least nine inches apart, measured center to center.*
- h) *The light source for an internally illuminated sign may be comprised of light emitting diodes, so long as the light emitting diodes are used for illumination only, do not create an electronic display or effect, and conform to the brightness limitations set forth in SRC 900.090.*

**Response:** Sign 3 is not proposed to be illuminated. Therefore, the above criteria do not apply.

Section 900.085: Effects

- a) *The use of effects is allowed only where flashing light is allowed, subject to the standards set forth in SRC 900.080 and in this section.*
- b) *No sign may use a speller effect, or effect in the form of a starburst, expanding starburst, expanding arrow, or extending arrow.*
- c) *Chaser effects.*
  - 1) *Each display surface may have only one chaser effect.*
  - 2) *Only one sign per building frontage may use a chaser effect. If building has frontage on two or more streets, the building may have a sign using a chaser effect on each frontage.*
  - 3) *No chaser effect is permitted to be on the same side of a sign as flashing light.*
  - 4) *No chaser effect shall exceed 20 percent of the illuminated display surface of the sign.*
  - 5) *No chaser effect shall produce an apparent motion in a single direction that exceeds ten feet per second plus an additional five feet per second for each ten-foot distance over 20 feet between the sign and the nearest adjacent street or highway right-of-way, up to a maximum of 50 feet per second.*
  - 6) *This subsection shall not apply to chaser effects on theater marquees.*

**Response:** No mobile effects are proposed with this sign. These criteria are not applicable to the proposed sign.



Section 900.100: Signs Installed Over or Within the Right-of-Way

*No sign shall be erected over or within the public right-of-way unless the placement of the sign is first approved by the governmental unit having jurisdiction over the right-of-way.*

**Response:** The proposed sign will be located entirely within the boundaries of the property. This criterion is not applicable to the proposed sign.

Section 900.115: Sign Location for Safety

- a) No sign shall be erected or maintained which, by reason of its size, location, or construction constitutes a hazard to the public.*
- b) No sign shall obstruct any building opening such that light or ventilation is reduced below minimums required by the Salem Revised Code or any other applicable law.*
- c) No sign shall be erected within five feet of an exterior wall in which there are openings that lie directly behind the display surface unless the sign conforms with the requirements specified by SRC chapter 56 and the sign is constructed of noncombustible materials or approved plastics.*
- d) Any sign located on a sidewalk shall have a safety barrier of not less than 18 inches, measured from the bottom of the sidewalk surface, and constructed of solid and seamless materials.*
- e) No sign shall be placed within a sidewalk intersection.*
- f) Signs shall be located not less than ten feet horizontally and ten feet vertically from all overhead electrical conductors which are energized in excess of 750 volts.*

**Response:** The proposed sign is not proposed in a location that would constitute a hazard to the public, block a building entrance, or obstruct a sidewalk. None of the other criterion listed in this section are applicable to the proposed sign.

Section 900.120: Sign Maintenance

- a) All signs, together with the site and all components of the sign structure, shall be kept in good repair, free from deterioration, and in a neat, clean, attractive, and safe condition.*
- b) No sign shall be located on a wall facing a side lot line if it is necessary to go onto the adjacent lot to install or service the sign, unless written consent of the adjacent property owner has been obtained prior to the issuance of the sign permit.*

**Response:** The signs will become part of the regular maintenance associated with the upkeep of the campus and campus facilities. These criteria are not applicable to the proposed sign.

Section 900.130: Freestanding Signs

- a) Setbacks.*
  - 1) Freestanding signs shall have a setback of not less than three feet from the street front property line, unless the property is subject to a special setback area and no authorization to place a freestanding sign in the special setback area has been given, in which case the freestanding sign shall be setback not less than three feet from the special setback area.*
  - 2) Freestanding signs shall have a setback of not less than five feet from a side property line.*



**Response:** The project complies with this standard. Sign 3 will be located 3 feet from the front property line on Winter Street SE.

*b) Structure.*

- 1) A freestanding sign shall be directly supported by poles or a foundation.*
- 2) No external cross braces, guy wires, "T" frames, "A" frames, "trusses," or similar bracing systems shall be used in constructing freestanding signs. Nothing in this subsection prohibits the use of standardized outdoor advertising structures and stringers customarily used for the support of sections of the display surface.*

**Response:** The project complies with this standard. The proposed sign will be a freestanding sign will be placed directly on a foundation. There will be no external braces supporting the sign.

*c) Limit. A corner lot shall be limited to one freestanding sign.*

**Response:** Acknowledged by the applicant. There are existing freestanding signs on the property, which is a corner lot at Winter Street SE and Mission Street SE. The applicant is requesting a variance to allow for this additional wayfinding sign and to allow for the sign to exceed the dimensional standards of Section 900.215(b)(1)(B).

Section 900.135: Hanging Signs

- a) Clearance. Hanging signs shall have a vertical clearance of seven feet, six inches between the bottom of the hanging sign and the grade below the sign.*
- b) Structure. No supporting member of any hanging sign shall pierce or extend through the support structure.*
- c) Size. The display surface of a hanging sign shall not exceed six square feet.*

**Response:** The proposed sign is not a hanging sign. These criteria are not applicable to this request.

Section 900.145: Roof Signs

- a) Width. On buildings that are less than 50 feet wide, the width of a roof sign shall be no greater than 50 percent of the width of building. On buildings that are 50 feet wide or greater, the width of a roof sign shall be no greater than 25 feet or 25 percent of the width of the building, whichever is less.*
- b) Height.*
  - 1) Roof signs located on a flat roof shall not exceed the following heights:*
    - A. Building height of 15 feet or less, six feet.*
    - B. Building height of 15 to 20 feet, seven feet.*
    - C. Building height greater than 20 feet, eight feet.*
  - 2) The height of a roof sign located on a gable, hipped roof, or pitched roof that is less than eight feet in height shall be no greater than 50 percent of the vertical height of the roof. The height of roof signs located on a gable, hipped roof, or pitched roof that is eight feet in height or greater shall be no greater than four feet or 25 percent of the vertical height of the roof, whichever is larger.*



*Vertical height shall be measured from the lower edge of the roof to the peak of the gable, hip, or pitch, vertically from, and not along the plane of, the gable, hip, or pitch.*

- 3) *Roof signs located on a marquee or canopy shall not exceed a height of four feet above the roof of the marquee or canopy.*
- c) *Setbacks.*
  - 1) *A roof sign shall be setback a minimum of three feet from the front wall.*
  - 2) *A roof sign shall be setback a minimum of three feet from each end wall.*
- d) *Clearance.*
  - 1) *A roof sign shall have a minimum clearance of three feet between the bottom of the roof sign and the top of a parallel parapet.*
  - 2) *When a roof sign is placed on the peak of a roof, the roof sign shall have a minimum clearance of 1½ feet between the bottom of the sign and the roof.*
- e) *Structure. Except for vertical poles, the supporting structure of a roof sign shall be completely enclosed.*

**Response:** The proposed sign is not a roof sign. These criteria are not applicable to this request.

#### Section 900.150: Wall Signs

- a) *Wall signs on building walls. Wall signs placed on a wall of a building shall conform to this subsection.*
  - 1) *Height*
    - A. *Wall signs may project above the higher of the eave line, roof line, or top of the parapet a distance equal to one-third of the height of the sign or three feet, whichever is less.*
    - B. *Wall signs that do not extend the full length of the wall may project above the eave line, roof line, or top of the parapet one-third of the height of a building if the building is less than 15 feet in height, or six feet if the building is over 15 feet in height.*
    - C. *The height of a wall sign that extends the full length of the wall shall not exceed four feet, measured from the roof line directly behind the wall to the top of the wall.*
    - D. *Wall signs attached to a marquee shall not exceed 30 inches in height.*
  - 2) *Structure*
    - A. *The supporting structure for any wall sign shall be completely enclosed so as not to be visible from any public street, alley, or adjacent property.*
    - B. *No external braces, guy wires, "A" frames, or similar bracing system shall be used in constructing a wall sign.*
    - C. *Wall signs may be installed on mansard roofs of 30 degrees or less, if they are installed vertically, and if the supporting structure is completely enclosed so as not to be visible from any public street, alley, or adjacent property.*
  - 3) *Clearance*
    - A. *The bottom of a wall sign that projects from a wall and is located on an alley shall have a clearance of not less than 14 feet from grade and shall have a maximum projection from the wall to which it is attached of not more than 12 inches.*
    - B. *The lower edge of a wall sign attached to a marquee shall not extend below the marquee.*



**Response:** The proposed sign is not a wall sign. Therefore, this section does not apply to this application.

Section 900.215: Permanent Signs in Public Zones

*b) Signs permitted in Public and Private Education (PE) Zones*

*1) The following signs are permitted in PE zones:*

*A. Wall signs. One wall sign for each building frontage, which shall be limited to the greater of 32 square feet or two percent of the gross face area of the building frontage on which it is located.*

**Response:** The proposed sign is not a wall sign. Therefore, the above criterion does not apply.

*B. Freestanding signs. One freestanding sign for each building frontage, which shall be limited to five feet in height and 24 square feet in total display surface; provided, however, that one such sign may be 15 feet in height and 24 square feet in total display surface. Such signs shall be set back at least three feet from a street front property line or the special setback area established by the Salem Zoning Ordinance, whichever is greater, provided further that, where adjacent property is zoned residential or commercial office, signs shall be set back at least 20 feet from the side lot line abutting a CO or residential zone.*

**Response:** There are existing freestanding signs on the project site, and the applicant is requesting a variance to allow for more than one freestanding sign on this frontage. Additionally, the freestanding sign is proposed to be approximately 6 feet 5 inches in height and 28.38 square feet in area, exceeding the dimensional requirements stated in Standard (B) above. Therefore, a variance is requested to allow the proposed sign to be taller than allowed, and larger than the standard 24 square feet in display area size. Please see details to the variance in Section 900.040 of this narrative.

*C. Vehicle directional signs. One vehicle directional sign located at each motor vehicle entrance to or exit from the property. A wall sign shall be limited to a display surface not exceeding four square feet. A freestanding sign shall be limited to a display surface not exceeding eight square feet and to a height not exceeding 30 inches.*

*D. Electronic display signs. Electronic display signs no larger than 800 square feet shall be permitted in the PH zone within stadiums, athletic fields, and other outdoor assembly facilities, where they are intended primarily for viewing by persons within the facility, are oriented toward the interior of the facility and viewing stands and are used only during events where the public attends as spectators. Notwithstanding any other provision of this chapter, signs allowed by this subsection may employ dissolve, fade, scrolling, static display, travel, and video display. Signs allowed by this subsection shall not be subject to the electronic sign display surface standards set forth in SRC 900.090(c).*

**Response:** The proposed sign is not considered a vehicle directional sign or an electronic display sign as defined by these standards. Therefore, the above standards do not apply to this application.



*E. Externally illuminated and internally illuminated signs. No flashing illumination shall be permitted.*

**Response:** The sign is not proposed to be illuminated. Therefore, this criterion does not apply.

### III. CONCLUSION

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This summary of request and supplemental attachments demonstrates that Sign 3 is in compliance with applicable approval criteria and code standards of Type III Sign Variance. The applicant respectfully requests that the City of Salem approve the land use application.



# Salem Health Hospital Sign Variance: Sign 4

Type III Review

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**Owner:** Salem Health  
890 Oak Street SE  
Salem, OR 97301

**Architect:** Scott Edwards Architecture  
2525 E Burnside St.  
Portland, OR 97214

Alden Kasiewicz  
[alden@seallp.com](mailto:alden@seallp.com)  
(503)226-3617

**Planner:** Harper Houf Peterson Righellis, Inc.  
205 SE Spokane Street, Suite 200  
Portland, OR 97202

Brad Kilby, AICP  
[brack@hhpr.com](mailto:brack@hhpr.com)  
(503)221-1131

**Site Location:** 890 Oak Street SE (Salem Health Campus)

**Tax Lot:** 073W27DA Tax Lot 1600

**Project Size:** 9.44 Acres

**Zone:** Public and Private Health Services (PH)

**Summary of Request:** The owner, Salem Health, is seeking a variance to allow for a freestanding directional pylon sign to exceed the quantity and height of section 900.215(C)(1)(B). The proposed display area would be 12.44 square feet and 13 feet tall. The hospital already has a freestanding sign that utilizes the height exemption of this section.

**Date:** November 29, 2021



# Table of Contents

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I.	SUMMARY OF PROPOSAL AND REQUEST .....	3
	Existing Conditions.....	3
	Proposal .....	4
II.	RESPONSES TO APPLICABLE CODE SECTIONS.....	5
	Chapter 900: Sign Code.....	5
III.	CONCLUSION .....	166





# I. SUMMARY OF PROPOSAL AND REQUEST

## Existing Conditions

Salem Health is the owner of the property and operates the Salem Hospital on the subject site. The hospital is in a campus setting, just south of downtown Salem and serves as the primary health care provider for Oregon's Mid-Willamette Valley. The hospital is one of Oregon's largest acute care hospitals and operates one of the busiest emergency departments on the West Coast. As one of Salem's largest employers, the hospital employs over 5,200 employees and has approximately 770 medical providers on staff. The hospital campus is generally divided into an east and west campus with Winter Street SE serving as the dividing line as illustrated in the vicinity map shown below. The topography is generally flat with slopes ranging between 3-5%. The campus is generally bound on the south by Mission Street SE, on the east by 12th Street SE, on the north by Bellevue Street SE and the Shelton Ditch, and on the west by Church Street SE and Pringle City Park. A tributary of Pringle Creek goes through the middle of the campus in an SE/NW direction. Many of the internal streets are private with public access easements overlaid.

**Vicinity Map**



## Proposed Sign Location

The proposed directional pylon would be located at the NW corner of the intersection of SE Capitol Street and SE Mission Street as shown in the image below.



## Proposal

Salem Health proposes to construct a pedestrian scale directional pylon sign that is 12.44 square feet in display area and 13 feet tall at the intersection of Mission Street SE and Capitol Street SE. Capitol Street SE is a private street internal to the campus but does provide one of two primary streets into the emergency department that is generally located at the southwest corner of the intersection of Capitol Street SE and Oak Street SE.



## II. RESPONSES TO APPLICABLE CODE SECTIONS

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**Note:** Responses to all applicable sections of the Salem Revised Code are included below. Sections that are not applicable or do not require a response may be omitted from the narrative text.

### Chapter 900: Sign Code

#### Section 900.020: Prohibited Signs

*The following signs are prohibited:*

- a) *Any sign which creates a public nuisance due to statements, words, or pictures of an obscene or pornographic character.*
- b) *Any sign which violates ORS ch. 377.*
- c) *Any sign which is placed on, affixed to, or painted on a motor vehicle, vehicle, or trailer and placed on public or private property with the primary purpose of providing a sign not otherwise permitted by this chapter.*
- d) *Any sign located in a manner which could impede traffic on any street, alley, bikeway, or other vehicular way.*
- e) *Any sign constructed in such a manner or at such a location that it will obstruct access to any fire escape or other means of ingress or egress from a building. No sign structure, or part thereof, shall cover, wholly or partially, any window or doorway in a manner that will substantially limit access to the building in case of fire.*
- f) *Any sign constructed or maintained which, by reason of its size, location, movement, coloring, or manner of illumination may be confused with or construed as an official traffic control device or which hides any official traffic control device from view.(g)Any sign, other than an official traffic control device, located within a vision clearance area.(h)Any sign that employs a structure, material, illumination, size, or placement not specifically allowed under this chapter, unless the sign is a lawfully established nonconforming sign.*

**Response:** The applicant is not proposing any the signs prohibited above. For reference, the sign does not display any prohibited content; does not affect any state highway (ORS 377); is not proposed to be fixed to any motor vehicle, vehicle, or trailer; would not be located within a vision clearance area or within an area that would impede traffic; is not in a location that would impact emergency access; and does not appear similar to any official traffic control device.

#### Section 900.025: Sign Permits

- a) *Applicability. Except as otherwise provided in this chapter, a permit is required for the construction, erection, enlargement, alteration, or relocation of any sign.*
- b) *Procedure type. An application for a sign permit is a Type I procedure under SRC chapter 300.*
- c) *Additional submittal requirements. In addition to the submittal requirements under SRC chapter 300, an application for a sign permit shall contain:*
  - 1) *The location of the sign by street and number.*
  - 2) *The name and address of the sign owner and of the sign erector.*



- 3) *Two complete sets of plans for the sign, in a graphic form, detailed and clear enough to show compliance with this chapter. At a minimum, the plans shall include:*
  - A. *A detailed drawing of the sign, drawn to scale.*
  - B. *Site plan drawn to scale, including location of all existing signs on the property and their sizes.*
  - C. *Elevations of the building or structure with signs.*
  - D. *Identification of materials and type of sign.*
  - E. *A statement whether the sign is located on property owned or leased by the person constructing, erecting, or using the sign.*
- d) *Criteria. An application for a sign permit shall be granted if the following criteria are met:*
  - 1) *The sign meets the requirements of SRC chapter 56.*
  - 2) *The sign is allowed in the zone.*
  - 3) *The sign will not interfere with the use of any public right-of-way, other public easements, or other publicly owned property.*
  - 4) *The sign conforms to all the applicable standards in this chapter.*
- e) *Expiration. Sign permits shall be valid for 180 days after the date of issuance. The Director may grant a one-time extension for a sign permit, not to exceed 90 days, upon showing that there was reasonable cause for the delay and that the construction, erection, alteration, or other work still complies with this chapter.*
- f) *Permit fees. The application for a sign permit shall be accompanied by a fee as prescribed by resolution of the council.*

**Response:** If the variance is approved, the applicant and contractor will obtain the necessary sign permits as required. Freestanding signs are authorized by Section 900.215(c)(1)(B) provided that they are limited to one free standing sign for each building frontage, five feet in height, and 24 square feet in total display surface.

Section 900.030: Exceptions from Permit Requirements

- a) *The following activities do not require a sign permit:*
  - 1) *Changing of copy on a sign specifically designed for the use of replaceable copy.*
  - 2) *Painting, repainting, cleaning, and normal maintenance and repair of a sign, where no substantial structural alteration is made.*
- b) *The following signs do not require a sign permit, but are otherwise regulated by this chapter:*
  - 1) *Temporary signs not located in the public right-of-way.*
  - 2) *Signs for dwelling units authorized under SRC 900.185(a).*
  - 3) *Vehicle directional signs.*
- c) *The following signs do not require a sign permit, and are allowed in addition to any other signs otherwise allowed by this chapter:*
  - 1) *A warning sign that does not exceed four square feet in display surface and six feet in height, that is not located in a vision clearance area, and that is erected on private property to warn the public of a danger on, or prohibiting or limiting access to, the premises on which the sign is located.*
  - 2) *Permanent building plaques, cornerstones, name plates, and similar building identifications.*



- 3) *House and building numbers where the numerals do not exceed six inches in height.*
- 4) *Historical markers erected or maintained by public authority or by a historical society or historical organization identifying sites, buildings, or structures of recognized historical value.*
- 5) *Non-illuminated signs not visible from a public sidewalk, street, highway, or alley.*
- 6) *Interior signs.*
  - A. *Non-illuminated interior signs in commercial and industrial zones, including, but not limited to, signs attached to or painted on the inside of a window.*
  - B. *Illuminated interior signs intended to be viewed from the public sidewalk, street, highway, alley, plaza, park, or other similar public place; provided, however, that the sign does not flash or employ an effect, and does not exceed eight square feet in display surface.*
  - C. *Illuminated interior signs not intended to be viewed from the public right-of-way*
- 7) *Directional signs that do not exceed eight square feet of display surface.*
- 8) *Directional signs in commercial and industrial zones that do not exceed 22 square feet of display surface, that designate an automobile service entrance onto the premises, and limited to one per business per premises.*
- 9) *Temporary signs authorized by a park use permit.*

**Response:** The sign is not excepted from any of the above permit requirements.

Section 900.040: Sign Variance

- a) *Applicability. Sign variances may be granted to the height and display surface standards, to increase the number of allowed signs, to allow relocation of a sign, and to allow structural alterations to a sign.*
  - 1) *Limitation. A sign variance shall not provide for any of the following:*
    - A. *To allow a sign prohibited by SRC 900.020, "Prohibited Signs."*
    - B. *To decrease a setback or a special setback.*
    - C. *To allow placement of a sign in a vision clearance area.*
    - D. *To allow structural alterations to a nonconforming or non-complying sign.*
    - E. *To authorize a sign not otherwise permitted on the property for which the variance is sought.*
    - F. *To allow any sign other than those specifically allowed by this chapter.*
    - G. *To modify the display and brightness regulations for electronic display sign established by SRC 900.090.*

**Responses:** This is a specific request to vary the allowed number of signs, height, and display area. It is not a request to allow a prohibited sign, decrease a setback, allow placement within a vision clearance area, allow structural alteration to a non-conforming or non-complying sign, allow a sign that is not otherwise permitted on the property, to allow a sign that's not specifically allowed by the chapter, or to modify an electronic display sign.

- b) *Procedure Type. A sign variance is a Type III procedure under SRC chapter 300.*

**Response:** The applicant is aware of the procedure and will comply with the applicant's responsibilities through the type III process.



- c) *Submittal requirements. In addition to the submittal requirements for a sign permit required by SRC 900.025, an application for a sign permit that includes a variance shall contain a statement of the specific standard for which the variance is requested, and the amount or scope of the variance.*

**Response:** As previously explained, this is a request for a sign that is allowed in the zone but exceeds the height and number of signs allowed in Section 900.215.(c)(1)(B) and 900.130. There is an existing free-standing sign at the intersection that fronts on to Mission Street The overall display area of the sign is 12.44 SF



- d) *Criteria. An application for a sign variance shall be granted if all of the following criteria are met:*
- a) *Compliance with the applicable standard would create an unnecessary hardship due to unique or unusual physical conditions of the property over which the applicant has no control, such as topography and lot shape, which are not present on other properties in the vicinity that have the same zone designation; the hardship does not result from actions of the applicant, owner, or previous owners of the property; and the sign variance is limited to the minimum reasonably necessary to alleviate the problem created by the unique or unusual physical conditions;*

**Response:** The owner is seeking support of a wayfinding plan for the entire campus. This property is larger than most of the surrounding properties and located in a specific zone that is geared towards public health facilities. The property includes several large buildings, parking areas and departments throughout the entire campus.



Salem Hospital is proposing a series of sign variances as part of a holistic wayfinding system that takes into consideration the state of mind of the visitor, site constraints, challenges, and the applicable sign code requirements. The signs proposed within the wayfinding plan are not located arbitrarily. Rather they are proposed in locations that are intended to eliminate confusion and promote clear and efficient movement throughout the campus for their patients.

- b) The sign variance is necessary to permit signage comparable with other properties in the vicinity that have the same zone designation;*

**Response:** There are no comparable properties within the vicinity that have the same zone designation. Salem Hospital is located within the PH zone and sits within a large campus setting. Similarly situated properties within the area most likely experiencing the same challenges may include Willamette University or the Capitol Campus. In both instances, the likelihood that their visitors are experiencing medical distress and confusion as a result of those stresses affecting their ability to find a location on those campuses is likely to be lower and more than likely not a matter of life or death.

- c) The sign variance will not adversely affect the function or appearance of the development and use of the property and surrounding properties; and*

**Response:** The proposed sign variance would not affect the function or appearance of the development and use of the property and surrounding properties. A variety of specialized medical services are provided throughout the campus as it is a regional hospital, not everyone that visits the campus is familiar with the area making wayfinding that much more important. The majority of signage proposed within the wayfinding plan is interior to the campus affording visitors additional information about the location of the services they may be seeking.

- d) The sign variance will not impose limitations on other properties and signage in the area, including signage that would be allowed on adjacent properties.*

**Response:** The proposed signage on this property provides messaging specific to the location of services for patients and visitors within the campus. There is no evidence to suggest that granting this variance would impose limitations on other properties or signage within the area.

- e) Conditions of approval. The Review Authority may impose conditions on the approval of a sign variance necessary to establish compliance with the approval criteria.*

**Response:** The applicant is aware that specific conditions could be imposed upon the approval of the variance if it were to be approved.

- f) Concurrent processing required. Applications for a sign variance shall be processed concurrently with the sign permit application.*

**Response:** Sign variances and applications for 11 signs are being requested concurrently with this request.



Section 900.045: Electronic Display Sign Conditional Use Permits

- a) *Applicability. This section applies to applications for conditional use permits to erect electronic display signs in residential zones.*
- b) *Procedure type. Electronic display sign conditional use permit applications are Type III procedures under SRC chapter 300.*
- c) *Additional submittal requirements. In addition to the submittal requirements for a sign permit required by SRC 900.025, an application for an electronic display sign conditional use permit shall contain a statement addressing the criteria set forth in subsection (d) of this section.*
- d) *Criteria. An application for an electronic display sign conditional use permit shall be granted if the following criteria are met:*
  - 1) *The sign will not create or significantly increase street level sign clutter;*
  - 2) *The sign will not adversely impact the neat, clean, orderly, and attractive appearance of the surrounding vicinity to a significant degree;*
  - 3) *The sign will not create a traffic or safety hazard; and*
  - 4) *The sign complies with all other standards in this chapter, including, but not limited to, height and placement standards.*
- e) *Conditions. The Review Authority shall impose such conditions on an electronic display sign conditional use permit as are necessary to establish compliance with the approval criteria.*
- f) *Concurrent processing required. Electronic display sign conditional use permits shall be processed concurrently with the sign permit application.*

**Response:** The requested sign is not an electronic display sign. These criteria are not applicable to this request.

Section 900.060: Materials

- a) *Except as otherwise specified in this section, materials used for construction of signs shall be of the quality and grade specified for buildings and structures pursuant to SRC chapter 56.*
- b) *Except for lamps, tubes, bulbs, or neon tubing, no glass shall be used in the display surface of any sign.*
- c) *Roof signs, wall signs, projecting signs, and hanging signs shall be constructed of noncombustible materials, except for nonstructural trim, display surfaces, and cutouts which may be constructed of wood, metal, approved plastics, or any combination thereof.*
- d) *Except as provided in subsection (e) of this section, only metal and approved plastics shall be used in construction of electronic display signs, internally illuminated signs, and externally illuminated signs.*
- e) *Combustible materials for covering or ornamenting a sign structure may be used for electronic display signs, internally illuminated signs, and externally illuminated signs, provided that no load-bearing member of the sign structure is constructed of combustible materials and there is no substantial fire or electrical safety hazard.*
- f) *The sign structure of outdoor advertising signs shall be metal.*

**Response:** The proposed materials for the sign will be metal and the sign will be internally lit so that the sign is visible at night. The foundation and electrical will be designed by professional installers.





Section 900.065: Sign Supports

*Unless approval to place a sign in right-of-way has been obtained from the applicable government agency, sign supports shall be located on private property.*

**Response:** The proposed sign will be located entirely upon private property. Please see the Campus Signage Site Plan for the proposed location. This sign is identified as sign #4 on the site plan.

Section 900.070: Electronic Sign Construction

- a) Electronic display signs, externally illuminated signs, and internally illuminated signs shall be permanently and rigidly affixed to the sign structure or building.*
- b) The bottom of electronic display signs, externally illuminated signs, and internally illuminated signs and outline lighting enclosures shall not be less than 16 feet above areas accessible to vehicles; provided, however, the bottom of such signs and enclosures may be less than 16 feet above areas accessible to vehicles where such enclosures are protected from physical damage.*
- c) Electronic display signs, externally illuminated signs, and internally illuminated signs shall have placed, within easy view, a laboratory label from an approved testing agency.*
- d) Electronic display signs, externally illuminated signs, and internally illuminated signs shall be serviced by underground utilities.*
- e) Where underground electric service is provided by a utility company, outdoor advertising signs shall be serviced by underground utilities.*

**Response:** The proposed sign is not an electronic sign. These criteria are not applicable to this proposal.

Section 900.075: General Illumination Standards; Zone-Specific Standards

- a) Except as otherwise provided in this section, permanent signs may be externally or internally illuminated.*
- b) Temporary signs shall not be externally or internally illuminated.*
- c) No sign shall use lights or illumination that creates an unduly distracting or hazardous condition to a motorist, a pedestrian, or the general public, or that may be confused with or construed as an official traffic control device.*
- d) Wall signs, roof signs, and projecting signs placed on a building face that fronts a residential use may not be externally or internally illuminated.*
- e) No reflective bulb, par spot, or incandescent lamp that exceeds 25 watts shall be exposed to direct view from a public street, but may be used for indirect illumination of a display surface.*
- f) Neon tubing shall not exceed 300 milliamperes for white tubing or 100 milliamperes for colored tubing.*
- g) Fluorescent tubes used for interior illumination of a sign shall be placed behind a plexiglass face and shall:
  - 1) In residential zones, not exceed illumination equivalent to 425 milliamperes, and be spaced at least seven inches apart, measured from center to center.*
  - 2) In commercial, industrial, and public zones, not exceed illumination equivalent to 800 milliamperes and be spaced at least nine inches apart, measured center to center.**
- h) The light source for an internally illuminated sign may be comprised of light emitting diodes, so long as the light emitting diodes are used for illumination only, do not create an electronic display or effect, and conform to the brightness limitations set forth in SRC 900.090.*



i) *Zone-specific standards. Notwithstanding subsection (a) of this section, the following standards apply in the following zones:*

- 1) *In the Residential Agriculture (RA), Single Family Residential (RS), Duplex Residential (RD), Multiple Family Residential (RMI and RMII), Multiple High-Rise Residential (RH), and Exclusive Farm Use (EFU) Zones: [...]*
- 2) *In the Neighborhood Commercial (CN), Neighborhood Center Mixed-Use (NCMU), Commercial Office (CO), and Fairview Mixed-Use (FMU) Zones: [...]*
- 3) *In the South Waterfront Mixed-Use (SWMU) Zone, signs facing the Willamette River shall not be illuminated.*
- 4) *In the Public and Private Cemeteries (PC), Capitol Mall (PM), and Public Service (PS) Zones, externally and internally illuminated signs are permitted only where the adjacent property is zoned commercial or industrial.*
- 5) *In the Public and Private Health Services (PH) Zone, only signs designating emergency entrances shall be illuminated.*

**Response:** The proposed sign is intended to designate the location of an emergency room as shown on the Campus Signage Types plan included with this submittal. As proposed, the sign will be internally illuminated on a permanent foundation served by low voltage underground utilities.

Section 900.085: Effects

- a) *The use of effects is allowed only where flashing light is allowed, subject to the standards set forth in SRC 900.080 and in this section.*
- b) *No sign may use a speller effect, or effect in the form of a starburst, expanding starburst, expanding arrow, or extending arrow.*
- c) *Chaser effects.*
  - 1) *Each display surface may have only one chaser effect.*
  - 2) *Only one sign per building frontage may use a chaser effect. If building has frontage on two or more streets, the building may have a sign using a chaser effect on each frontage.*
  - 3) *No chaser effect is permitted to be on the same side of a sign as flashing light.*
  - 4) *No chaser effect shall exceed 20 percent of the illuminated display surface of the sign.*
  - 5) *No chaser effect shall produce an apparent motion in a single direction that exceeds ten feet per second plus an additional five feet per second for each ten-foot distance over 20 feet between the sign and the nearest adjacent street or highway right-of-way, up to a maximum of 50 feet per second.*
  - 6) *This subsection shall not apply to chaser effects on theater marquees.*

**Response:** No effects are proposed with this sign. These criteria are not applicable to the proposed sign.

Section 900.100: Signs Installed Over or Within the Right-of-Way

*No sign shall be erected over or within the public right-of-way unless the placement of the sign is first approved by the governmental unit having jurisdiction over the right-of-way.*

**Response:** The proposed sign will be located entirely within the boundaries of the property. This criterion is not applicable to the proposed sign.



Section 900.115: Sign Location for Safety

- a) *No sign shall be erected or maintained which, by reason of its size, location, or construction constitutes a hazard to the public.*
- b) *No sign shall obstruct any building opening such that light or ventilation is reduced below minimums required by the Salem Revised Code or any other applicable law.*
- c) *No sign shall be erected within five feet of an exterior wall in which there are openings that lie directly behind the display surface unless the sign conforms with the requirements specified by SRC chapter 56 and the sign is constructed of noncombustible materials or approved plastics.*
- d) *Any sign located on a sidewalk shall have a safety barrier of not less than 18 inches, measured from the bottom of the sidewalk surface, and constructed of solid and seamless materials.*
- e) *No sign shall be placed within a sidewalk intersection.*
- f) *Signs shall be located not less than ten feet horizontally and ten feet vertically from all overhead electrical conductors which are energized in excess of 750 volts.*

**Response:** The proposed sign is not proposed in a location that would constitute a hazard to the public, block an entrance to a building, or obstruct a sidewalk. None of the other criterion listed in this section are applicable to the proposed sign.

Section 900.120: Sign Maintenance

- a) *All signs, together with the site and all components of the sign structure, shall be kept in good repair, free from deterioration, and in a neat, clean, attractive, and safe condition.*
- b) *No sign shall be located on a wall facing a side lot line if it is necessary to go onto the adjacent lot to install or service the sign, unless written consent of the adjacent property owner has been obtained prior to the issuance of the sign permit.*

**Response:** The signs will become part of the regular maintenance associated with the upkeep of the campus and campus facilities. These criteria are not applicable to the proposed sign.

Section 900.130: Freestanding Signs

- a) *Setbacks.*
  - 1) *Freestanding signs shall have a setback of not less than three feet from the street front property line, unless the property is subject to a special setback area and no authorization to place a freestanding sign in the special setback area has been given, in which case the freestanding sign shall be setback not less than three feet from the special setback area.*
  - 2) *Freestanding signs shall have a setback of not less than five feet from a side property line.*
- b) *Structure.*
  - 1) *A freestanding sign shall be directly supported by poles or a foundation.*
  - 2) *No external cross braces, guy wires, "T" frames, "A" frames, "trusses," or similar bracing systems shall be used in constructing freestanding signs. Nothing in this subsection prohibits the use of standardized outdoor advertising structures and stringers customarily used for the support of sections of the display surface.*
- c) *Limit. A corner lot shall be limited to one freestanding sign.*



**Response:** The proposed sign is located within a side setback along Capitol Street SE. As proposed, the sign will be supported by a foundation that is located a minimum of five feet behind the property line. Please see the dimensioned site plan for specific details.

Section 900.135: Hanging Signs

- a) *Clearance. Hanging signs shall have a vertical clearance of seven feet, six inches between the bottom of the hanging sign and the grade below the sign.*
- b) *Structure. No supporting member of any hanging sign shall pierce or extend through the support structure.*
- c) *Size. The display surface of a hanging sign shall not exceed six square feet.*

**Response:** The proposed sign is not a hanging sign. These criteria are not applicable to this request.

Section 900.145: Roof Signs

- a) *Width. On buildings that are less than 50 feet wide, the width of a roof sign shall be no greater than 50 percent of the width of building. On buildings that are 50 feet wide or greater, the width of a roof sign shall be no greater than 25 feet or 25 percent of the width of the building, whichever is less.*
- b) *Height.*
  - 1) *Roof signs located on a flat roof shall not exceed the following heights:*
    - A. *Building height of 15 feet or less, six feet.*
    - B. *Building height of 15 to 20 feet, seven feet.*
    - C. *Building height greater than 20 feet, eight feet.*
  - 2) *The height of a roof sign located on a gable, hipped roof, or pitched roof that is less than eight feet in height shall be no greater than 50 percent of the vertical height of the roof. The height of roof signs located on a gable, hipped roof, or pitched roof that is eight feet in height or greater shall be no greater than four feet or 25 percent of the vertical height of the roof, whichever is larger. Vertical height shall be measured from the lower edge of the roof to the peak of the gable, hip, or pitch, vertically from, and not along the plane of, the gable, hip, or pitch.*
  - 3) *Roof signs located on a marquee or canopy shall not exceed a height of four feet above the roof of the marquee or canopy.*
- c) *Setbacks.*
  - 1) *A roof sign shall be setback a minimum of three feet from the front wall.*
  - 2) *A roof sign shall be setback a minimum of three feet from each end wall.*
- d) *Clearance.*
  - 1) *A roof sign shall have a minimum clearance of three feet between the bottom of the roof sign and the top of a parallel parapet.*
  - 2) *When a roof sign is placed on the peak of a roof, the roof sign shall have a minimum clearance of 1½ feet between the bottom of the sign and the roof.*
- e) *Structure. Except for vertical poles, the supporting structure of a roof sign shall be completely enclosed.*

**Response:** The proposed sign is not a roof sign. These criteria are not applicable to this request.



Section 900.215: Permanent Signs in Public Zones

b) *Signs permitted in Public and Private Education (PE) Zones*

1) *The following signs are permitted in PE zones:*

- A. *Wall signs. One wall sign for each building frontage, which shall be limited to the greater of 32 square feet or two percent of the gross face area of the building frontage on which it is located.*

**Response:** The proposed sign is not a wall sign. Therefore, the above criterion does not apply.

- B. *Freestanding signs. One freestanding sign for each building frontage, which shall be limited to five feet in height and 24 square feet in total display surface; provided, however, that one such sign may be 15 feet in height and 24 square feet in total display surface. Such signs shall be set back at least three feet from a street front property line or the special setback area established by the Salem Zoning Ordinance, whichever is greater, provided further that, where adjacent property is zoned residential or commercial office, signs shall be set back at least 20 feet from the side lot line abutting a CO or residential zone.*

**Response:** There are existing freestanding signs on the project site, and the applicant is requesting a variance to allow for more than one freestanding sign on the building frontage. Additionally, the freestanding sign is proposed to be approximately 13 feet in height and 12.44 square feet in display area, exceeding the height requirements in Standard (B) above. Therefore, a variance is requested to allow the proposed sign to be taller than the 5-foot standard. Please see details to the variance in Section 900.040 of this narrative.

- C. *Vehicle directional signs. One vehicle directional sign located at each motor vehicle entrance to or exit from the property. A wall sign shall be limited to a display surface not exceeding four square feet. A freestanding sign shall be limited to a display surface not exceeding eight square feet and to a height not exceeding 30 inches.*
- D. *Electronic display signs. Electronic display signs no larger than 800 square feet shall be permitted in the PH zone within stadiums, athletic fields, and other outdoor assembly facilities, where they are intended primarily for viewing by persons within the facility, are oriented toward the interior of the facility and viewing stands and are used only during events where the public attends as spectators. Notwithstanding any other provision of this chapter, signs allowed by this subsection may employ dissolve, fade, scrolling, static display, travel, and video display. Signs allowed by this subsection shall not be subject to the electronic sign display surface standards set forth in SRC 900.090(c).*

**Response:** The proposed sign is intended to be a directional sign however, not as defined in this Chapter. The sign is not considered an electronic display sign. Therefore, the above standards do not apply to this application.



*E. Externally illuminated and internally illuminated signs. No flashing illumination shall be permitted.*

**Response:** The project complies with this standard. Sign 4 is proposed to be an internally illuminated emergency freestanding pylon and it will not include any flashing illumination.

### III. CONCLUSION

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This summary of request and supplemental attachments demonstrates compliance with applicable approval criteria and code standards of Type III Sign Variance. The applicant respectfully requests that the City of Salem approve the land use application.



# Salem Health Hospital Sign Variance: Sign 5

Type III Review

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**Owner:** Salem Health  
890 Oak Street SE  
Salem, OR 97301

**Architect:** Scott Edwards Architecture  
2525 E Burnside St.  
Portland, OR 97214

Alden Kasiewicz  
[alden@seallp.com](mailto:alden@seallp.com)  
(503)226-3617

**Planner:** Harper Houf Peterson Righellis, Inc.  
205 SE Spokane Street, Suite 200  
Portland, OR 97202

Brad Kilby, AICP  
[brack@hhpr.com](mailto:brack@hhpr.com)  
(503)221-1131

**Site Location:** 890 Oak Street SE (Salem Health Campus)

**Tax Lot:** 073W27DA Tax Lot 05500

**Project Size:** 5.42 acres

**Zone:** Public and Private Health Services (PH)

**Summary of Request:** The owner, Salem Health, is seeking a variance to allow for a freestanding directional pylon sign to exceed the quantity and height of section 900.215(C)(1)(B). The proposed display area would be 26.3 square feet of display area and 17 feet 6 inches tall. The hospital already has a freestanding sign that utilizes the height exemption of this section.

**Date:** October 1, 2021



# Table of Contents

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I.	SUMMARY OF PROPOSAL AND REQUEST .....	3
	Existing Conditions.....	3
	Proposal .....	4
II.	RESPONSES TO APPLICABLE CODE SECTIONS.....	5
	Chapter 900: Sign Code.....	5
III.	CONCLUSION .....	16





# I. SUMMARY OF PROPOSAL AND REQUEST

## Existing Conditions

Salem Health is the owner of the property and operates the Salem Hospital on the subject site. The hospital is in a campus setting, just south of downtown Salem and serves as the primary health care provider for Oregon’s Mid-Willamette Valley. The hospital is one of Oregon’s largest acute care hospitals and operates the busiest emergency department on the West Coast. As one of Salem’s largest employers, the hospital employs over 5,200 employees and has approximately 770 medical providers on staff. The hospital campus is generally divided into an east and west campus with Winter Street SE serving as the dividing line as illustrated in the vicinity map shown below. The topography is generally flat with slopes ranging between 3-5%. The campus is generally bound on the south by Mission Street SE, on the east by 12<sup>th</sup> Street SE, on the north by Bellevue Street SE and the Shelton Ditch, and on the west by Church Street SE and Pringle City Park. A tributary of Pringle Creek goes through the middle of the campus in an SE/NW direction. Many of the internal streets are private with public access easements overlaid.

Vicinity Map



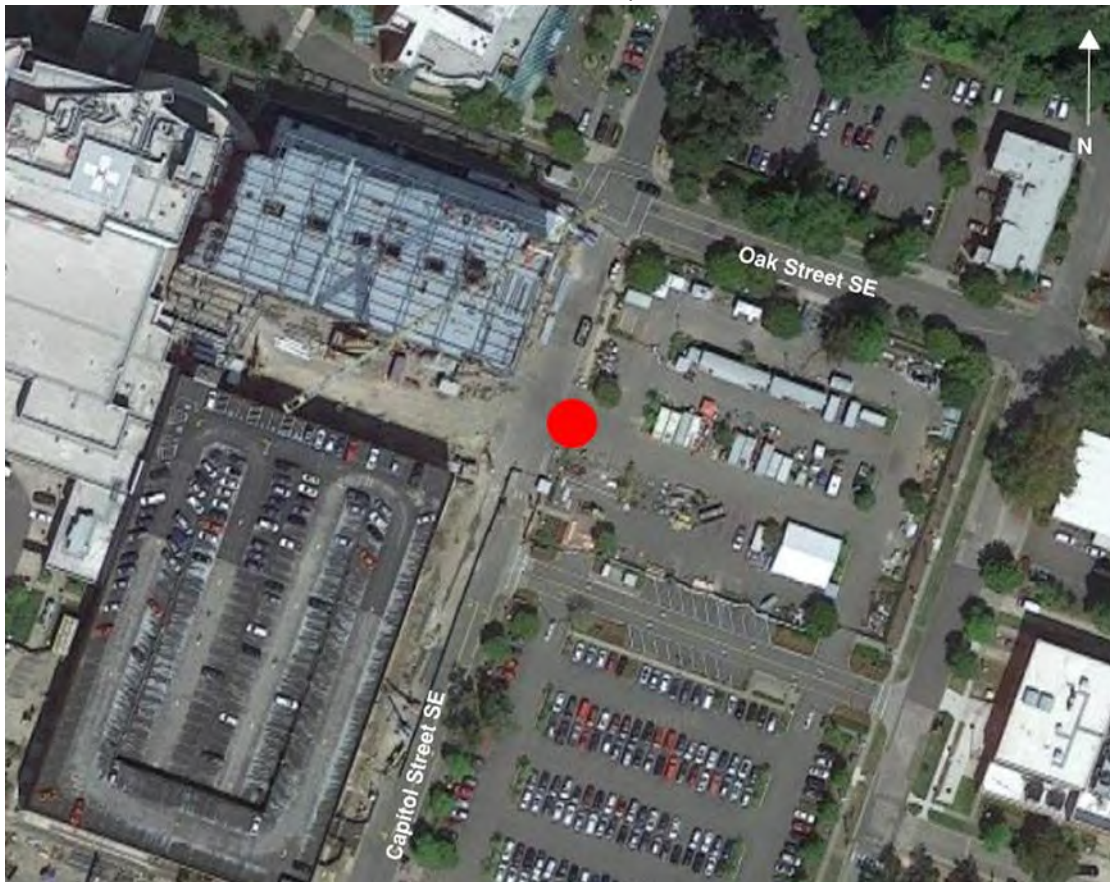
## Proposed Sign Location

Looking north along Capitol Street SE on the east side across from the new entrance to the Emergency Room.

## Proposal

Salem Health proposes to construct a freestanding sign that is approximately 26.3 square feet in display area and 17.5 feet in height on Capitol Street SE near the entrance to the emergency department. The applicant is requesting a variance to Standard 900.215(c)(1)(B) of the Salem Sign Code to allow for this freestanding sign to be larger than the standard display area of 24 square feet, taller than six feet, and to allow for more than one freestanding sign on Capitol Street SE. The approximate location of Sign 5 is shown below marked with a red circle.

Location Map



## II. RESPONSES TO APPLICABLE CODE SECTIONS

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**Note:** Responses to all applicable sections of the Salem Revised Code are included below. Sections that are not applicable or do not require a response may be omitted from the narrative text.

### Chapter 900: Sign Code

#### Section 900.020: Prohibited Signs

*The following signs are prohibited:*

- a) Any sign which creates a public nuisance due to statements, words, or pictures of an obscene or pornographic character.*
- b) Any sign which violates ORS ch. 377.*
- c) Any sign which is placed on, affixed to, or painted on a motor vehicle, vehicle, or trailer and placed on public or private property with the primary purpose of providing a sign not otherwise permitted by this chapter.*
- d) Any sign located in a manner which could impede traffic on any street, alley, bikeway, or other vehicular way.*
- e) Any sign constructed in such a manner or at such a location that it will obstruct access to any fire escape or other means of ingress or egress from a building. No sign structure, or part thereof, shall cover, wholly or partially, any window or doorway in a manner that will substantially limit access to the building in case of fire.*
- f) Any sign constructed or maintained which, by reason of its size, location, movement, coloring, or manner of illumination may be confused with or construed as an official traffic control device or which hides any official traffic control device from view.(g)Any sign, other than an official traffic control device, located within a vision clearance area.(h)Any sign that employs a structure, material, illumination, size, or placement not specifically allowed under this chapter, unless the sign is a lawfully established nonconforming sign.*

**Response:** The applicant is not proposing any of the signs prohibited above. For reference, the sign does not display any prohibited content; does not affect any state highway (ORS 377); is not proposed to be fixed to any motor vehicle, vehicle, or trailer; would not be located within a vision clearance area or within an area that would impede traffic; is not in a location that would impact emergency access; and does not appear similar to any official traffic control device.

#### Section 900.025: Sign Permits

- a) Applicability. Except as otherwise provided in this chapter, a permit is required for the construction, erection, enlargement, alteration, or relocation of any sign.*
- b) Procedure type. An application for a sign permit is a Type I procedure under SRC chapter 300.*
- c) Additional submittal requirements. In addition to the submittal requirements under SRC chapter 300, an application for a sign permit shall contain:
  - 1) The location of the sign by street and number.*
  - 2) The name and address of the sign owner and of the sign erector.**



- 3) *Two complete sets of plans for the sign, in a graphic form, detailed and clear enough to show compliance with this chapter. At a minimum, the plans shall include:*
  - A. *A detailed drawing of the sign, drawn to scale.*
  - B. *Site plan drawn to scale, including location of all existing signs on the property and their sizes.*
  - C. *Elevations of the building or structure with signs.*
  - D. *Identification of materials and type of sign.*
  - E. *A statement whether the sign is located on property owned or leased by the person constructing, erecting, or using the sign.*
- d) *Criteria. An application for a sign permit shall be granted if the following criteria are met:*
  - 1) *The sign meets the requirements of SRC chapter 56.*
  - 2) *The sign is allowed in the zone.*
  - 3) *The sign will not interfere with the use of any public right-of-way, other public easements, or other publicly owned property.*
  - 4) *The sign conforms to all the applicable standards in this chapter.*
- e) *Expiration. Sign permits shall be valid for 180 days after the date of issuance. The Director may grant a one-time extension for a sign permit, not to exceed 90 days, upon showing that there was reasonable cause for the delay and that the construction, erection, alteration, or other work still complies with this chapter.*
- f) *Permit fees. The application for a sign permit shall be accompanied by a fee as prescribed by resolution of the council.*

**Response:** The applicant is requesting a variance to Section 900.215(c)(1)(B) to allow for a larger display area, larger height, and additional sign on the street frontage. If the variance is approved, the applicant and contractor will obtain the necessary sign permits as required.

Section 900.030: Exceptions from Permit Requirements

- a) *The following activities do not require a sign permit:*
  - 1) *Changing of copy on a sign specifically designed for the use of replaceable copy.*
  - 2) *Painting, repainting, cleaning, and normal maintenance and repair of a sign, where no substantial structural alteration is made.*
- b) *The following signs do not require a sign permit, but are otherwise regulated by this chapter:*
  - 1) *Temporary signs not located in the public right-of-way.*
  - 2) *Signs for dwelling units authorized under SRC 900.185(a).*
  - 3) *Vehicle directional signs.*
- c) *The following signs do not require a sign permit, and are allowed in addition to any other signs otherwise allowed by this chapter:*
  - 1) *A warning sign that does not exceed four square feet in display surface and six feet in height, that is not located in a vision clearance area, and that is erected on private property to warn the public of a danger on, or prohibiting or limiting access to, the premises on which the sign is located.*
  - 2) *Permanent building plaques, cornerstones, name plates, and similar building identifications.*



- 3) *House and building numbers where the numerals do not exceed six inches in height.*
- 4) *Historical markers erected or maintained by public authority or by a historical society or historical organization identifying sites, buildings, or structures of recognized historical value.*
- 5) *Non-illuminated signs not visible from a public sidewalk, street, highway, or alley.*
- 6) *Interior signs.*
  - A. *Non-illuminated interior signs in commercial and industrial zones, including, but not limited to, signs attached to or painted on the inside of a window.*
  - B. *Illuminated interior signs intended to be viewed from the public sidewalk, street, highway, alley, plaza, park, or other similar public place; provided, however, that the sign does not flash or employ an effect, and does not exceed eight square feet in display surface.*
  - C. *Illuminated interior signs not intended to be viewed from the public right-of-way*
- 7) *Directional signs that do not exceed eight square feet of display surface.*
- 8) *Directional signs in commercial and industrial zones that do not exceed 22 square feet of display surface, that designate an automobile service entrance onto the premises, and limited to one per business per premises.*
- 9) *Temporary signs authorized by a park use permit.*

**Response:** The sign is not exempt from any of the above permit requirements.

Section 900.040: Sign Variance

- a) *Applicability. Sign variances may be granted to the height and display surface standards, to increase the number of allowed signs, to allow relocation of a sign, and to allow structural alterations to a sign.*
  - 1) *Limitation. A sign variance shall not provide for any of the following:*
    - A. *To allow a sign prohibited by SRC 900.020, "Prohibited Signs."*
    - B. *To decrease a setback or a special setback.*
    - C. *To allow placement of a sign in a vision clearance area.*
    - D. *To allow structural alterations to a nonconforming or non-complying sign.*
    - E. *To authorize a sign not otherwise permitted on the property for which the variance is sought.*
    - F. *To allow any sign other than those specifically allowed by this chapter.*
    - G. *To modify the display and brightness regulations for electronic display sign established by SRC 900.090.*

**Responses:** This is a specific request to allow for an additional freestanding sign on Capitol Street SE near the entrance to the emergency department that is larger than allowed under Standard 900.215(c)(1)(B). It is not a request to allow a prohibited sign, decrease a setback, allow placement within a vision clearance area, allow structural alteration to a non-conforming or non-complying sign, allow a sign that is not otherwise permitted on the property, to allow a sign that's not specifically allowed by the chapter, or to modify an electronic display sign.

- b) *Procedure Type. A sign variance is a Type III procedure under SRC chapter 300.*

**Response:** The applicant is aware of the procedure and will comply with the applicant's responsibilities through the Type III process.



c) *Submittal requirements. In addition to the submittal requirements for a sign permit required by SRC 900.025, an application for a sign permit that includes a variance shall contain a statement of the specific standard for which the variance is requested, and the amount or scope of the variance.*

**Response:** As mentioned, this is a request for a variance to Standard 900.215(c)(1)(B) to allow multiple freestanding signs located on Capitol Street SE, for the sign to exceed the display area of 24 feet, and to be 17.5 feet in height (greater than the standard of 5 feet in height). Because there are existing signs on the Capitol Street SE frontage of the property, a variance is also requested to the quantity allowed under Standard 900.215(c)(1)(B). Below is the approximate design and location of Sign 5.



- d) *Criteria. An application for a sign variance shall be granted if all of the following criteria are met:*
- a) *Compliance with the applicable standard would create an unnecessary hardship due to unique or unusual physical conditions of the property over which the applicant has no control, such as topography and lot shape, which are not present on other properties in the vicinity that have the same zone designation; the hardship does not result from actions of the applicant, owner, or previous owners of the property; and the sign variance is limited to the minimum reasonably necessary to alleviate the problem created by the unique or unusual physical conditions;*

**Response:** The owner is seeking support of a wayfinding plan for the entire campus. This property is larger than most of the surrounding properties and located in a specific zone that is geared towards public health facilities. The property includes several large buildings, parking areas and departments throughout the entire campus. Salem Hospital is proposing a series of sign variances as part of a holistic wayfinding system that takes into consideration the state of mind of the visitor, site constraints, challenges, and the applicable sign code requirements. The signs proposed within the wayfinding plan are not located arbitrarily. Rather they are proposed in locations that are intended to eliminate confusion and promote clear and efficient movement throughout the campus for their patients. Specifically, Sign 5 will clearly mark the entrance to the emergency room large enough to be seen in an approaching vehicle from Oak Street SE and Mission Street SE along Capitol Street SE.

- b) *The sign variance is necessary to permit signage comparable with other properties in the vicinity that have the same zone designation;*

**Response:** There are no comparable properties within the vicinity that have the same zone designation. Salem Hospital is located within the PH zone and sits within a large campus setting. Similarly situated properties within the area most likely experiencing the same challenges may include Willamette University or the Capitol Campus. In both instances, the likelihood that their visitors are experiencing medical distress and confusion as a result of those stresses affecting their ability to find a location on those campuses is likely to be lower and more than likely not a matter of life or death.

- c) *The sign variance will not adversely affect the function or appearance of the development and use of the property and surrounding properties; and*

**Response:** The proposed sign variance would not affect the function or overall appearance of the development and use of the property and surrounding properties. A variety of specialized medical services are provided throughout the campus as it is a regional hospital, not everyone that visits the campus is familiar with the area making wayfinding that much more important. The majority of signage proposed within the wayfinding plan is interior to the campus affording visitors additional information about the location of the services they may be seeking. This specific sign will ensure that visitors and patients traveling onto the hospital campus will be able to easily navigate to the emergency department. This proposed sign is located interior to the campus along private streets that are provided with public access easements.



- d) *The sign variance will not impose limitations on other properties and signage in the area, including signage that would be allowed on adjacent properties.*

**Response:** The proposed signage on this property provides messaging specific to the location of services for patients and visitors within the campus to the emergency room entrance. There is no evidence to suggest that granting this variance would impose limitations on other properties or signage within the area.

- e) *Conditions of approval. The Review Authority may impose conditions on the approval of a sign variance necessary to establish compliance with the approval criteria.*

**Response:** The applicant is aware that specific conditions could be imposed upon the approval of the variance if it were to be approved.

- f) *Concurrent processing required. Applications for a sign variance shall be processed concurrently with the sign permit application.*

**Response:** Sign variances and applications for 13 signs are being requested concurrently with this request.

#### Section 900.060: Materials

- a) *Except as otherwise specified in this section, materials used for construction of signs shall be of the quality and grade specified for buildings and structures pursuant to SRC chapter 56.*
- b) *Except for lamps, tubes, bulbs, or neon tubing, no glass shall be used in the display surface of any sign.*
- c) *Roof signs, wall signs, projecting signs, and hanging signs shall be constructed of noncombustible materials, except for nonstructural trim, display surfaces, and cutouts which may be constructed of wood, metal, approved plastics, or any combination thereof.*
- d) *Except as provided in subsection (e) of this section, only metal and approved plastics shall be used in construction of electronic display signs, internally illuminated signs, and externally illuminated signs.*
- e) *Combustible materials for covering or ornamenting a sign structure may be used for electronic display signs, internally illuminated signs, and externally illuminated signs, provided that no load-bearing member of the sign structure is constructed of combustible materials and there is no substantial fire or electrical safety hazard.*
- f) *The sign structure of outdoor advertising signs shall be metal.*

**Response:** The proposed materials for the sign will be metal and the sign will be installed by professionals.

#### Section 900.065: Sign Supports

*Unless approval to place a sign in right-of-way has been obtained from the applicable government agency, sign supports shall be located on private property.*

**Response:** The proposed sign will be located entirely upon private property. Please see the Campus Signage Site Plan for the proposed location. This sign is identified as Sign 5 on the attached site plan.





Section 900.070: Electronic Sign Construction

- a) *Electronic display signs externally illuminated signs, and internally illuminated signs shall be permanently and rigidly affixed to the sign structure or building.*
- b) *The bottom of electronic display signs externally illuminated signs, and internally illuminated signs and outline lighting enclosures shall not be less than 16 feet above areas accessible to vehicles; provided, however, the bottom of such signs and enclosures may be less than 16 feet above areas accessible to vehicles where such enclosures are protected from physical damage.*
- c) *Electronic display signs externally illuminated signs, and internally illuminated signs shall have placed, within easy view, a laboratory label from an approved testing agency.*
- d) *Electronic display signs externally illuminated signs, and internally illuminated signs shall be serviced by underground utilities.*
- e) *Where underground electric service is provided by a utility company, outdoor advertising signs shall be serviced by underground utilities.*

**Response:** The proposed sign is not an electronic sign. These criteria are not applicable to this proposal.

Section 900.075: General Illumination Standards; Zone-Specific Standards

- a) *Except as otherwise provided in this section, permanent signs may be externally or internally illuminated.*
- b) *Temporary signs shall not be externally or internally illuminated.*
- c) *No sign shall use lights or illumination that creates an unduly distracting or hazardous condition to a motorist, a pedestrian, or the general public, or that may be confused with or construed as an official traffic control device.*
- d) *Wall signs, roof signs, and projecting signs placed on a building face that fronts a residential use may not be externally or internally illuminated.*
- e) *No reflective bulb, par spot, or incandescent lamp that exceeds 25 watts shall be exposed to direct view from a public street but may be used for indirect illumination of a display surface.*
- f) *Neon tubing shall not exceed 300 milliamperes for white tubing or 100 milliamperes for colored tubing.*
- g) *Fluorescent tubes used for interior illumination of a sign shall be placed behind a plexiglass face and shall:*
  - 1) *In residential zones, not exceed illumination equivalent to 425 milliamperes, and be spaced at least seven inches apart, measured from center to center.*
  - 2) *In commercial, industrial, and public zones, not exceed illumination equivalent to 800 milliamperes and be spaced at least nine inches apart, measured center to center.*
- h) *The light source for an internally illuminated sign may be comprised of light emitting diodes, so long as the light emitting diodes are used for illumination only, do not create an electronic display or effect, and conform to the brightness limitations set forth in SRC 900.090.*
- i) *Zone-specific standards. Notwithstanding subsection (a) of this section, the following standards apply in the following zones:*
  - 5) *In the Public and Private Health Services (PH) Zone, only signs designating emergency entrances shall be illuminated.*



**Response:** The project complies with this standard. The permanent freestanding emergency sign is proposed to be internally illuminated and will be designed to satisfy all illumination standards for the PH zoning district.

Section 900.085: Effects

- a) *The use of effects is allowed only where flashing light is allowed, subject to the standards set forth in SRC 900.080 and in this section.*
- b) *No sign may use a speller effect, or effect in the form of a starburst, expanding starburst, expanding arrow, or extending arrow.*
- c) *Chaser effects.*
  - 1) *Each display surface may have only one chaser effect.*
  - 2) *Only one sign per building frontage may use a chaser effect. If building has frontage on two or more streets, the building may have a sign using a chaser effect on each frontage.*
  - 3) *No chaser effect is permitted to be on the same side of a sign as flashing light.*
  - 4) *No chaser effect shall exceed 20 percent of the illuminated display surface of the sign.*
  - 5) *No chaser effect shall produce an apparent motion in a single direction that exceeds ten feet per second plus an additional five feet per second for each ten-foot distance over 20 feet between the sign and the nearest adjacent street or highway right-of-way, up to a maximum of 50 feet per second.*
  - 6) *This subsection shall not apply to chaser effects on theater marquees.*

**Response:** No electronic mobile effects are proposed with this sign. These criteria are not applicable to the proposed sign.

Section 900.100: Signs Installed Over or Within the Right-of-Way

*No sign shall be erected over or within the public right-of-way unless the placement of the sign is first approved by the governmental unit having jurisdiction over the right-of-way.*

**Response:** The proposed sign will be located entirely within the boundaries of the campus and property. This criterion is not applicable to the proposed sign.

Section 900.115: Sign Location for Safety

- a) *No sign shall be erected or maintained which, by reason of its size, location, or construction constitutes a hazard to the public.*
- b) *No sign shall obstruct any building opening such that light or ventilation is reduced below minimums required by the Salem Revised Code or any other applicable law.*
- c) *No sign shall be erected within five feet of an exterior wall in which there are openings that lie directly behind the display surface unless the sign conforms with the requirements specified by SRC chapter 56 and the sign is constructed of noncombustible materials or approved plastics.*
- d) *Any sign located on a sidewalk shall have a safety barrier of not less than 18 inches, measured from the bottom of the sidewalk surface, and constructed of solid and seamless materials.*
- e) *No sign shall be placed within a sidewalk intersection.*
- f) *Signs shall be located not less than ten feet horizontally and ten feet vertically from all overhead electrical conductors which are energized in excess of 750 volts.*



**Response:** The proposed sign is not proposed in a location that would constitute a hazard to the public. It will not obstruct the entrance to a building or sidewalk. None of the other criterion listed in this section are applicable to the proposed sign.

Section 900.120: Sign Maintenance

- a) *All signs, together with the site and all components of the sign structure, shall be kept in good repair, free from deterioration, and in a neat, clean, attractive, and safe condition.*
- b) *No sign shall be located on a wall facing a side lot line if it is necessary to go onto the adjacent lot to install or service the sign, unless written consent of the adjacent property owner has been obtained prior to the issuance of the sign permit.*

**Response:** The signs will become part of the regular maintenance associated with the upkeep of the campus and campus facilities. These criteria are not applicable to the proposed sign.

Section 900.130: Freestanding Signs

- a) *Setbacks.*
  - 1) *Freestanding signs shall have a setback of not less than three feet from the street front property line, unless the property is subject to a special setback area and no authorization to place a freestanding sign in the special setback area has been given, in which case the freestanding sign shall be setback not less than three feet from the special setback area.*
  - 2) *Freestanding signs shall have a setback of not less than five feet from a side property line.*

**Response:** The project complies with this standard. Sign 5 will be located at least 3 feet from the front property line on Capitol Street SE.

- b) *Structure.*
  - 1) *A freestanding sign shall be directly supported by poles or a foundation.*
  - 2) *No external cross braces, guy wires, "T" frames, "A" frames, "trusses," or similar bracing systems shall be used in constructing freestanding signs. Nothing in this subsection prohibits the use of standardized outdoor advertising structures and stringers customarily used for the support of sections of the display surface.*

**Response:** The project complies with this standard. The proposed sign will be a freestanding pylon styled sign that will be placed directly on a foundation. There will be no external braces supporting the sign.

- c) *Limit. A corner lot shall be limited to one freestanding sign.*

**Response:** Acknowledged by the applicant. There is an existing freestanding sign on the property on Capitol Street SE. The applicant is requesting a variance to allow for this additional wayfinding sign and to allow for the sign to exceed the dimensional standards of Section 900.215(b)(1)(B). Details on the requested variance can be found in Section 900.040 of this narrative.



Section 900.135: Hanging Signs

- a) *Clearance. Hanging signs shall have a vertical clearance of seven feet, six inches between the bottom of the hanging sign and the grade below the sign.*
- b) *Structure. No supporting member of any hanging sign shall pierce or extend through the support structure.*
- c) *Size. The display surface of a hanging sign shall not exceed six square feet.*

**Response:** The proposed sign is not a hanging sign. These criteria are not applicable to this request.

Section 900.145: Roof Signs

- a) *Width. On buildings that are less than 50 feet wide, the width of a roof sign shall be no greater than 50 percent of the width of building. On buildings that are 50 feet wide or greater, the width of a roof sign shall be no greater than 25 feet or 25 percent of the width of the building, whichever is less.*
- b) *Height.*
  - 1) *Roof signs located on a flat roof shall not exceed the following heights:*
    - A. *Building height of 15 feet or less, six feet.*
    - B. *Building height of 15 to 20 feet, seven feet.*
    - C. *Building height greater than 20 feet, eight feet.*
  - 2) *The height of a roof sign located on a gable, hipped roof, or pitched roof that is less than eight feet in height shall be no greater than 50 percent of the vertical height of the roof. The height of roof signs located on a gable, hipped roof, or pitched roof that is eight feet in height or greater shall be no greater than four feet or 25 percent of the vertical height of the roof, whichever is larger. Vertical height shall be measured from the lower edge of the roof to the peak of the gable, hip, or pitch, vertically from, and not along the plane of, the gable, hip, or pitch.*
  - 3) *Roof signs located on a marquee or canopy shall not exceed a height of four feet above the roof of the marquee or canopy.*
- c) *Setbacks.*
  - 1) *A roof sign shall be setback a minimum of three feet from the front wall.*
  - 2) *A roof sign shall be setback a minimum of three feet from each end wall.*
- d) *Clearance.*
  - 1) *A roof sign shall have a minimum clearance of three feet between the bottom of the roof sign and the top of a parallel parapet.*
  - 2) *When a roof sign is placed on the peak of a roof, the roof sign shall have a minimum clearance of 1½ feet between the bottom of the sign and the roof.*
- e) *Structure. Except for vertical poles, the supporting structure of a roof sign shall be completely enclosed.*

**Response:** The proposed sign is not a roof sign. These criteria are not applicable to this request.

Section 900.150: Wall Signs

- a) *Wall signs on building walls. Wall signs placed on a wall of a building shall conform to this subsection.*
  - 1) *Height*
    - A. *Wall signs may project above the higher of the eave line, roof line, or top of the parapet a distance equal to one-third of the height of the sign or three feet, whichever is less.*



- B. *Wall signs that do not extend the full length of the wall may project above the eave line, roof line, or top of the parapet one-third of the height of a building if the building is less than 15 feet in height, or six feet if the building is over 15 feet in height.*
- C. *The height of a wall sign that extends the full length of the wall shall not exceed four feet, measured from the roof line directly behind the wall to the top of the wall.*
- D. *Wall signs attached to a marquee shall not exceed 30 inches in height.*

2) *Structure*

- A. *The supporting structure for any wall sign shall be completely enclosed so as not to be visible from any public street, alley, or adjacent property.*
- B. *No external braces, guy wires, "A" frames, or similar bracing system shall be used in constructing a wall sign.*
- C. *Wall signs may be installed on mansard roofs of 30 degrees or less, if they are installed vertically, and if the supporting structure is completely enclosed so as not to be visible from any public street, alley, or adjacent property.*

3) *Clearance*

- A. *The bottom of a wall sign that projects from a wall and is located on an alley shall have a clearance of not less than 14 feet from grade and shall have a maximum projection from the wall to which it is attached of not more than 12 inches.*
- B. *The lower edge of a wall sign attached to a marquee shall not extend below the marquee.*

**Response:** The proposed sign is not a wall sign. Therefore, this section does not apply to this application.

Section 900.215: Permanent Signs in Public Zones

c) *Signs permitted in Public and Private Health Services (PH) Zones*

1) *The following signs are permitted in PH zones:*

- A. *Wall signs. One wall sign for each building frontage, which shall be limited to the greater of 32 square feet or two percent of the gross face area of the building frontage on which it is located.*

**Response:** The proposed sign is not a wall sign. Therefore, the above criterion does not apply.

- B. *Freestanding signs. One freestanding sign for each building frontage, which shall be limited to five feet in height and 24 square feet in total display surface; provided, however, that one such sign may be 15 feet in height and 24 square feet in total display surface. Such signs shall be set back at least three feet from a street front property line or the special setback area established by the Salem Zoning Ordinance, whichever is greater, provided further that, where adjacent property is zoned residential or commercial office, signs shall be set back at least 20 feet from the side lot line abutting a CO or residential zone.*



**Response:** This freestanding sign is proposed to be approximately 17 feet 6 inches in height and 26.3 square feet in area, exceeding the dimensional requirements in Standard (B) above. Therefore, a variance is requested to allow the proposed sign to be larger than the standard. Additionally, there is an existing sign on the property on the Capitol Street SE frontage. This variance is also for the placement of an additional sign along this frontage. Please see details to the variance in Section 900.040 of this narrative.

- C. *Vehicle directional signs. One vehicle directional sign located at each motor vehicle entrance to or exit from the property. A wall sign shall be limited to a display surface not exceeding four square feet. A freestanding sign shall be limited to a display surface not exceeding eight square feet and to a height not exceeding 30 inches.*
- D. *Electronic display signs. Electronic display signs no larger than 800 square feet shall be permitted in the PH zone within stadiums, athletic fields, and other outdoor assembly facilities, where they are intended primarily for viewing by persons within the facility, are oriented toward the interior of the facility and viewing stands and are used only during events where the public attends as spectators. Notwithstanding any other provision of this chapter, signs allowed by this subsection may employ dissolve, fade, scrolling, static display, travel, and video display. Signs allowed by this subsection shall not be subject to the electronic sign display surface standards set forth in SRC 900.090(c).*

**Response:** The proposed sign is not an electronic display sign or vehicle directional sign. Therefore, this standard does not apply to this application.

- E. *Externally illuminated and internally illuminated signs. Only emergency vehicle directional signs and emergency entrances to a building in PH zones shall be externally illuminated signs or internally illuminated signs. No flashing illumination shall be permitted.*

**Response:** The project complies with this standard. Sign 5 marks the entrance to the emergency room from Capitol Street SE and is proposed to be internally illuminated.

### III. CONCLUSION

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This summary of request and supplemental attachments demonstrates that Sign 5 is in compliance with applicable approval criteria and code standards of Type III Sign Variance. The applicant respectfully requests that the City of Salem approve the land use application.



# Salem Health Hospital Sign Variance: Sign 6

Type III Review

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**Owner:** Salem Health  
890 Oak Street SE  
Salem, OR 97301

**Architect:** Scott Edwards Architecture  
2525 E Burnside St.  
Portland, OR 97214

Alden Kasiewicz  
[alden@seallp.com](mailto:alden@seallp.com)  
(503)226-3617

**Planner:** Harper Houf Peterson Righellis, Inc.  
205 SE Spokane Street, Suite 200  
Portland, OR 97202

Brad Kilby, AICP  
[bradk@hhpr.com](mailto:bradk@hhpr.com)  
(503)221-1131

**Site Location:** 890 Oak Street SE (Salem Health Campus)

**Tax Lot:** 073W27DA Tax Lot 00600

**Project Size:** 0.32 acres

**Zone:** Public and Private Health Services (PH)

**Summary of Request:** The owner, Salem Health, is seeking a variance to allow for a freestanding sign to exceed the height and display area of section 900.215(C)(1)(B). The proposed sign would be 28 square feet and 6 feet 5 inches tall, larger than the standard display area and height allowed. The hospital already has a freestanding sign that utilizes the height exemption of this section.

**Date:** November 29, 2021



# Table of Contents

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I.	SUMMARY OF PROPOSAL AND REQUEST.....	3
	Existing Conditions .....	3
	Proposal.....	4
II.	RESPONSES TO APPLICABLE CODE SECTIONS.....	5
	Chapter 900: Sign Code .....	5
III.	CONCLUSION .....	177





# I. SUMMARY OF PROPOSAL AND REQUEST

## Existing Conditions

Salem Health is the owner of the property and operates the Salem Hospital on the subject site. The hospital is in a campus setting, just south of downtown Salem and serves as the primary health care provider for Oregon's Mid-Willamette Valley. The hospital is one of Oregon's largest acute care hospitals and operates one of the busiest emergency departments on the West Coast. As one of Salem's largest employers, the hospital employs over 5,200 employees and has approximately 770 medical providers on staff. The hospital campus is generally divided into an east and west campus with Winter Street SE serving as the dividing line as illustrated in the vicinity map shown below. The topography is generally flat with slopes ranging between 3-5%. The campus is generally bound on the south by Mission Street SE, on the east by 12th Street SE, on the north by Bellevue Street SE and the Shelton Ditch, and on the west by Church Street SE and Pringle City Park. A tributary of Pringle Creek goes through the middle of the campus in an SE/NW direction. Many of the internal streets are private with public access easements overlaid.

**Vicinity Map**



## Proposed Sign Location

Looking West on Oak Street SE at the intersection with University Street SE.



## Proposal

Salem Health proposes to construct a freestanding sign that is approximately 28.38 square feet in display area and 6.5 feet in height on Oak Street SE near the intersection with University Street SE. The applicant is requesting a variance to Standard 900.215(c)(1)(B) of the Salem Sign Code to allow for this freestanding sign to be larger than the standard display area of 24 square feet and the standard height of 5 feet. The approximate location of Sign 6 is shown below with a red circle.



## Location Map



## II. RESPONSES TO APPLICABLE CODE SECTIONS

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**Note:** Responses to all applicable sections of the Salem Revised Code are included below. Sections that are not applicable or do not require a response may be omitted from the narrative text.

### Chapter 900: Sign Code

#### Section 900.020: Prohibited Signs

*The following signs are prohibited:*

- a) *Any sign which creates a public nuisance due to statements, words, or pictures of an obscene or pornographic character.*
- b) *Any sign which violates ORS ch. 377.*



- c) *Any sign which is placed on, affixed to, or painted on a motor vehicle, vehicle, or trailer and placed on public or private property with the primary purpose of providing a sign not otherwise permitted by this chapter.*
- d) *Any sign located in a manner which could impede traffic on any street, alley, bikeway, or other vehicular way.*
- e) *Any sign constructed in such a manner or at such a location that it will obstruct access to any fire escape or other means of ingress or egress from a building. No sign structure, or part thereof, shall cover, wholly or partially, any window or doorway in a manner that will substantially limit access to the building in case of fire.*
- f) *Any sign constructed or maintained which, by reason of its size, location, movement, coloring, or manner of illumination may be confused with or construed as an official traffic control device or which hides any official traffic control device from view.*(g)*Any sign, other than an official traffic control device, located within a vision clearance area.*(h)*Any sign that employs a structure, material, illumination, size, or placement not specifically allowed under this chapter, unless the sign is a lawfully established nonconforming sign.*

**Response:** The applicant is not proposing any of the signs prohibited above. For reference, the sign does not display any prohibited content; does not affect any state highway (ORS 377); is not proposed to be fixed to any motor vehicle, vehicle, or trailer; would not be located within a vision clearance area or within an area that would impede traffic; is not in a location that would impact emergency access; and does not appear similar to any official traffic control device.

Section 900.025: Sign Permits

- a) *Applicability. Except as otherwise provided in this chapter, a permit is required for the construction, erection, enlargement, alteration, or relocation of any sign.*
- b) *Procedure type. An application for a sign permit is a Type I procedure under SRC chapter 300.*
- c) *Additional submittal requirements. In addition to the submittal requirements under SRC chapter 300, an application for a sign permit shall contain:*
  - 1) *The location of the sign by street and number.*
  - 2) *The name and address of the sign owner and of the sign erector.*
  - 3) *Two complete sets of plans for the sign, in a graphic form, detailed and clear enough to show compliance with this chapter. At a minimum, the plans shall include:*
    - A. *A detailed drawing of the sign, drawn to scale.*
    - B. *Site plan drawn to scale, including location of all existing signs on the property and their sizes.*
    - C. *Elevations of the building or structure with signs.*
    - D. *Identification of materials and type of sign.*
    - E. *A statement whether the sign is located on property owned or leased by the person constructing, erecting, or using the sign.*
- d) *Criteria. An application for a sign permit shall be granted if the following criteria are met:*
  - 1) *The sign meets the requirements of SRC chapter 56.*
  - 2) *The sign is allowed in the zone.*



- 3) *The sign will not interfere with the use of any public right-of-way, other public easements, or other publicly owned property.*
- 4) *The sign conforms to all the applicable standards in this chapter.*
- e) *Expiration. Sign permits shall be valid for 180 days after the date of issuance. The Director may grant a one-time extension for a sign permit, not to exceed 90 days, upon showing that there was reasonable cause for the delay and that the construction, erection, alteration, or other work still complies with this chapter.*
- f) *Permit fees. The application for a sign permit shall be accompanied by a fee as prescribed by resolution of the council.*

**Response:** Since it is a separate lot within the campus, the proposed freestanding sign is allowed under Section 900.215(c)(1)(B), but a variance is requested to allow for a larger display area and height. If the variance is approved, the applicant and contractor will obtain the necessary sign permits as required.

Section 900.030: Exceptions from Permit Requirements

- a) *The following activities do not require a sign permit:*
  - 1) *Changing of copy on a sign specifically designed for the use of replaceable copy.*
  - 2) *Painting, repainting, cleaning, and normal maintenance and repair of a sign, where no substantial structural alteration is made.*
- b) *The following signs do not require a sign permit, but are otherwise regulated by this chapter:*
  - 1) *Temporary signs not located in the public right-of-way.*
  - 2) *Signs for dwelling units authorized under SRC 900.185(a).*
  - 3) *Vehicle directional signs.*
- c) *The following signs do not require a sign permit, and are allowed in addition to any other signs otherwise allowed by this chapter:*
  - 1) *A warning sign that does not exceed four square feet in display surface and six feet in height, that is not located in a vision clearance area, and that is erected on private property to warn the public of a danger on, or prohibiting or limiting access to, the premises on which the sign is located.*
  - 2) *Permanent building plaques, cornerstones, name plates, and similar building identifications.*
  - 3) *House and building numbers where the numerals do not exceed six inches in height.*
  - 4) *Historical markers erected or maintained by public authority or by a historical society or historical organization identifying sites, buildings, or structures of recognized historical value.*
  - 5) *Non-illuminated signs not visible from a public sidewalk, street, highway, or alley.*
  - 6) *Interior signs.*
    - A. *Non-illuminated interior signs in commercial and industrial zones, including, but not limited to, signs attached to or painted on the inside of a window.*
    - B. *Illuminated interior signs intended to be viewed from the public sidewalk, street, highway, alley, plaza, park, or other similar public place; provided, however, that the sign does not flash or employ an effect, and does not exceed eight square feet in display surface.*
    - C. *Illuminated interior signs not intended to be viewed from the public right-of-way*
  - 7) *Directional signs that do not exceed eight square feet of display surface.*



- 8) *Directional signs in commercial and industrial zones that do not exceed 22 square feet of display surface, that designate an automobile service entrance onto the premises, and limited to one per business per premises.*
- 9) *Temporary signs authorized by a park use permit.*

**Response:** The sign is not exempt from any of the above permit requirements.

Section 900.040: Sign Variance

- a) *Applicability. Sign variances may be granted to the height and display surface standards, to increase the number of allowed signs, to allow relocation of a sign, and to allow structural alterations to a sign.*
  - 1) *Limitation. A sign variance shall not provide for any of the following:*
    - A. *To allow a sign prohibited by SRC 900.020, "Prohibited Signs."*
    - B. *To decrease a setback or a special setback.*
    - C. *To allow placement of a sign in a vision clearance area.*
    - D. *To allow structural alterations to a nonconforming or non-complying sign.*
    - E. *To authorize a sign not otherwise permitted on the property for which the variance is sought.*
    - F. *To allow any sign other than those specifically allowed by this chapter.*
    - G. *To modify the display and brightness regulations for electronic display sign established by SRC 900.090.*

**Responses:** This is a specific request to allow for a freestanding sign on Oak Street SE near the intersection with University Street SE that is taller and larger than allowed under Standard 900.215(c)(1)(B). It is not a request to allow a prohibited sign, decrease a setback, allow placement within a vision clearance area, allow structural alteration to a non-conforming or non-complying sign, allow a sign that is not otherwise permitted on the property, to allow a sign that's not specifically allowed by the chapter, or to modify an electronic display sign.

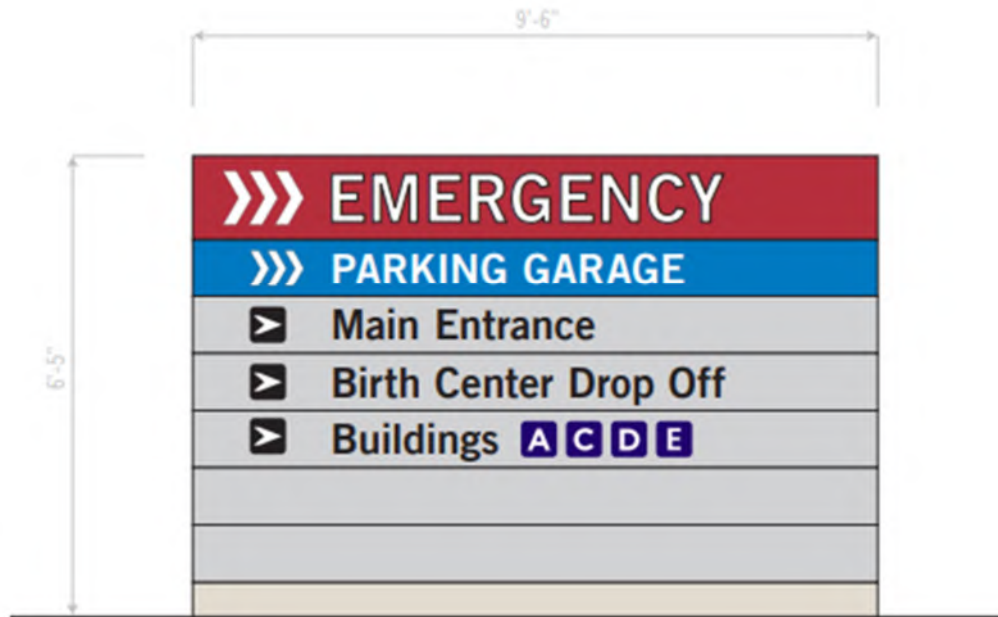
- b) *Procedure Type. A sign variance is a Type III procedure under SRC chapter 300.*

**Response:** The applicant is aware of the procedure and will comply with the applicant's responsibilities through the Type III process.

- c) *Submittal requirements. In addition to the submittal requirements for a sign permit required by SRC 900.025, an application for a sign permit that includes a variance shall contain a statement of the specific standard for which the variance is requested, and the amount or scope of the variance.*

**Response:** As mentioned, this is a request for a variance to Standard 900.215(c)(1)(B) to allow a freestanding sign located on Oak Street SE to be 6 feet 5 inches in height and approximately 28.38 square feet in area (greater than the standard of 5 feet in height and 24 square feet in area). Below is the approximate design of Sign 6.





- d) *Criteria. An application for a sign variance shall be granted if all of the following criteria are met:*
- a) *Compliance with the applicable standard would create an unnecessary hardship due to unique or unusual physical conditions of the property over which the applicant has no control, such as topography and lot shape, which are not present on other properties in the vicinity that have the same zone designation; the hardship does not result from actions of the applicant, owner, or previous owners of the property; and the sign variance is limited to the minimum reasonably necessary to alleviate the problem created by the unique or unusual physical conditions;*

**Response:** The owner is seeking support of a wayfinding plan for the entire campus. This property is larger than most of the surrounding properties and located in a specific zone that is geared towards public health facilities. The property includes several large buildings, parking areas and departments throughout the entire campus. Salem Hospital is proposing a series of sign variances as part of a holistic wayfinding system that takes into consideration the state of mind of the visitor, site constraints, challenges, and the applicable sign code requirements. The signs proposed within the wayfinding plan are not located arbitrarily. Rather they are proposed in locations that are intended to eliminate confusion and promote clear and efficient movement throughout the campus for their patients. Specifically, the sign proposed in this application will assist in wayfinding for pedestrians and vehicles to find the services and buildings they are searching for on the hospital campus. The intersection of Oak Street SE and University Street SE is on a main route into the hospital campus and the larger sized sign will ensure easy and efficient wayfinding as visitors and patients enter the Salem Health Hospital campus.

- b) *The sign variance is necessary to permit signage comparable with other properties in the vicinity that have the same zone designation;*



**Response:** This proposed sign will replace a sign and pylon that are already at this location. Those two signs will be removed. There are no comparable properties within the vicinity that have the same zone designation. Salem Hospital is located within the PH zone and sits within a large campus setting. Similarly situated properties within the area most likely experiencing the same challenges may include Willamette University or the Capitol Campus. In both instances, the likelihood that their visitors are experiencing medical distress and confusion as a result of those stresses affecting their ability to find a location on those campuses is likely to be lower and more than likely not a matter of life or death.

- c) *The sign variance will not adversely affect the function or appearance of the development and use of the property and surrounding properties; and*

**Response:** The proposed sign variance would not affect the function or overall appearance of the development and use of the property and surrounding properties. A variety of specialized medical services are provided throughout the campus as it is a regional hospital, not everyone that visits the campus is familiar with the area making wayfinding that much more important. The majority of signage proposed within the wayfinding plan is interior to the campus affording visitors additional information about the location of the services they may be seeking. This specific sign will ensure that visitors and patients traveling onto the hospital campus will be able to find the buildings and services safely and efficiently they are looking for.

- d) *The sign variance will not impose limitations on other properties and signage in the area, including signage that would be allowed on adjacent properties.*

**Response:** The proposed signage on this property provides messaging specific to the location of services for patients and visitors within the campus. There is no evidence to suggest that granting this variance would impose limitations on other properties or signage within the area.

- e) *Conditions of approval. The Review Authority may impose conditions on the approval of a sign variance necessary to establish compliance with the approval criteria.*

**Response:** The applicant is aware that specific conditions could be imposed upon the approval of the variance if it were to be approved.

- f) *Concurrent processing required. Applications for a sign variance shall be processed concurrently with the sign permit application.*

**Response:** Sign variances and applications for 11 signs are being requested concurrently with this request.

Section 900.060: Materials

- a) *Except as otherwise specified in this section, materials used for construction of signs shall be of the quality and grade specified for buildings and structures pursuant to SRC chapter 56.*
- b) *Except for lamps, tubes, bulbs, or neon tubing, no glass shall be used in the display surface of any sign.*





- c) *Roof signs, wall signs, projecting signs, and hanging signs shall be constructed of noncombustible materials, except for nonstructural trim, display surfaces, and cutouts which may be constructed of wood, metal, approved plastics, or any combination thereof.*
- d) *Except as provided in subsection (e) of this section, only metal and approved plastics shall be used in construction of electronic display signs, internally illuminated signs, and externally illuminated signs.*
- e) *Combustible materials for covering or ornamenting a sign structure may be used for electronic display signs, internally illuminated signs, and externally illuminated signs, provided that no load-bearing member of the sign structure is constructed of combustible materials and there is no substantial fire or electrical safety hazard.*
- f) *The sign structure of outdoor advertising signs shall be metal.*

**Response:** The project complies with this standard. The proposed materials for Sign 6 will be metal and the sign will be installed by professionals.

Section 900.065: Sign Supports

*Unless approval to place a sign in right-of-way has been obtained from the applicable government agency, sign supports shall be located on private property.*

**Response:** The proposed sign will be located entirely upon private property. Please see the Campus Signage Site Plan for the proposed location. This sign is identified as Sign 6 on the attached site plan.

Section 900.070: Electronic Sign Construction

- a) *Electronic display signs externally illuminated signs, and internally illuminated signs shall be permanently and rigidly affixed to the sign structure or building.*
- b) *The bottom of electronic display signs externally illuminated signs, and internally illuminated signs and outline lighting enclosures shall not be less than 16 feet above areas accessible to vehicles; provided, however, the bottom of such signs and enclosures may be less than 16 feet above areas accessible to vehicles where such enclosures are protected from physical damage.*
- c) *Electronic display signs externally illuminated signs, and internally illuminated signs shall have placed, within easy view, a laboratory label from an approved testing agency.*
- d) *Electronic display signs externally illuminated signs, and internally illuminated signs shall be serviced by underground utilities.*
- e) *Where underground electric service is provided by a utility company, outdoor advertising signs shall be serviced by underground utilities.*

**Response:** The proposed sign is not an electronic sign. These criteria are not applicable to this proposal.

Section 900.075: General Illumination Standards; Zone-Specific Standards

- a) *Except as otherwise provided in this section, permanent signs may be externally or internally illuminated.*
- b) *Temporary signs shall not be externally or internally illuminated.*
- c) *No sign shall use lights or illumination that creates an unduly distracting or hazardous condition to a motorist, a pedestrian, or the general public, or that may be confused with or construed as an official traffic control device.*



- d) *Wall signs, roof signs, and projecting signs placed on a building face that fronts a residential use may not be externally or internally illuminated.*
- e) *No reflective bulb, par spot, or incandescent lamp that exceeds 25 watts shall be exposed to direct view from a public street, but may be used for indirect illumination of a display surface.*
- f) *Neon tubing shall not exceed 300 milliamperes for white tubing or 100 milliamperes for colored tubing.*
- g) *Fluorescent tubes used for interior illumination of a sign shall be placed behind a plexiglass face and shall:
 
  - 1) *In residential zones, not exceed illumination equivalent to 425 milliamperes, and be spaced at least seven inches apart, measured from center to center.*
  - 2) *In commercial, industrial, and public zones, not exceed illumination equivalent to 800 milliamperes and be spaced at least nine inches apart, measured center to center.**
- h) *The light source for an internally illuminated sign may be comprised of light emitting diodes, so long as the light emitting diodes are used for illumination only, do not create an electronic display or effect, and conform to the brightness limitations set forth in SRC 900.090.*
- i) *Zone-specific standards. Notwithstanding subsection (a) of this section, the following standards apply in the following zones:
 
  - 5) *In the Public and Private Health Services (PH) Zone, only signs designating emergency entrances shall be illuminated.**

**Response:** Sign 6 is not proposed to be illuminated. Therefore, the above criterion does not apply.

Section 900.085: Effects

- a) *The use of effects is allowed only where flashing light is allowed, subject to the standards set forth in SRC 900.080 and in this section.*
- b) *No sign may use a speller effect, or effect in the form of a starburst, expanding starburst, expanding arrow, or extending arrow.*
- c) *Chaser effects.
 
  - 1) *Each display surface may have only one chaser effect.*
  - 2) *Only one sign per building frontage may use a chaser effect. If building has frontage on two or more streets, the building may have a sign using a chaser effect on each frontage.*
  - 3) *No chaser effect is permitted to be on the same side of a sign as flashing light.*
  - 4) *No chaser effect shall exceed 20 percent of the illuminated display surface of the sign.*
  - 5) *No chaser effect shall produce an apparent motion in a single direction that exceeds ten feet per second plus an additional five feet per second for each ten-foot distance over 20 feet between the sign and the nearest adjacent street or highway right-of-way, up to a maximum of 50 feet per second.*
  - 6) *This subsection shall not apply to chaser effects on theater marquees.**

**Response:** No lighting or mobile effects are proposed with this sign. These criteria are not applicable to the proposed sign.



Section 900.100: Signs Installed Over or Within the Right-of-Way

*No sign shall be erected over or within the public right-of-way unless the placement of the sign is first approved by the governmental unit having jurisdiction over the right-of-way.*

**Response:** The proposed sign will be located entirely within the boundaries of the property. This criterion is not applicable to the proposed sign.

Section 900.115: Sign Location for Safety

- a) No sign shall be erected or maintained which, by reason of its size, location, or construction constitutes a hazard to the public.*
- b) No sign shall obstruct any building opening such that light or ventilation is reduced below minimums required by the Salem Revised Code or any other applicable law.*
- c) No sign shall be erected within five feet of an exterior wall in which there are openings that lie directly behind the display surface unless the sign conforms with the requirements specified by SRC chapter 56 and the sign is constructed of noncombustible materials or approved plastics.*
- d) Any sign located on a sidewalk shall have a safety barrier of not less than 18 inches, measured from the bottom of the sidewalk surface, and constructed of solid and seamless materials.*
- e) No sign shall be placed within a sidewalk intersection.*
- f) Signs shall be located not less than ten feet horizontally and ten feet vertically from all overhead electrical conductors which are energized in excess of 750 volts.*

**Response:** Sign 6 is not proposed in a location that would constitute a hazard to the public, obstruct a building entrance, or a public sidewalk. None of the other criterion listed in this section are applicable to the proposed sign.

Section 900.120: Sign Maintenance

- a) All signs, together with the site and all components of the sign structure, shall be kept in good repair, free from deterioration, and in a neat, clean, attractive, and safe condition.*
- b) No sign shall be located on a wall facing a side lot line if it is necessary to go onto the adjacent lot to install or service the sign, unless written consent of the adjacent property owner has been obtained prior to the issuance of the sign permit.*

**Response:** The signs will become part of the regular maintenance associated with the upkeep of the campus and campus facilities. These criteria are not applicable to the proposed sign.

Section 900.130: Freestanding Signs

- a) Setbacks.*
  - 1) Freestanding signs shall have a setback of not less than three feet from the street front property line, unless the property is subject to a special setback area and no authorization to place a freestanding sign in the special setback area has been given, in which case the freestanding sign shall be setback not less than three feet from the special setback area.*
  - 2) Freestanding signs shall have a setback of not less than five feet from a side property line.*



**Response:** The project complies with this standard. Sign 6 will be located 3 feet from the front property line on Oak Street SE.

*b) Structure.*

- 1) A freestanding sign shall be directly supported by poles or a foundation.*
- 2) No external cross braces, guy wires, "T" frames, "A" frames, "trusses," or similar bracing systems shall be used in constructing freestanding signs. Nothing in this subsection prohibits the use of standardized outdoor advertising structures and stringers customarily used for the support of sections of the display surface.*

**Response:** The project complies with this standard. The sign will be placed directly on a foundation and will not have any external braces or guy wires.

*c) Limit. A corner lot shall be limited to one freestanding sign.*

**Response:** The project complies with this standard. Sign 6 is the only sign proposed on Oak Street SE along this property frontage.

Section 900.135: Hanging Signs

- a) Clearance. Hanging signs shall have a vertical clearance of seven feet, six inches between the bottom of the hanging sign and the grade below the sign.*
- b) Structure. No supporting member of any hanging sign shall pierce or extend through the support structure.*
- c) Size. The display surface of a hanging sign shall not exceed six square feet.*

**Response:** The proposed sign is not a hanging sign. These criteria are not applicable to this request.

Section 900.145: Roof Signs

- a) Width. On buildings that are less than 50 feet wide, the width of a roof sign shall be no greater than 50 percent of the width of building. On buildings that are 50 feet wide or greater, the width of a roof sign shall be no greater than 25 feet or 25 percent of the width of the building, whichever is less.*
- b) Height.*
  - 1) Roof signs located on a flat roof shall not exceed the following heights:*
    - A. Building height of 15 feet or less, six feet.*
    - B. Building height of 15 to 20 feet, seven feet.*
    - C. Building height greater than 20 feet, eight feet.*
  - 2) The height of a roof sign located on a gable, hipped roof, or pitched roof that is less than eight feet in height shall be no greater than 50 percent of the vertical height of the roof. The height of roof signs located on a gable, hipped roof, or pitched roof that is eight feet in height or greater shall be no greater than four feet or 25 percent of the vertical height of the roof, whichever is larger. Vertical height shall be measured from the lower edge of the roof to the peak of the gable, hip, or pitch, vertically from, and not along the plane of, the gable, hip, or pitch.*



- 3) *Roof signs located on a marquee or canopy shall not exceed a height of four feet above the roof of the marquee or canopy.*
- c) *Setbacks.*
  - 1) *A roof sign shall be setback a minimum of three feet from the front wall.*
  - 2) *A roof sign shall be setback a minimum of three feet from each end wall.*
- d) *Clearance.*
  - 1) *A roof sign shall have a minimum clearance of three feet between the bottom of the roof sign and the top of a parallel parapet.*
  - 2) *When a roof sign is placed on the peak of a roof, the roof sign shall have a minimum clearance of 1½ feet between the bottom of the sign and the roof.*
- e) *Structure. Except for vertical poles, the supporting structure of a roof sign shall be completely enclosed.*

**Response:** The proposed sign is not a roof sign. These criteria are not applicable to this request.

Section 900.150: Wall Signs

- a) *Wall signs on building walls. Wall signs placed on a wall of a building shall conform to this subsection.*
  - 1) *Height*
    - A. *Wall signs may project above the higher of the eave line, roof line, or top of the parapet a distance equal to one-third of the height of the sign or three feet, whichever is less.*
    - B. *Wall signs that do not extend the full length of the wall may project above the eave line, roof line, or top of the parapet one-third of the height of a building if the building is less than 15 feet in height, or six feet if the building is over 15 feet in height.*
    - C. *The height of a wall sign that extends the full length of the wall shall not exceed four feet, measured from the roof line directly behind the wall to the top of the wall.*
    - D. *Wall signs attached to a marquee shall not exceed 30 inches in height.*
  - 2) *Structure*
    - A. *The supporting structure for any wall sign shall be completely enclosed so as not to be visible from any public street, alley, or adjacent property.*
    - B. *No external braces, guy wires, "A" frames, or similar bracing system shall be used in constructing a wall sign.*
    - C. *Wall signs may be installed on mansard roofs of 30 degrees or less, if they are installed vertically, and if the supporting structure is completely enclosed so as not to be visible from any public street, alley, or adjacent property.*
  - 3) *Clearance*
    - A. *The bottom of a wall sign that projects from a wall and is located on an alley shall have a clearance of not less than 14 feet from grade and shall have a maximum projection from the wall to which it is attached of not more than 12 inches.*
    - B. *The lower edge of a wall sign attached to a marquee shall not extend below the marquee.*

**Response:** The proposed sign is not a wall sign. Therefore, this section does not apply to this application.



Section 900.215: Permanent Signs in Public Zones

c) *Signs permitted in Public and Private Health Services (PH) Zones*

1) *The following signs are permitted in PH zones:*

- A. *Wall signs. One wall sign for each building frontage, which shall be limited to the greater of 32 square feet or two percent of the gross face area of the building frontage on which it is located.*

**Response:** The proposed sign is not a wall sign. Therefore, the above criterion does not apply.

- B. *Freestanding signs. One freestanding sign for each building frontage, which shall be limited to five feet in height and 24 square feet in total display surface; provided, however, that one such sign may be 15 feet in height and 24 square feet in total display surface. Such signs shall be set back at least three feet from a street front property line or the special setback area established by the Salem Zoning Ordinance, whichever is greater, provided further that, where adjacent property is zoned residential or commercial office, signs shall be set back at least 20 feet from the side lot line abutting a CO or residential zone.*

**Response:** This freestanding sign is proposed to be approximately 6 feet 5 inches in height and 28.38 square feet in area, exceeding the dimensional requirements in Standard (B) above. Therefore, a variance is requested to allow the proposed sign to be taller and larger than the standard 24 square feet in size. Please see details to the variance in Section 900.040 of this narrative.

- C. *Vehicle directional signs. One vehicle directional sign located at each motor vehicle entrance to or exit from the property. A wall sign shall be limited to a display surface not exceeding four square feet. A freestanding sign shall be limited to a display surface not exceeding eight square feet and to a height not exceeding 30 inches.*
- D. *Electronic display signs. Electronic display signs no larger than 800 square feet shall be permitted in the PH zone within stadiums, athletic fields, and other outdoor assembly facilities, where they are intended primarily for viewing by persons within the facility, are oriented toward the interior of the facility and viewing stands and are used only during events where the public attends as spectators. Notwithstanding any other provision of this chapter, signs allowed by this subsection may employ dissolve, fade, scrolling, static display, travel, and video display. Signs allowed by this subsection shall not be subject to the electronic sign display surface standards set forth in SRC 900.090(c).*

**Response:** The proposed sign is not an electronic display sign or vehicle directional sign as defined in this section. Therefore, these standards do not apply to this application.



- E. *Externally illuminated and internally illuminated signs. Only emergency vehicle directional signs and emergency entrances to a building in PH zones shall be externally illuminated signs or internally illuminated signs. No flashing illumination shall be permitted.*

**Response:** The sign is not proposed to be illuminated. Therefore, this criterion does not apply.

### III. CONCLUSION

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This summary of request and supplemental attachments demonstrates that Sign 6 is in compliance with applicable approval criteria and code standards of Type III Sign Variance. The applicant respectfully requests that the City of Salem approve the land use application.



# Salem Health Hospital Sign Variance: Sign 8

Type III Review

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**Owner:** Salem Health  
890 Oak Street SE  
Salem, OR 97301

**Architect:** Scott Edwards Architecture  
2525 E Burnside St.  
Portland, OR 97214

Alden Kasiewicz  
[alden@seallp.com](mailto:alden@seallp.com)  
(503)226-3617

**Planner:** Harper Houf Peterson Righellis, Inc.  
205 SE Spokane Street, Suite 200  
Portland, OR 97202

Brad Kilby, AICP  
[bradk@hhpr.com](mailto:bradk@hhpr.com)  
(503)221-1131

**Site Location:** 890 Oak Street SE (Salem Health Campus)

**Tax Lot:** 073W27DA Tax Lot 05500

**Project Size:** 9.44 Acres

**Zone:** Public and Private Education (PE)

**Summary of Request:** The owner, Salem Health, is seeking a variance to allow for a freestanding sign to have 28.38 square feet of display area and 6 feet 5 inches tall, which is larger than the standard display area and height allowed under the provisions of Section 900.215(b)(1)(B).

**Date:** November 29, 2021





# Table of Contents

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I.	SUMMARY OF PROPOSAL AND REQUEST.....	3
	Existing Conditions .....	3
	Proposal.....	4
II.	RESPONSES TO APPLICABLE CODE SECTIONS.....	5
	Chapter 900: Sign Code .....	5
III.	CONCLUSION .....	17



# I. SUMMARY OF PROPOSAL AND REQUEST

## Existing Conditions

Salem Health is the owner of the property and operates the Salem Hospital on the subject site. The hospital is in a campus setting, just south of downtown Salem and serves as the primary health care provider for Oregon's Mid-Willamette Valley. The hospital is one of Oregon's largest acute care hospitals and operates one of the busiest emergency departments on the West Coast. As one of Salem's largest employers, the hospital employs over 5,200 employees and has approximately 770 medical providers on staff. The hospital campus is generally divided into an east and west campus with Winter Street SE serving as the dividing line as illustrated in the vicinity map shown below. The topography is generally flat with slopes ranging between 3-5%. The campus is generally bound on the south by Mission Street SE, on the east by 12th Street SE, on the north by Bellevue Street SE and the Shelton Ditch, and on the west by Church Street SE and Pringle City Park. A tributary of Pringle Creek goes through the middle of the campus in an SE/NW direction. Many of the internal streets are private with public access easements overlaid.

**Vicinity Map**



## Proposed Sign Location

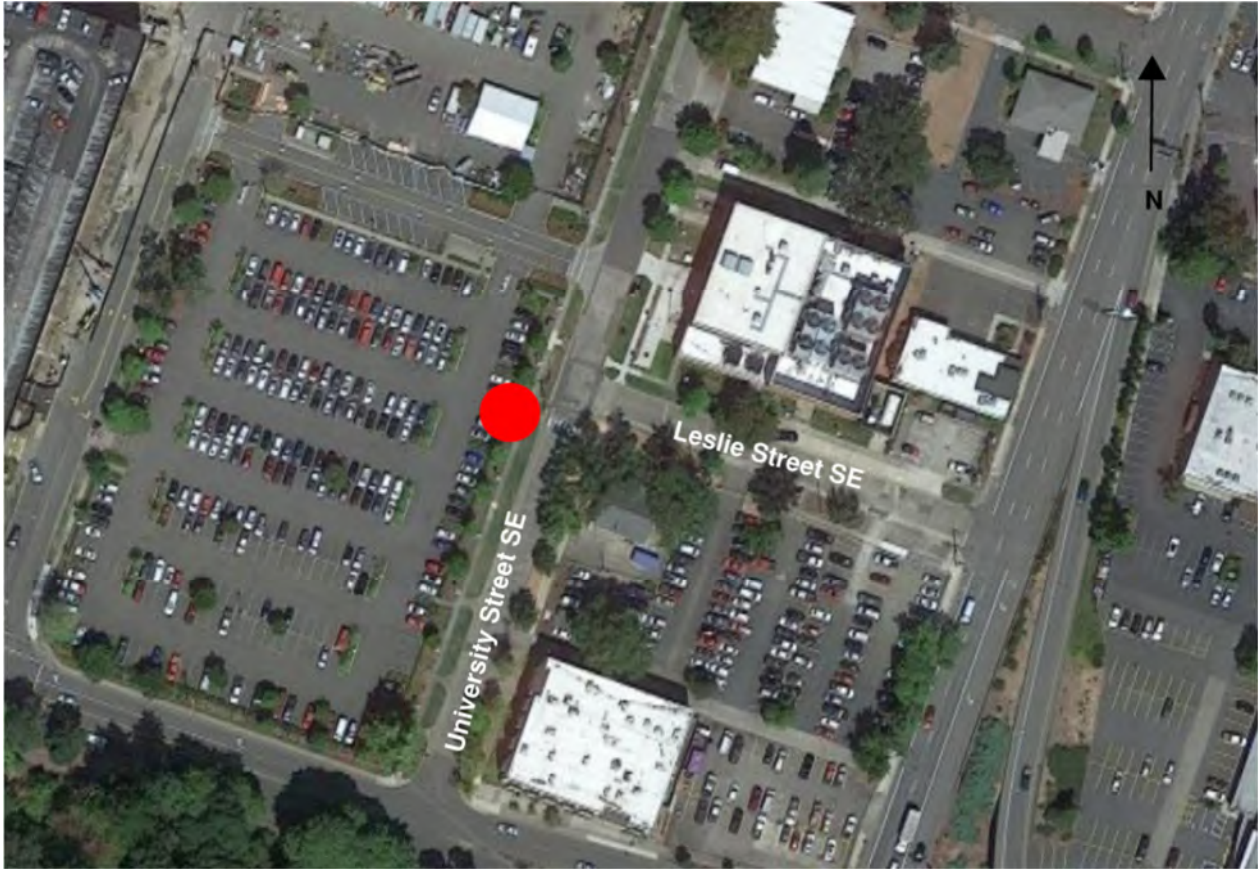
Looking south on University Street SE.



## Proposal

Salem Health proposes to construct an additional freestanding sign that is approximately 28.38 square feet in size and approximately 6.5 feet in height on University Street SE near the intersection with Leslie Street SE. The applicant is requesting a variance to Standard 900.215(b)(1)(B) of the Salem Sign Code to allow for this additional freestanding sign to be larger than the standard display area of 24 square feet and the standard height of 5 feet. The approximate location of Sign 8 is shown below with a red circle.





## II. RESPONSES TO APPLICABLE CODE SECTIONS

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**Note:** Responses to all applicable sections of the Salem Revised Code are included below. Sections that are not applicable or do not require a response may be omitted from the narrative text.

### Chapter 900: Sign Code

#### Section 900.020: Prohibited Signs

*The following signs are prohibited:*

- a) *Any sign which creates a public nuisance due to statements, words, or pictures of an obscene or pornographic character.*
- b) *Any sign which violates ORS ch. 377.*
- c) *Any sign which is placed on, affixed to, or painted on a motor vehicle, vehicle, or trailer and placed on public or private property with the primary purpose of providing a sign not otherwise permitted by this chapter.*



- d) *Any sign located in a manner which could impede traffic on any street, alley, bikeway, or other vehicular way.*
- e) *Any sign constructed in such a manner or at such a location that it will obstruct access to any fire escape or other means of ingress or egress from a building. No sign structure, or part thereof, shall cover, wholly or partially, any window or doorway in a manner that will substantially limit access to the building in case of fire.*
- f) *Any sign constructed or maintained which, by reason of its size, location, movement, coloring, or manner of illumination may be confused with or construed as an official traffic control device or which hides any official traffic control device from view.*(g)*Any sign, other than an official traffic control device, located within a vision clearance area.*(h)*Any sign that employs a structure, material, illumination, size, or placement not specifically allowed under this chapter, unless the sign is a lawfully established nonconforming sign.*

**Response:** The applicant is not proposing any of the signs prohibited above. For reference, the sign does not display any prohibited content; does not affect any state highway (ORS 377); is not proposed to be fixed to any motor vehicle, vehicle, or trailer; would not be located within a vision clearance area or within an area that would impede traffic; is not in a location that would impact emergency access; and does not appear similar to any official traffic control device.

Section 900.025: Sign Permits

- a) *Applicability. Except as otherwise provided in this chapter, a permit is required for the construction, erection, enlargement, alteration, or relocation of any sign.*
- b) *Procedure type. An application for a sign permit is a Type I procedure under SRC chapter 300.*
- c) *Additional submittal requirements. In addition to the submittal requirements under SRC chapter 300, an application for a sign permit shall contain:*
  - 1) *The location of the sign by street and number.*
  - 2) *The name and address of the sign owner and of the sign erector.*
  - 3) *Two complete sets of plans for the sign, in a graphic form, detailed and clear enough to show compliance with this chapter. At a minimum, the plans shall include:*
    - A. *A detailed drawing of the sign, drawn to scale.*
    - B. *Site plan drawn to scale, including location of all existing signs on the property and their sizes.*
    - C. *Elevations of the building or structure with signs.*
    - D. *Identification of materials and type of sign.*
    - E. *A statement whether the sign is located on property owned or leased by the person constructing, erecting, or using the sign.*
- d) *Criteria. An application for a sign permit shall be granted if the following criteria are met:*
  - 1) *The sign meets the requirements of SRC chapter 56.*
  - 2) *The sign is allowed in the zone.*
  - 3) *The sign will not interfere with the use of any public right-of-way, other public easements, or other publicly owned property.*
  - 4) *The sign conforms to all the applicable standards in this chapter.*



- e) *Expiration. Sign permits shall be valid for 180 days after the date of issuance. The Director may grant a one-time extension for a sign permit, not to exceed 90 days, upon showing that there was reasonable cause for the delay and that the construction, erection, alteration, or other work still complies with this chapter.*
- f) *Permit fees. The application for a sign permit shall be accompanied by a fee as prescribed by resolution of the council.*

**Response:** The proposed freestanding sign is allowed under Section 900.215(b)(1)(B), but a variance is requested to allow for a larger display area and height allowed. If the variance is approved, the applicant and contractor will obtain the necessary sign permits as required.

Section 900.030: Exceptions from Permit Requirements

- a) *The following activities do not require a sign permit:*
  - 1) *Changing of copy on a sign specifically designed for the use of replaceable copy.*
  - 2) *Painting, repainting, cleaning, and normal maintenance and repair of a sign, where no substantial structural alteration is made.*
- b) *The following signs do not require a sign permit, but are otherwise regulated by this chapter:*
  - 1) *Temporary signs not located in the public right-of-way.*
  - 2) *Signs for dwelling units authorized under SRC 900.185(a).*
  - 3) *Vehicle directional signs.*
- c) *The following signs do not require a sign permit, and are allowed in addition to any other signs otherwise allowed by this chapter:*
  - 1) *A warning sign that does not exceed four square feet in display surface and six feet in height, that is not located in a vision clearance area, and that is erected on private property to warn the public of a danger on, or prohibiting or limiting access to, the premises on which the sign is located.*
  - 2) *Permanent building plaques, cornerstones, name plates, and similar building identifications.*
  - 3) *House and building numbers where the numerals do not exceed six inches in height.*
  - 4) *Historical markers erected or maintained by public authority or by a historical society or historical organization identifying sites, buildings, or structures of recognized historical value.*
  - 5) *Non-illuminated signs not visible from a public sidewalk, street, highway, or alley.*
  - 6) *Interior signs.*
    - A. *Non-illuminated interior signs in commercial and industrial zones, including, but not limited to, signs attached to or painted on the inside of a window.*
    - B. *Illuminated interior signs intended to be viewed from the public sidewalk, street, highway, alley, plaza, park, or other similar public place; provided, however, that the sign does not flash or employ an effect, and does not exceed eight square feet in display surface.*
    - C. *Illuminated interior signs not intended to be viewed from the public right-of-way*
  - 7) *Directional signs that do not exceed eight square feet of display surface.*
  - 8) *Directional signs in commercial and industrial zones that do not exceed 22 square feet of display surface, that designate an automobile service entrance onto the premises, and limited to one per business per premises.*



9) *Temporary signs authorized by a park use permit.*

**Response:** The sign is not exempt from any of the above permit requirements.

Section 900.040: Sign Variance

a) *Applicability. Sign variances may be granted to the height and display surface standards, to increase the number of allowed signs, to allow relocation of a sign, and to allow structural alterations to a sign.*

1) *Limitation. A sign variance shall not provide for any of the following:*

- A. *To allow a sign prohibited by SRC 900.020, "Prohibited Signs."*
- B. *To decrease a setback or a special setback.*
- C. *To allow placement of a sign in a vision clearance area.*
- D. *To allow structural alterations to a nonconforming or non-complying sign.*
- E. *To authorize a sign not otherwise permitted on the property for which the variance is sought.*
- F. *To allow any sign other than those specifically allowed by this chapter.*
- G. *To modify the display and brightness regulations for electronic display sign established by SRC 900.090.*

**Responses:** This is a specific request to allow for a freestanding sign on University Street SE near the intersection with Leslie Street SE that is taller and larger than allowed under the provisions of Section 900.215(b)(1)(B). It is not a request to allow a prohibited sign, decrease a setback, allow placement within a vision clearance area, allow structural alteration to a non-conforming or non-complying sign, allow a sign that is not otherwise permitted on the property, to allow a sign that's not specifically allowed by the chapter, or to modify an electronic display sign.

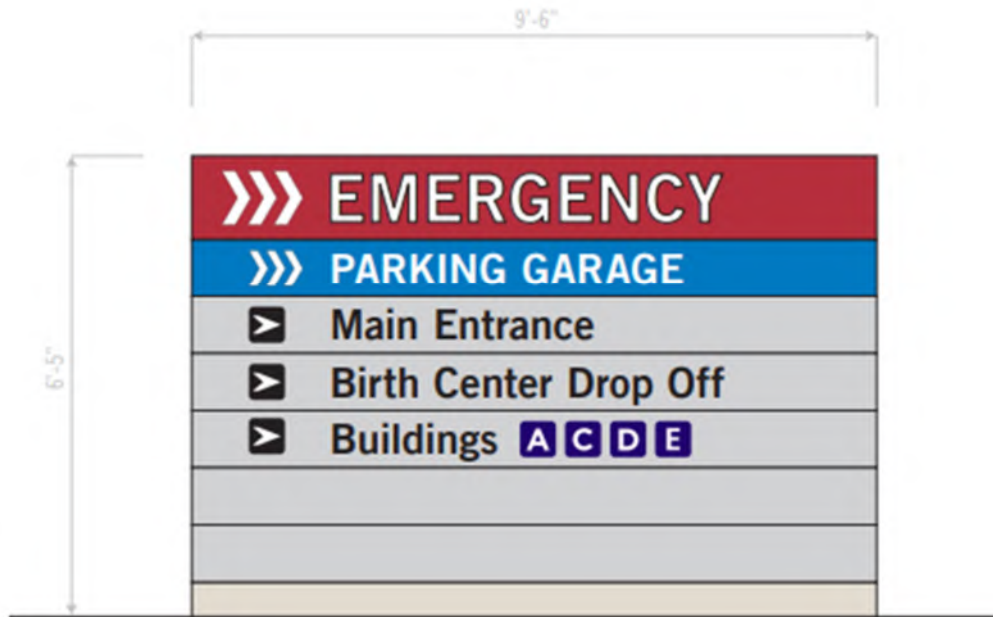
b) *Procedure Type. A sign variance is a Type III procedure under SRC chapter 300.*

**Response:** The applicant is aware of the procedure and will comply with the applicant's responsibilities through the Type III process.

c) *Submittal requirements. In addition to the submittal requirements for a sign permit required by SRC 900.025, an application for a sign permit that includes a variance shall contain a statement of the specific standard for which the variance is requested, and the amount or scope of the variance.*

**Response:** As mentioned, this is a request for a variance to Standard 900.215(b)(1)(B) to allow a freestanding sign located on University Street SE to be 6 feet 5 inches in height and approximately 28 square feet in area (greater than the standard of 5 feet in height and 24 square feet in area). Below is the approximate design of Sign 8.





- d) *Criteria. An application for a sign variance shall be granted if all of the following criteria are met:*
- a) *Compliance with the applicable standard would create an unnecessary hardship due to unique or unusual physical conditions of the property over which the applicant has no control, such as topography and lot shape, which are not present on other properties in the vicinity that have the same zone designation; the hardship does not result from actions of the applicant, owner, or previous owners of the property; and the sign variance is limited to the minimum reasonably necessary to alleviate the problem created by the unique or unusual physical conditions;*

**Response:** The owner is seeking support of a wayfinding plan for the entire campus. This property is larger than most of the surrounding properties and located in a specific zone that is geared towards public health facilities. The property includes several large buildings, parking areas and departments throughout the entire campus. Salem Hospital is proposing a series of sign variances as part of a holistic wayfinding system that takes into consideration the state of mind of the visitor, site constraints, challenges, and the applicable sign code requirements. The signs proposed within the wayfinding plan are not located arbitrarily. Rather they are proposed in locations that are intended to eliminate confusion and promote clear and efficient movement throughout the campus for their patients. Specifically, Sign 8 will assist in wayfinding for pedestrians and vehicles to find the services and buildings they are searching for on the hospital campus. University Street SE is near the perimeter of the hospital campus, and the sign will ensure easy and efficient wayfinding as visitors and patients enter the Salem Health Hospital campus.

- b) *The sign variance is necessary to permit signage comparable with other properties in the vicinity that have the same zone designation;*





**Response:** There are no comparable properties within the vicinity that have the same zone designation. Salem Hospital is located within the PH zone. This site is zoned PE but sits within a large campus setting. Similarly situated properties within the area most likely experiencing the same challenges may include Willamette University or the Capitol Campus. In both instances, the likelihood that their visitors are experiencing medical distress and confusion as a result of those stresses affecting their ability to find a location on those campuses is likely to be lower and more than likely not a matter of life or death.

- c) *The sign variance will not adversely affect the function or appearance of the development and use of the property and surrounding properties; and*

**Response:** The proposed sign variance would not affect the function or overall appearance of the development and use of the property and surrounding properties. A variety of specialized medical services are provided throughout the campus as it is a regional hospital, not everyone that visits the campus is familiar with the area making wayfinding that much more important. The majority of signage proposed within the wayfinding plan is interior to the campus affording visitors additional information about the location of the services they may be seeking. This specific sign will ensure that visitors and patients traveling onto the hospital campus will be able to find the buildings and services they are looking for safely and easily, including directions to the emergency room and services located in Building A.

- d) *The sign variance will not impose limitations on other properties and signage in the area, including signage that would be allowed on adjacent properties.*

**Response:** The proposed signage on this property provides messaging specific to the location of services for patients and visitors within the campus. There is no evidence to suggest that granting this variance would impose limitations on other properties or signage within the area.

- e) *Conditions of approval. The Review Authority may impose conditions on the approval of a sign variance necessary to establish compliance with the approval criteria.*

**Response:** The applicant is aware that specific conditions could be imposed upon the approval of the variance if it were to be approved.

- f) *Concurrent processing required. Applications for a sign variance shall be processed concurrently with the sign permit application.*

**Response:** Sign variances and applications for 11 signs are being requested concurrently with this request.

Section 900.060: Materials

- a) *Except as otherwise specified in this section, materials used for construction of signs shall be of the quality and grade specified for buildings and structures pursuant to SRC chapter 56.*
- b) *Except for lamps, tubes, bulbs, or neon tubing, no glass shall be used in the display surface of any sign.*



- c) *Roof signs, wall signs, projecting signs, and hanging signs shall be constructed of noncombustible materials, except for nonstructural trim, display surfaces, and cutouts which may be constructed of wood, metal, approved plastics, or any combination thereof.*
- d) *Except as provided in subsection (e) of this section, only metal and approved plastics shall be used in construction of electronic display signs, internally illuminated signs, and externally illuminated signs.*
- e) *Combustible materials for covering or ornamenting a sign structure may be used for electronic display signs, internally illuminated signs, and externally illuminated signs, provided that no load-bearing member of the sign structure is constructed of combustible materials and there is no substantial fire or electrical safety hazard.*
- f) *The sign structure of outdoor advertising signs shall be metal.*

**Response:** The project complies with this standard. The proposed materials for Sign 8 will be metal and the sign will be installed by professionals.

Section 900.065: Sign Supports

*Unless approval to place a sign in right-of-way has been obtained from the applicable government agency, sign supports shall be located on private property.*

**Response:** The proposed sign will be located entirely upon private property. Please see the Campus Signage Site Plan for the proposed location. This sign is identified as Sign 8 on the attached site plan.

Section 900.070: Electronic Sign Construction

- a) *Electronic display signs externally illuminated signs, and internally illuminated signs shall be permanently and rigidly affixed to the sign structure or building.*
- b) *The bottom of electronic display signs externally illuminated signs, and internally illuminated signs and outline lighting enclosures shall not be less than 16 feet above areas accessible to vehicles; provided, however, the bottom of such signs and enclosures may be less than 16 feet above areas accessible to vehicles where such enclosures are protected from physical damage.*
- c) *Electronic display signs externally illuminated signs, and internally illuminated signs shall have placed, within easy view, a laboratory label from an approved testing agency.*
- d) *Electronic display signs externally illuminated signs, and internally illuminated signs shall be serviced by underground utilities.*
- e) *Where underground electric service is provided by a utility company, outdoor advertising signs shall be serviced by underground utilities.*

**Response:** The proposed sign is not an electronic sign. These criteria are not applicable to this proposal.

Section 900.075: General Illumination Standards; Zone-Specific Standards

- a) *Except as otherwise provided in this section, permanent signs may be externally or internally illuminated.*
- b) *Temporary signs shall not be externally or internally illuminated.*



- c) *No sign shall use lights or illumination that creates an unduly distracting or hazardous condition to a motorist, a pedestrian, or the general public, or that may be confused with or construed as an official traffic control device.*
- d) *Wall signs, roof signs, and projecting signs placed on a building face that fronts a residential use may not be externally or internally illuminated.*
- e) *No reflective bulb, par spot, or incandescent lamp that exceeds 25 watts shall be exposed to direct view from a public street, but may be used for indirect illumination of a display surface.*
- f) *Neon tubing shall not exceed 300 milliamperes for white tubing or 100 milliamperes for colored tubing.*
- g) *Fluorescent tubes used for interior illumination of a sign shall be placed behind a plexiglass face and shall:*
  - 1) *In residential zones, not exceed illumination equivalent to 425 milliamperes, and be spaced at least seven inches apart, measured from center to center.*
  - 2) *In commercial, industrial, and public zones, not exceed illumination equivalent to 800 milliamperes and be spaced at least nine inches apart, measured center to center.*
- h) *The light source for an internally illuminated sign may be comprised of light emitting diodes, so long as the light emitting diodes are used for illumination only, do not create an electronic display or effect, and conform to the brightness limitations set forth in SRC 900.090.*
- i) *Zone-specific standards. Notwithstanding subsection (a) of this section, the following standards apply in the following zones:*
  - 5) *In the Public and Private Health Services (PH) Zone, only signs designating emergency entrances shall be illuminated.*

**Response:** Sign 8 is not proposed to be illuminated. Therefore, the above criterion does not apply.

Section 900.085: Effects

- a) *The use of effects is allowed only where flashing light is allowed, subject to the standards set forth in SRC 900.080 and in this section.*
- b) *No sign may use a speller effect, or effect in the form of a starburst, expanding starburst, expanding arrow, or extending arrow.*
- c) *Chaser effects.*
  - 1) *Each display surface may have only one chaser effect.*
  - 2) *Only one sign per building frontage may use a chaser effect. If building has frontage on two or more streets, the building may have a sign using a chaser effect on each frontage.*
  - 3) *No chaser effect is permitted to be on the same side of a sign as flashing light.*
  - 4) *No chaser effect shall exceed 20 percent of the illuminated display surface of the sign.*
  - 5) *No chaser effect shall produce an apparent motion in a single direction that exceeds ten feet per second plus an additional five feet per second for each ten-foot distance over 20 feet between the sign and the nearest adjacent street or highway right-of-way, up to a maximum of 50 feet per second.*
  - 6) *This subsection shall not apply to chaser effects on theater marquees.*



**Response:** No mobile or lighting effects are proposed with this sign. These criteria are not applicable to the proposed sign.

Section 900.100: Signs Installed Over or Within the Right-of-Way

*No sign shall be erected over or within the public right-of-way unless the placement of the sign is first approved by the governmental unit having jurisdiction over the right-of-way.*

**Response:** The proposed sign will be located entirely within the boundaries of the site. This criterion is not applicable to the proposed sign.

Section 900.115: Sign Location for Safety

- a) No sign shall be erected or maintained which, by reason of its size, location, or construction constitutes a hazard to the public.*
- b) No sign shall obstruct any building opening such that light or ventilation is reduced below minimums required by the Salem Revised Code or any other applicable law.*
- c) No sign shall be erected within five feet of an exterior wall in which there are openings that lie directly behind the display surface unless the sign conforms with the requirements specified by SRC chapter 56 and the sign is constructed of noncombustible materials or approved plastics.*
- d) Any sign located on a sidewalk shall have a safety barrier of not less than 18 inches, measured from the bottom of the sidewalk surface, and constructed of solid and seamless materials.*
- e) No sign shall be placed within a sidewalk intersection.*
- f) Signs shall be located not less than ten feet horizontally and ten feet vertically from all overhead electrical conductors which are energized in excess of 750 volts.*

**Response:** The proposed sign is not proposed in a location that would constitute a hazard to the public, block a building entrance, or obstruct a public sidewalk. None of the other criterion listed in this section are applicable to the proposed sign.

Section 900.120: Sign Maintenance

- a) All signs, together with the site and all components of the sign structure, shall be kept in good repair, free from deterioration, and in a neat, clean, attractive, and safe condition.*
- b) No sign shall be located on a wall facing a side lot line if it is necessary to go onto the adjacent lot to install or service the sign, unless written consent of the adjacent property owner has been obtained prior to the issuance of the sign permit.*

**Response:** The signs will become part of the regular maintenance associated with the upkeep of the campus and campus facilities. These criteria are not applicable to the proposed sign.

Section 900.130: Freestanding Signs

- a) Setbacks.*
  - 1) Freestanding signs shall have a setback of not less than three feet from the street front property line, unless the property is subject to a special setback area and no authorization to place a*



*freestanding sign in the special setback area has been given, in which case the freestanding sign shall be setback not less than three feet from the special setback area.*

- 2) *Freestanding signs shall have a setback of not less than five feet from a side property line.*

**Response:** The project complies with this standard. Sign 8 will be located 3 feet from the front property line on University Street SE.

*b) Structure.*

- 1) *A freestanding sign shall be directly supported by poles or a foundation.*
- 2) *No external cross braces, guy wires, "T" frames, "A" frames, "trusses," or similar bracing systems shall be used in constructing freestanding signs. Nothing in this subsection prohibits the use of standardized outdoor advertising structures and stringers customarily used for the support of sections of the display surface.*

**Response:** The project complies with this standard. The proposed sign will be a freestanding sign placed directly on a foundation. There will be no external braces supporting the sign.

*c) Limit. A corner lot shall be limited to one freestanding sign.*

**Response:** Only one freestanding sign is proposed along University Street SE.

Section 900.135: Hanging Signs

- a) *Clearance. Hanging signs shall have a vertical clearance of seven feet, six inches between the bottom of the hanging sign and the grade below the sign.*
- b) *Structure. No supporting member of any hanging sign shall pierce or extend through the support structure.*
- c) *Size. The display surface of a hanging sign shall not exceed six square feet.*

**Response:** The proposed sign is not a hanging sign. These criteria are not applicable to this request.

Section 900.145: Roof Signs

- a) *Width. On buildings that are less than 50 feet wide, the width of a roof sign shall be no greater than 50 percent of the width of building. On buildings that are 50 feet wide or greater, the width of a roof sign shall be no greater than 25 feet or 25 percent of the width of the building, whichever is less.*
- b) *Height.*
  - 1) *Roof signs located on a flat roof shall not exceed the following heights:*
    - A. *Building height of 15 feet or less, six feet.*
    - B. *Building height of 15 to 20 feet, seven feet.*
    - C. *Building height greater than 20 feet, eight feet.*
  - 2) *The height of a roof sign located on a gable, hipped roof, or pitched roof that is less than eight feet in height shall be no greater than 50 percent of the vertical height of the roof. The height of roof signs located on a gable, hipped roof, or pitched roof that is eight feet in height or greater shall be*



*no greater than four feet or 25 percent of the vertical height of the roof, whichever is larger. Vertical height shall be measured from the lower edge of the roof to the peak of the gable, hip, or pitch, vertically from, and not along the plane of, the gable, hip, or pitch.*

*3) Roof signs located on a marquee or canopy shall not exceed a height of four feet above the roof of the marquee or canopy.*

*c) Setbacks.*

*1) A roof sign shall be setback a minimum of three feet from the front wall.*

*2) A roof sign shall be setback a minimum of three feet from each end wall.*

*d) Clearance.*

*1) A roof sign shall have a minimum clearance of three feet between the bottom of the roof sign and the top of a parallel parapet.*

*2) When a roof sign is placed on the peak of a roof, the roof sign shall have a minimum clearance of 1½ feet between the bottom of the sign and the roof.*

*e) Structure. Except for vertical poles, the supporting structure of a roof sign shall be completely enclosed.*

**Response:** The proposed sign is not a roof sign. These criteria are not applicable to this request.

#### Section 900.150: Wall Signs

*a) Wall signs on building walls. Wall signs placed on a wall of a building shall conform to this subsection.*

*1) Height*

*A. Wall signs may project above the higher of the eave line, roof line, or top of the parapet a distance equal to one-third of the height of the sign or three feet, whichever is less.*

*B. Wall signs that do not extend the full length of the wall may project above the eave line, roof line, or top of the parapet one-third of the height of a building if the building is less than 15 feet in height, or six feet if the building is over 15 feet in height.*

*C. The height of a wall sign that extends the full length of the wall shall not exceed four feet, measured from the roof line directly behind the wall to the top of the wall.*

*D. Wall signs attached to a marquee shall not exceed 30 inches in height.*

*2) Structure*

*A. The supporting structure for any wall sign shall be completely enclosed so as not to be visible from any public street, alley, or adjacent property.*

*B. No external braces, guy wires, "A" frames, or similar bracing system shall be used in constructing a wall sign.*

*C. Wall signs may be installed on mansard roofs of 30 degrees or less, if they are installed vertically, and if the supporting structure is completely enclosed so as not to be visible from any public street, alley, or adjacent property.*

*3) Clearance*

*A. The bottom of a wall sign that projects from a wall and is located on an alley shall have a clearance of not less than 14 feet from grade and shall have a maximum projection from the wall to which it is attached of not more than 12 inches.*

*B. The lower edge of a wall sign attached to a marquee shall not extend below the marquee.*



**Response:** The proposed sign is not a wall sign. Therefore, this section does not apply to this application.

Section 900.215: Permanent Signs in Public Zones

*b) Signs permitted in Public and Private Education (PE) Zones*

*1) The following signs are permitted in PE zones:*

- A. Wall signs. One wall sign for each building frontage, which shall be limited to the greater of 32 square feet or two percent of the gross face area of the building frontage on which it is located.*

**Response:** The proposed sign is not a wall sign. Therefore, the above criterion does not apply.

- B. Freestanding signs. One freestanding sign for each building frontage, which shall be limited to five feet in height and 24 square feet in total display surface; provided, however, that one such sign may be 16 feet in height and 32 square feet in total display surface. Such signs shall be set back at least three feet from a street front property line or the special setback area established by the Salem Zoning Ordinance, whichever is greater, provided further that, where adjacent property is zoned residential or commercial office, signs shall be set back at least 20 feet from the side lot line abutting a CO or residential zone.*

**Response:** This freestanding sign is proposed to be approximately 6 feet 5 inches in height and 28.38 square feet in area, exceeding the dimensional requirements in Standard (B) above. Therefore, a variance is requested to allow the proposed sign to be slightly larger than the standard 24 square feet in size. Please see details to the variance in Section 900.040 of this narrative.

- C. Vehicle directional signs. One vehicle directional sign located at each motor vehicle entrance to or exit from the property. A wall sign shall be limited to a display surface not exceeding four square feet. A freestanding sign shall be limited to a display surface not exceeding eight square feet and to a height not exceeding 30 inches.*
- D. Electronic display signs. Electronic display signs no larger than 800 square feet shall be permitted in the PH zone within stadiums, athletic fields, and other outdoor assembly facilities, where they are intended primarily for viewing by persons within the facility, are oriented toward the interior of the facility and viewing stands and are used only during events where the public attends as spectators. Notwithstanding any other provision of this chapter, signs allowed by this subsection may employ dissolve, fade, scrolling, static display, travel, and video display. Signs allowed by this subsection shall not be subject to the electronic sign display surface standards set forth in SRC 900.090(c).*

**Response:** The proposed sign is not an electronic display sign or vehicle directional sign. Therefore, this standard does not apply to this application.



*E. Externally illuminated and internally illuminated signs. No flashing illumination shall be permitted.*

**Response:** The sign is not proposed to be illuminated. Therefore, this criterion does not apply.

### III. CONCLUSION

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This summary of request and supplemental attachments demonstrates that Sign 8 is in compliance with applicable approval criteria and code standards of Type III Sign Variance. The applicant respectfully requests that the City of Salem approve the land use application.





# Salem Health Hospital Sign Variance: Sign 9

Type III Review

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**Owner:** Salem Health  
890 Oak Street SE  
Salem, OR 97301

**Architect:** Scott Edwards Architecture  
2525 E Burnside St.  
Portland, OR 97214

Alden Kasiewicz  
[alden@seallp.com](mailto:alden@seallp.com)  
(503)226-3617

**Planner:** Harper Houf Peterson Righellis, Inc.  
205 SE Spokane Street, Suite 200  
Portland, OR 97202

Brad Kilby, AICP  
[bradk@hhpr.com](mailto:bradk@hhpr.com)  
(503)221-1131

**Site Location:** 890 Oak Street SE (Salem Health Campus)

**Tax Lot:** 073W27DA Tax Lot 01600

**Project Size:** 9.44 Acres

**Zone:** Public and Private Health Services (PH)

**Summary of Request:** The owner, Salem Health, is seeking a variance to allow for a 64 SF wall mounted sign on the south elevation of the Building A Expansion. Section 900.215(c)(1)(A) allows for one wall sign for each building frontage, limited to the greater of 32 square feet or two percent of the gross face area of the building frontage on which it is located. The proposed wall sign is not located along a building frontage because the wall where the sign is proposed to be located does not face a street.

**Date:** November 29, 2021



# Table of Contents

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I.	SUMMARY OF PROPOSAL AND REQUEST.....	3
	Existing Conditions .....	3
	Proposal.....	4
II.	RESPONSES TO APPLICABLE CODE SECTIONS.....	5
	Chapter 900: Sign Code .....	5
III.	CONCLUSION .....	17



# I. SUMMARY OF PROPOSAL AND REQUEST

## Existing Conditions

Salem Health is the owner of the property and operates the Salem Hospital on the subject site. The hospital is in a campus setting, just south of downtown Salem and serves as the primary health care provider for Oregon's Mid-Willamette Valley. The hospital is one of Oregon's largest acute care hospitals and operates one of the busiest emergency departments on the West Coast. As one of Salem's largest employers, the hospital employs over 5,200 employees and has approximately 770 medical providers on staff. The hospital campus is generally divided into an east and west campus with Winter Street SE serving as the dividing line as illustrated in the vicinity map shown below. The topography is generally flat with slopes ranging between 3-5%. The campus is generally bound on the south by Mission Street SE, on the east by 12th Street SE, on the north by Bellevue Street SE and the Shelton Ditch, and on the west by Church Street SE and Pringle City Park. A tributary of Pringle Creek goes through the middle of the campus in an SE/NW direction. Many of the internal streets are private with public access easements overlaid.

**Vicinity Map**



## Proposed Sign Location

Looking north on Capitol Street SE towards the emergency room courtyard. Building A2 is not framed in any of the street side images.

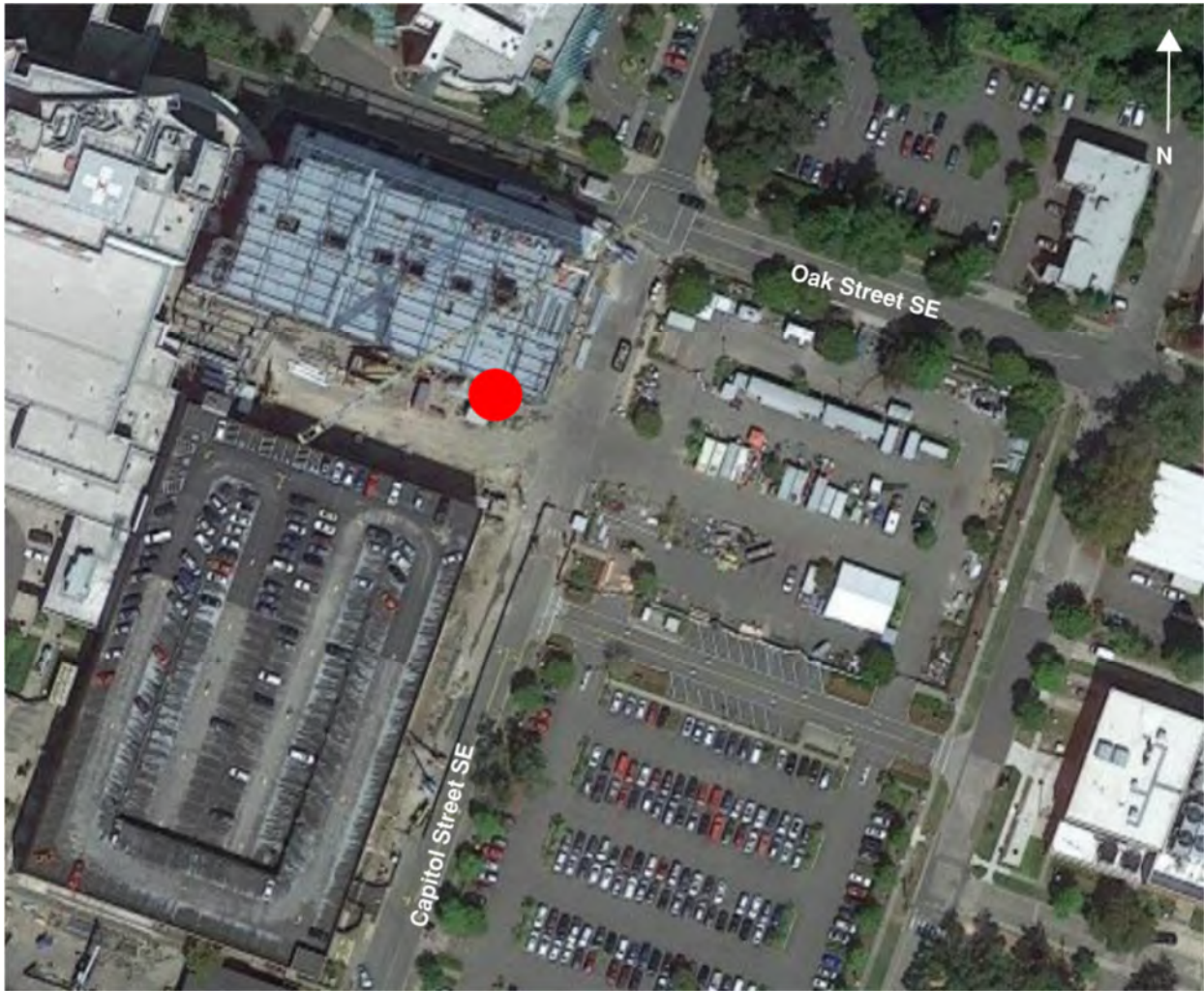


## Proposal

Salem Health proposes to construct a wall mounted sign that is approximately 64 square feet in size on the south elevation of the Building A Expansion. The sign will be located above the entrance of the emergency department and clearly mark the entrance with an internally illuminated “Emergency” sign. The applicant is requesting a variance to Standard 900.215(c)(1)(A) of the Salem Sign Code to allow for this wall mounted sign to be located on a building elevation that is not considered a building frontage. The approximate location of Sign 9 is shown below with a red circle.



Location Map



## II. RESPONSES TO APPLICABLE CODE SECTIONS

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**Note:** Responses to all applicable sections of the Salem Revised Code are included below. Sections that are not applicable or do not require a response may be omitted from the narrative text.

### Chapter 900: Sign Code

#### Section 900.020: Prohibited Signs

*The following signs are prohibited:*

- a) *Any sign which creates a public nuisance due to statements, words, or pictures of an obscene or pornographic character.*
- b) *Any sign which violates ORS ch. 377.*



- c) *Any sign which is placed on, affixed to, or painted on a motor vehicle, vehicle, or trailer and placed on public or private property with the primary purpose of providing a sign not otherwise permitted by this chapter.*
- d) *Any sign located in a manner which could impede traffic on any street, alley, bikeway, or other vehicular way.*
- e) *Any sign constructed in such a manner or at such a location that it will obstruct access to any fire escape or other means of ingress or egress from a building. No sign structure, or part thereof, shall cover, wholly or partially, any window or doorway in a manner that will substantially limit access to the building in case of fire.*
- f) *Any sign constructed or maintained which, by reason of its size, location, movement, coloring, or manner of illumination may be confused with or construed as an official traffic control device or which hides any official traffic control device from view.*(g)*Any sign, other than an official traffic control device, located within a vision clearance area.*(h)*Any sign that employs a structure, material, illumination, size, or placement not specifically allowed under this chapter, unless the sign is a lawfully established nonconforming sign.*

**Response:** The applicant is not proposing any of the signs prohibited above. For reference, the sign does not display any prohibited content; does not affect any state highway (ORS 377); is not proposed to be fixed to any motor vehicle, vehicle, or trailer; would not be located within a vision clearance area or within an area that would impede traffic; is not in a location that would impact emergency access; and does not appear similar to any official traffic control device.

Section 900.025: Sign Permits

- a) *Applicability. Except as otherwise provided in this chapter, a permit is required for the construction, erection, enlargement, alteration, or relocation of any sign.*
- b) *Procedure type. An application for a sign permit is a Type I procedure under SRC chapter 300.*
- c) *Additional submittal requirements. In addition to the submittal requirements under SRC chapter 300, an application for a sign permit shall contain:*
  - 1) *The location of the sign by street and number.*
  - 2) *The name and address of the sign owner and of the sign erector.*
  - 3) *Two complete sets of plans for the sign, in a graphic form, detailed and clear enough to show compliance with this chapter. At a minimum, the plans shall include:*
    - A. *A detailed drawing of the sign, drawn to scale.*
    - B. *Site plan drawn to scale, including location of all existing signs on the property and their sizes.*
    - C. *Elevations of the building or structure with signs.*
    - D. *Identification of materials and type of sign.*
    - E. *A statement whether the sign is located on property owned or leased by the person constructing, erecting, or using the sign.*
- d) *Criteria. An application for a sign permit shall be granted if the following criteria are met:*
  - 1) *The sign meets the requirements of SRC chapter 56.*
  - 2) *The sign is allowed in the zone.*



- 3) *The sign will not interfere with the use of any public right-of-way, other public easements, or other publicly owned property.*
- 4) *The sign conforms to all the applicable standards in this chapter.*
- e) *Expiration. Sign permits shall be valid for 180 days after the date of issuance. The Director may grant a one-time extension for a sign permit, not to exceed 90 days, upon showing that there was reasonable cause for the delay and that the construction, erection, alteration, or other work still complies with this chapter.*
- f) *Permit fees. The application for a sign permit shall be accompanied by a fee as prescribed by resolution of the council.*

**Response:** The applicant is requesting a variance to Section 900.215(c)(1)(A) to allow for the sign to be placed on the south elevation of the Building A Expansion, which is not considered a building frontage. If the variance is approved, the applicant and contractor will obtain the necessary sign permits as required.

Section 900.030: Exceptions from Permit Requirements

- a) *The following activities do not require a sign permit:*
  - 1) *Changing of copy on a sign specifically designed for the use of replaceable copy.*
  - 2) *Painting, repainting, cleaning, and normal maintenance and repair of a sign, where no substantial structural alteration is made.*
- b) *The following signs do not require a sign permit, but are otherwise regulated by this chapter:*
  - 1) *Temporary signs not located in the public right-of-way.*
  - 2) *Signs for dwelling units authorized under SRC 900.185(a).*
  - 3) *Vehicle directional signs.*
- c) *The following signs do not require a sign permit, and are allowed in addition to any other signs otherwise allowed by this chapter:*
  - 1) *A warning sign that does not exceed four square feet in display surface and six feet in height, that is not located in a vision clearance area, and that is erected on private property to warn the public of a danger on, or prohibiting or limiting access to, the premises on which the sign is located.*
  - 2) *Permanent building plaques, cornerstones, name plates, and similar building identifications.*
  - 3) *House and building numbers where the numerals do not exceed six inches in height.*
  - 4) *Historical markers erected or maintained by public authority or by a historical society or historical organization identifying sites, buildings, or structures of recognized historical value.*
  - 5) *Non-illuminated signs not visible from a public sidewalk, street, highway, or alley.*
  - 6) *Interior signs.*
    - A. *Non-illuminated interior signs in commercial and industrial zones, including, but not limited to, signs attached to or painted on the inside of a window.*
    - B. *Illuminated interior signs intended to be viewed from the public sidewalk, street, highway, alley, plaza, park, or other similar public place; provided, however, that the sign does not flash or employ an effect, and does not exceed eight square feet in display surface.*
    - C. *Illuminated interior signs not intended to be viewed from the public right-of-way*
  - 7) *Directional signs that do not exceed eight square feet of display surface.*



- 8) *Directional signs in commercial and industrial zones that do not exceed 22 square feet of display surface, that designate an automobile service entrance onto the premises, and limited to one per business per premises.*
- 9) *Temporary signs authorized by a park use permit.*

**Response:** The sign is not exempt from any of the above permit requirements.

Section 900.040: Sign Variance

- a) *Applicability. Sign variances may be granted to the height and display surface standards, to increase the number of allowed signs, to allow relocation of a sign, and to allow structural alterations to a sign.*
  - 1) *Limitation. A sign variance shall not provide for any of the following:*
    - A. *To allow a sign prohibited by SRC 900.020, "Prohibited Signs."*
    - B. *To decrease a setback or a special setback.*
    - C. *To allow placement of a sign in a vision clearance area.*
    - D. *To allow structural alterations to a nonconforming or non-complying sign.*
    - E. *To authorize a sign not otherwise permitted on the property for which the variance is sought.*
    - F. *To allow any sign other than those specifically allowed by this chapter.*
    - G. *To modify the display and brightness regulations for electronic display sign established by SRC 900.090.*

**Responses:** This is a specific request to allow for a wall mounted sign on the south elevation of the Building A Expansion. Under Standard 900.150(c)(1)(A), wall mounted signs are only allowed on elevations considered building frontages, and the south elevation of the Building A Expansion is not. It is not a request to allow a prohibited sign, decrease a setback, allow placement within a vision clearance area, allow structural alteration to a non-conforming or non-complying sign, allow a sign that is not otherwise permitted on the property, to allow a sign that's not specifically allowed by the chapter, or to modify an electronic display sign.

- b) *Procedure Type. A sign variance is a Type III procedure under SRC chapter 300.*

**Response:** The applicant is aware of the procedure and will comply with the applicant's responsibilities through the Type III process.

- c) *Submittal requirements. In addition to the submittal requirements for a sign permit required by SRC 900.025, an application for a sign permit that includes a variance shall contain a statement of the specific standard for which the variance is requested, and the amount or scope of the variance.*

**Response:** As mentioned, this is a request for a variance to Standard 900.215(c)(1)(A) to allow a wall mounted sign on a portion of the Building A Expansion that is not a designated building frontage. Below is an approximate design of Sign 9.







- d) *Criteria. An application for a sign variance shall be granted if all of the following criteria are met:*
- a) *Compliance with the applicable standard would create an unnecessary hardship due to unique or unusual physical conditions of the property over which the applicant has no control, such as topography and lot shape, which are not present on other properties in the vicinity that have the same zone designation; the hardship does not result from actions of the applicant, owner, or previous owners of the property; and the sign variance is limited to the minimum reasonably necessary to alleviate the problem created by the unique or unusual physical conditions;*

**Response:** The owner is seeking support of a wayfinding plan for the entire campus. This property is larger than most of the surrounding properties and located in a specific zone that is geared towards public health facilities. The property includes several large buildings, parking areas and departments throughout the entire campus. Salem Hospital is proposing a series of sign variances as part of a holistic wayfinding system that takes into consideration the state of mind of the visitor, site constraints, challenges, and the applicable sign code requirements. The signs proposed within the wayfinding plan are not located arbitrarily. Rather they are proposed in locations that are intended to eliminate confusion and promote clear and efficient movement throughout the campus for their patients. Specifically, the sign proposed in this application will clearly mark the entrance to the emergency department for pedestrians and vehicles driving north on Capitol Street SE, one of the primary entrances to the hospital campus. The other proposed wall signs that mark the emergency room are located on the east side of buildings and will be difficult to see for anyone traveling north towards the emergency room. The proposed sign on the south elevation of the Building A Expansion is necessary not only for wayfinding on the hospital campus, but also for individuals having emergencies to easily locate where to enter the emergency room.

- b) *The sign variance is necessary to permit signage comparable with other properties in the vicinity that have the same zone designation;*

**Response:** There are no comparable properties within the vicinity that have the same zone designation. Salem Hospital is located within the PH zone and sits within a large campus setting. Similarly situated properties within the area most likely experiencing the same challenges may include Willamette University or the Capitol Campus. In both instances, the likelihood that their visitors are experiencing medical distress and confusion as a result of those stresses affecting their ability to find a location on those campuses is likely to be lower and more than likely not a matter of life or death.



- c) *The sign variance will not adversely affect the function or appearance of the development and use of the property and surrounding properties; and*

**Response:** The proposed sign variance would not affect the function or overall appearance of the development and use of the property and surrounding properties. A variety of specialized medical services are provided throughout the campus as it is a regional hospital, not everyone that visits the campus is familiar with the area making wayfinding that much more important. The majority of signage proposed within the wayfinding plan is interior to the campus affording visitors additional information about the location of the services they may be seeking. This specific sign will ensure that visitors and patients traveling on Capitol Street SE can easily locate the emergency room entrance.

- d) *The sign variance will not impose limitations on other properties and signage in the area, including signage that would be allowed on adjacent properties.*

**Response:** The proposed signage on this property provides messaging specific to the location of services for patients and visitors within the campus. There is no evidence to suggest that granting this variance would impose limitations on other properties or signage within the area.

- e) *Conditions of approval. The Review Authority may impose conditions on the approval of a sign variance necessary to establish compliance with the approval criteria.*

**Response:** The applicant is aware that specific conditions could be imposed upon the approval of the variance if it were to be approved.

- f) *Concurrent processing required. Applications for a sign variance shall be processed concurrently with the sign permit application.*

**Response:** Sign variances and applications for 11 signs are being requested concurrently with this request.

#### Section 900.060: Materials

- a) *Except as otherwise specified in this section, materials used for construction of signs shall be of the quality and grade specified for buildings and structures pursuant to SRC chapter 56.*
- b) *Except for lamps, tubes, bulbs, or neon tubing, no glass shall be used in the display surface of any sign.*
- c) *Roof signs, wall signs, projecting signs, and hanging signs shall be constructed of noncombustible materials, except for nonstructural trim, display surfaces, and cutouts which may be constructed of wood, metal, approved plastics, or any combination thereof.*
- d) *Except as provided in subsection (e) of this section, only metal and approved plastics shall be used in construction of electronic display signs, internally illuminated signs, and externally illuminated signs.*
- e) *Combustible materials for covering or ornamenting a sign structure may be used for electronic display signs, internally illuminated signs, and externally illuminated signs, provided that no load-bearing*



*member of the sign structure is constructed of combustible materials and there is no substantial fire or electrical safety hazard.*

- f) *The sign structure of outdoor advertising signs shall be metal.*

**Response:** The proposed materials for the sign will be metal and the sign will be internally illuminated so that the sign is visible at night. The electrical will be designed by professional installers.

Section 900.065: Sign Supports

*Unless approval to place a sign in right-of-way has been obtained from the applicable government agency, sign supports shall be located on private property.*

**Response:** The proposed sign will be located entirely upon private property. Please see the Campus Signage Site Plan for the proposed location. This sign is identified as Sign 9 on the attached site plan.

Section 900.070: Electronic Sign Construction

- a) *Electronic display signs externally illuminated signs, and internally illuminated signs shall be permanently and rigidly affixed to the sign structure or building.*
- b) *The bottom of electronic display signs externally illuminated signs, and internally illuminated signs and outline lighting enclosures shall not be less than 16 feet above areas accessible to vehicles; provided, however, the bottom of such signs and enclosures may be less than 16 feet above areas accessible to vehicles where such enclosures are protected from physical damage.*
- c) *Electronic display signs externally illuminated signs, and internally illuminated signs shall have placed, within easy view, a laboratory label from an approved testing agency.*
- d) *Electronic display signs externally illuminated signs, and internally illuminated signs shall be serviced by underground utilities.*
- e) *Where underground electric service is provided by a utility company, outdoor advertising signs shall be serviced by underground utilities.*

**Response:** The proposed sign is not an electronic display sign. These criteria are not applicable to this proposal.

Section 900.075: General Illumination Standards; Zone-Specific Standards

- a) *Except as otherwise provided in this section, permanent signs may be externally or internally illuminated.*
- b) *Temporary signs shall not be externally or internally illuminated.*
- c) *No sign shall use lights or illumination that creates an unduly distracting or hazardous condition to a motorist, a pedestrian, or the general public, or that may be confused with or construed as an official traffic control device.*
- d) *Wall signs, roof signs, and projecting signs placed on a building face that fronts a residential use may not be externally or internally illuminated.*
- e) *No reflective bulb, par spot, or incandescent lamp that exceeds 25 watts shall be exposed to direct view from a public street, but may be used for indirect illumination of a display surface.*
- f) *Neon tubing shall not exceed 300 milliamperes for white tubing or 100 milliamperes for colored tubing.*
- g) *Fluorescent tubes used for interior illumination of a sign shall be placed behind a plexiglass face and shall:*



- 1) *In residential zones, not exceed illumination equivalent to 425 milliamperes, and be spaced at least seven inches apart, measured from center to center.*
- 2) *In commercial, industrial, and public zones, not exceed illumination equivalent to 800 milliamperes and be spaced at least nine inches apart, measured center to center.*
- h) *The light source for an internally illuminated sign may be comprised of light emitting diodes, so long as the light emitting diodes are used for illumination only, do not create an electronic display or effect, and conform to the brightness limitations set forth in SRC 900.090.*
- i) *Zone-specific standards. Notwithstanding subsection (a) of this section, the following standards apply in the following zones:*
  - 5) *In the Public and Private Health Services (PH) Zone, only signs designating emergency entrances shall be illuminated.*

**Response:** The proposed sign is intended to designate where the entrance to the emergency room is located and is therefore allowed to be illuminated under Standard (i)(5) above.

Section 900.085: Effects

- a) *The use of effects is allowed only where flashing light is allowed, subject to the standards set forth in SRC 900.080 and in this section.*
- b) *No sign may use a speller effect, or effect in the form of a starburst, expanding starburst, expanding arrow, or extending arrow.*
- c) *Chaser effects.*
  - 1) *Each display surface may have only one chaser effect.*
  - 2) *Only one sign per building frontage may use a chaser effect. If building has frontage on two or more streets, the building may have a sign using a chaser effect on each frontage.*
  - 3) *No chaser effect is permitted to be on the same side of a sign as flashing light.*
  - 4) *No chaser effect shall exceed 20 percent of the illuminated display surface of the sign.*
  - 5) *No chaser effect shall produce an apparent motion in a single direction that exceeds ten feet per second plus an additional five feet per second for each ten-foot distance over 20 feet between the sign and the nearest adjacent street or highway right-of-way, up to a maximum of 50 feet per second.*
  - 6) *This subsection shall not apply to chaser effects on theater marquees.*

**Response:** No effects are proposed with this sign. These criteria are not applicable to the proposed sign.

Section 900.100: Signs Installed Over or Within the Right-of-Way

*No sign shall be erected over or within the public right-of-way unless the placement of the sign is first approved by the governmental unit having jurisdiction over the right-of-way.*

**Response:** The proposed sign will be located entirely within the boundaries of the site. This criterion is not applicable to the proposed sign.



Section 900.115: Sign Location for Safety

- a) *No sign shall be erected or maintained which, by reason of its size, location, or construction constitutes a hazard to the public.*
- b) *No sign shall obstruct any building opening such that light or ventilation is reduced below minimums required by the Salem Revised Code or any other applicable law.*
- c) *No sign shall be erected within five feet of an exterior wall in which there are openings that lie directly behind the display surface unless the sign conforms with the requirements specified by SRC chapter 56 and the sign is constructed of noncombustible materials or approved plastics.*
- d) *Any sign located on a sidewalk shall have a safety barrier of not less than 18 inches, measured from the bottom of the sidewalk surface, and constructed of solid and seamless materials.*
- e) *No sign shall be placed within a sidewalk intersection.*
- f) *Signs shall be located not less than ten feet horizontally and ten feet vertically from all overhead electrical conductors which are energized in excess of 750 volts.*

**Response:** The proposed sign is on the wall of a building and not proposed in a location that would constitute a hazard to the public. None of the other criterion listed in this section are applicable to the proposed sign.

Section 900.120: Sign Maintenance

- a) *All signs, together with the site and all components of the sign structure, shall be kept in good repair, free from deterioration, and in a neat, clean, attractive, and safe condition.*
- b) *No sign shall be located on a wall facing a side lot line if it is necessary to go onto the adjacent lot to install or service the sign, unless written consent of the adjacent property owner has been obtained prior to the issuance of the sign permit.*

**Response:** The signs will become part of the regular maintenance associated with the upkeep of the campus and campus facilities. These criteria are not applicable to the proposed sign.

Section 900.130: Freestanding Signs

- a) *Setbacks.*
  - 1) *Freestanding signs shall have a setback of not less than three feet from the street front property line, unless the property is subject to a special setback area and no authorization to place a freestanding sign in the special setback area has been given, in which case the freestanding sign shall be setback not less than three feet from the special setback area.*
  - 2) *Freestanding signs shall have a setback of not less than five feet from a side property line.*
- b) *Structure.*
  - 1) *A freestanding sign shall be directly supported by poles or a foundation.*
  - 2) *No external cross braces, guy wires, "T" frames, "A" frames, "trusses," or similar bracing systems shall be used in constructing freestanding signs. Nothing in this subsection prohibits the use of standardized outdoor advertising structures and stringers customarily used for the support of sections of the display surface.*
- c) *Limit. A corner lot shall be limited to one freestanding sign.*

**Response:** The proposed sign is not freestanding. Therefore, this criterion does not apply.



Section 900.135: Hanging Signs

- a) *Clearance. Hanging signs shall have a vertical clearance of seven feet, six inches between the bottom of the hanging sign and the grade below the sign.*
- b) *Structure. No supporting member of any hanging sign shall pierce or extend through the support structure.*
- c) *Size. The display surface of a hanging sign shall not exceed six square feet.*

**Response:** The proposed sign is not a hanging sign. These criteria are not applicable to this request.

Section 900.145: Roof Signs

- a) *Width. On buildings that are less than 50 feet wide, the width of a roof sign shall be no greater than 50 percent of the width of building. On buildings that are 50 feet wide or greater, the width of a roof sign shall be no greater than 25 feet or 25 percent of the width of the building, whichever is less.*
- b) *Height.*
  - 1) *Roof signs located on a flat roof shall not exceed the following heights:*
    - A. *Building height of 15 feet or less, six feet.*
    - B. *Building height of 15 to 20 feet, seven feet.*
    - C. *Building height greater than 20 feet, eight feet.*
  - 2) *The height of a roof sign located on a gable, hipped roof, or pitched roof that is less than eight feet in height shall be no greater than 50 percent of the vertical height of the roof. The height of roof signs located on a gable, hipped roof, or pitched roof that is eight feet in height or greater shall be no greater than four feet or 25 percent of the vertical height of the roof, whichever is larger. Vertical height shall be measured from the lower edge of the roof to the peak of the gable, hip, or pitch, vertically from, and not along the plane of, the gable, hip, or pitch.*
  - 3) *Roof signs located on a marquee or canopy shall not exceed a height of four feet above the roof of the marquee or canopy.*
- c) *Setbacks.*
  - 1) *A roof sign shall be setback a minimum of three feet from the front wall.*
  - 2) *A roof sign shall be setback a minimum of three feet from each end wall.*
- d) *Clearance.*
  - 1) *A roof sign shall have a minimum clearance of three feet between the bottom of the roof sign and the top of a parallel parapet.*
  - 2) *When a roof sign is placed on the peak of a roof, the roof sign shall have a minimum clearance of 1½ feet between the bottom of the sign and the roof.*
- e) *Structure. Except for vertical poles, the supporting structure of a roof sign shall be completely enclosed.*

**Response:** The proposed sign is not a roof sign. These criteria are not applicable to this request.

Section 900.150: Wall Signs

- a) *Wall signs on building walls. Wall signs placed on a wall of a building shall conform to this subsection.*
  - 1) *Height*
    - A. *Wall signs may project above the higher of the eave line, roof line, or top of the parapet a distance equal to one-third of the height of the sign or three feet, whichever is less.*



- B. *Wall signs that do not extend the full length of the wall may project above the eave line, roof line, or top of the parapet one-third of the height of a building if the building is less than 15 feet in height, or six feet if the building is over 15 feet in height.*
- C. *The height of a wall sign that extends the full length of the wall shall not exceed four feet, measured from the roof line directly behind the wall to the top of the wall.*
- D. *Wall signs attached to a marquee shall not exceed 30 inches in height.*

**Response:** The project complies with this standard. The proposed sign does not extend the full length of the wall, is approximately 2 feet 6 inches in height, and located completely below the eave line and roof line.

2) *Structure*

- A. *The supporting structure for any wall sign shall be completely enclosed so as not to be visible from any public street, alley, or adjacent property.*
- B. *No external braces, guy wires, "A" frames, or similar bracing system shall be used in constructing a wall sign.*
- C. *Wall signs may be installed on mansard roofs of 30 degrees or less, if they are installed vertically, and if the supporting structure is completely enclosed so as not to be visible from any public street, alley, or adjacent property.*

**Response:** Sign 9 is located on the south elevation of the Building A Expansion, which is a fully enclosed building. There will be no external braces and the sign is not being installed on mansard roofs. All of the adjacent streets to the emergency room, including Capitol Street SE, are interior to the hospital campus and are private streets. Because of this, the proposed sign is not likely to be visible from adjacent properties or public streets.

3) *Clearance*

- A. *The bottom of a wall sign that projects from a wall and is located on an alley shall have a clearance of not less than 14 feet from grade and shall have a maximum projection from the wall to which it is attached of not more than 12 inches.*
- B. *The lower edge of a wall sign attached to a marquee shall not extend below the marquee.*

**Response:** The project complies with this standard. The proposed sign is mounted approximately 16 feet above the ground, meeting all clearance standards.

Section 900.215: Permanent Signs in Public Zones

c) *Signs permitted in Public and Private Health Services (PH) Zones*

1) *The following signs are permitted in PH zones:*

- A. *Wall signs. One wall sign for each building frontage, which shall be limited to the greater of 32 square feet or two percent of the gross face area of the building frontage on which it is located.*



**Response:** Sign 9 is located on the south elevation of the Building A Expansion, which has a gross face area of 30,761 square feet. The proposed sign is approximately 63.95 square feet, meeting the requirement of 2% of the total face area of the building, which is approximately 615 square feet. However, the south elevation of the Building A Expansion is not considered a building frontage by the City. Therefore, a variance is requested to allow for the proposed wall mounted sign to be placed on the south elevation. Please see details to the variance in Section 900.040 of this narrative.

- B. Freestanding signs. One freestanding sign for each building frontage, which shall be limited to five feet in height and 24 square feet in total display surface; provided, however, that one such sign may be 15 feet in height and 24 square feet in total display surface. Such signs shall be set back at least three feet from a street front property line or the special setback area established by the Salem Zoning Ordinance, whichever is greater, provided further that, where adjacent property is zoned residential or commercial office, signs shall be set back at least 20 feet from the side lot line abutting a CO or residential zone.*
- C. Vehicle directional signs. One vehicle directional sign located at each motor vehicle entrance to or exit from the property. A wall sign shall be limited to a display surface not exceeding four square feet. A freestanding sign shall be limited to a display surface not exceeding eight square feet and to a height not exceeding 30 inches.*
- D. Electronic display signs. Electronic display signs no larger than 800 square feet shall be permitted in the PH zone within stadiums, athletic fields, and other outdoor assembly facilities, where they are intended primarily for viewing by persons within the facility, are oriented toward the interior of the facility and viewing stands and are used only during events where the public attends as spectators. Notwithstanding any other provision of this chapter, signs allowed by this subsection may employ dissolve, fade, scrolling, static display, travel, and video display. Signs allowed by this subsection shall not be subject to the electronic sign display surface standards set forth in SRC 900.090(c).*

**Response:** The proposed sign is not a freestanding sign, a vehicle directional sign, or an electronic display sign. Therefore, standards (B) through (D) above do not apply to this application.

- E. Externally illuminated and internally illuminated signs. Only emergency vehicle directional signs and emergency entrances to a building in PH zones shall be externally illuminated signs or internally illuminated signs. No flashing illumination shall be permitted.*

**Response:** The proposed wall sign is internally illuminated and marking the entrance to the emergency room. Therefore, this criterion is not applicable.





### III. CONCLUSION

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This summary of request and supplemental attachments demonstrates that Sign 9 is in compliance with applicable approval criteria and code standards of Type III Sign Variance. The applicant respectfully requests that the City of Salem approve the land use application.



# Salem Health Hospital Sign Variance: Sign 10

Type III Review

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**Owner:** Salem Health  
890 Oak Street SE  
Salem, OR 97301

**Architect:** Scott Edwards Architecture  
2525 E Burnside St.  
Portland, OR 97214

Alden Kasiewicz  
[alden@seallp.com](mailto:alden@seallp.com)  
(503)226-3617

**Planner:** Harper Houf Peterson Righellis, Inc.  
205 SE Spokane Street, Suite 200  
Portland, OR 97202

Brad Kilby, AICP  
[bradk@hhpr.com](mailto:bradk@hhpr.com)  
(503)221-1131

**Site Location:** 890 Oak Street SE (Salem Health Campus)

**Tax Lot:** 073W27DA Tax Lot 01600

**Project Size:** 9.44 Acres

**Zone:** Public and Private Health Services (PH)

**Summary of Request:** The owner, Salem Health, is seeking a variance to allow for more than one wall mounted sign on the east elevation of the Building A Expansion. Section 900.215(c)(1)(A) allows for one wall sign for each building frontage, limited to the greater of 32 square feet or two percent of the gross face area of the building frontage on which it is located. The variance is requested to allow for more than one proposed wall sign that would also exceed the maximum size of the wall sign.

**Date:** November 29, 2021



# Table of Contents

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I.	SUMMARY OF PROPOSAL AND REQUEST.....	3
	Existing Conditions .....	3
	Proposal.....	4
II.	RESPONSES TO APPLICABLE CODE SECTIONS.....	5
	Chapter 900: Sign Code .....	5
III.	CONCLUSION .....	16



# I. SUMMARY OF PROPOSAL AND REQUEST

## Existing Conditions

Salem Health is the owner of the property and operates the Salem Hospital on the subject site. The hospital is in a campus setting, just south of downtown Salem and serves as the primary health care provider for Oregon's Mid-Willamette Valley. The hospital is one of Oregon's largest acute care hospitals and operates one of the busiest emergency departments on the West Coast. As one of Salem's largest employers, the hospital employs over 5,200 employees and has approximately 770 medical providers on staff. The hospital campus is generally divided into an east and west campus with Winter Street SE serving as the dividing line as illustrated in the vicinity map shown below. The topography is generally flat with slopes ranging between 3-5%. The campus is generally bound on the south by Mission Street SE, on the east by 12th Street SE, on the north by Bellevue Street SE and the Shelton Ditch, and on the west by Church Street SE and Pringle City Park. A tributary of Pringle Creek goes through the middle of the campus in an SE/NW direction. Many of the internal streets are private with public access easements overlaid.

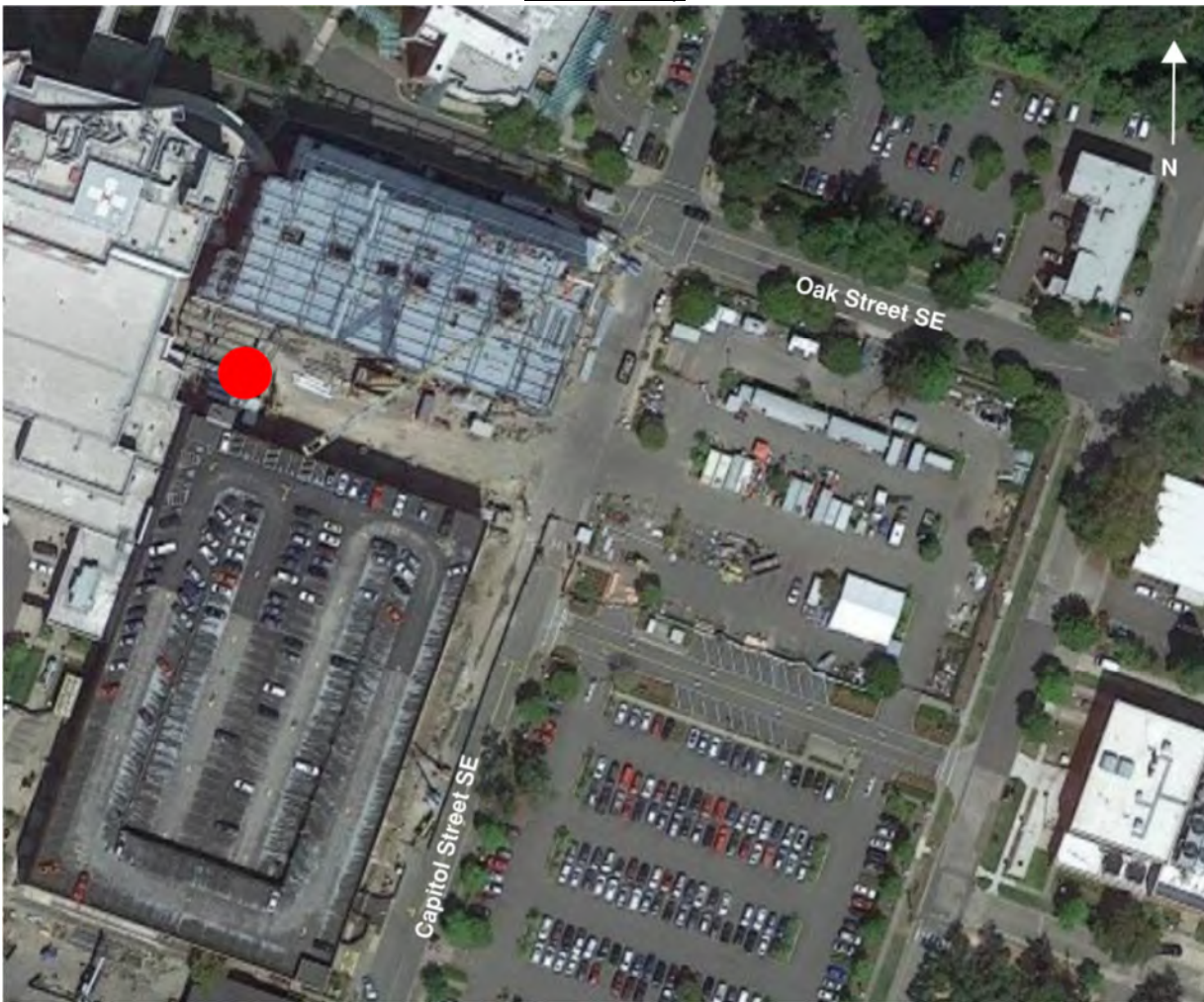
**Vicinity Map**



## Proposal

Salem Health proposes to construct a building mounted sign that is approximately 129 square feet in size and four feet in height on the east elevation of the emergency department. The sign will be located above the entrance of the emergency department and clearly mark the entrance with an internally illuminated "Emergency" sign. The applicant is requesting a variance to Standard 900.215(c)(1)(A) of the Salem Sign Code to allow for a second wall mounted sign on a building frontage and to allow for the sign to be larger than the standard area. The approximate location of Sign 10 is shown below with a red circle.

Location Map



## II. RESPONSES TO APPLICABLE CODE SECTIONS

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**Note:** Responses to all applicable sections of the Salem Revised Code are included below. Sections that are not applicable or do not require a response may be omitted from the narrative text.

### Chapter 900: Sign Code

#### Section 900.020: Prohibited Signs

*The following signs are prohibited:*

- a) *Any sign which creates a public nuisance due to statements, words, or pictures of an obscene or pornographic character.*
- b) *Any sign which violates ORS ch. 377.*
- c) *Any sign which is placed on, affixed to, or painted on a motor vehicle, vehicle, or trailer and placed on public or private property with the primary purpose of providing a sign not otherwise permitted by this chapter.*
- d) *Any sign located in a manner which could impede traffic on any street, alley, bikeway, or other vehicular way.*
- e) *Any sign constructed in such a manner or at such a location that it will obstruct access to any fire escape or other means of ingress or egress from a building. No sign structure, or part thereof, shall cover, wholly or partially, any window or doorway in a manner that will substantially limit access to the building in case of fire.*
- f) *Any sign constructed or maintained which, by reason of its size, location, movement, coloring, or manner of illumination may be confused with or construed as an official traffic control device or which hides any official traffic control device from view.(g)Any sign, other than an official traffic control device, located within a vision clearance area.(h)Any sign that employs a structure, material, illumination, size, or placement not specifically allowed under this chapter, unless the sign is a lawfully established nonconforming sign.*

**Response:** The applicant is not proposing any of the signs prohibited above. For reference, the sign does not display any prohibited content; does not affect any state highway (ORS 377); is not proposed to be fixed to any motor vehicle, vehicle, or trailer; would not be located within a vision clearance area or within an area that would impede traffic; is not in a location that would impact emergency access; and does not appear similar to any official traffic control device.

#### Section 900.025: Sign Permits

- a) *Applicability. Except as otherwise provided in this chapter, a permit is required for the construction, erection, enlargement, alteration, or relocation of any sign.*
- b) *Procedure type. An application for a sign permit is a Type I procedure under SRC chapter 300.*
- c) *Additional submittal requirements. In addition to the submittal requirements under SRC chapter 300, an application for a sign permit shall contain:*
  - 1) *The location of the sign by street and number.*
  - 2) *The name and address of the sign owner and of the sign erector.*



- 3) *Two complete sets of plans for the sign, in a graphic form, detailed and clear enough to show compliance with this chapter. At a minimum, the plans shall include:*
  - A. *A detailed drawing of the sign, drawn to scale.*
  - B. *Site plan drawn to scale, including location of all existing signs on the property and their sizes.*
  - C. *Elevations of the building or structure with signs.*
  - D. *Identification of materials and type of sign.*
  - E. *A statement whether the sign is located on property owned or leased by the person constructing, erecting, or using the sign.*
- d) *Criteria. An application for a sign permit shall be granted if the following criteria are met:*
  - 1) *The sign meets the requirements of SRC chapter 56.*
  - 2) *The sign is allowed in the zone.*
  - 3) *The sign will not interfere with the use of any public right-of-way, other public easements, or other publicly owned property.*
  - 4) *The sign conforms to all the applicable standards in this chapter.*
- e) *Expiration. Sign permits shall be valid for 180 days after the date of issuance. The Director may grant a one-time extension for a sign permit, not to exceed 90 days, upon showing that there was reasonable cause for the delay and that the construction, erection, alteration, or other work still complies with this chapter.*
- f) *Permit fees. The application for a sign permit shall be accompanied by a fee as prescribed by resolution of the council.*

**Response:** The proposed wall mounted sign is allowed outright by Section 900.215(c)(1)(A). Because there is a sign already proposed on the east elevation of the building frontage (Sign 13), the applicant is requesting a variance to allow for an additional sign. Moreover, a variance is needed to allow for the proposed 129 square foot display area, which exceeds the size standards of Section 900.215(c)(1)(A). If the variance is approved, the applicant and contractor will obtain the necessary sign permits as required.

Section 900.030: Exceptions from Permit Requirements

- a) *The following activities do not require a sign permit:*
  - 1) *Changing of copy on a sign specifically designed for the use of replaceable copy.*
  - 2) *Painting, repainting, cleaning, and normal maintenance and repair of a sign, where no substantial structural alteration is made.*
- b) *The following signs do not require a sign permit, but are otherwise regulated by this chapter:*
  - 1) *Temporary signs not located in the public right-of-way.*
  - 2) *Signs for dwelling units authorized under SRC 900.185(a).*
  - 3) *Vehicle directional signs.*
- c) *The following signs do not require a sign permit, and are allowed in addition to any other signs otherwise allowed by this chapter:*
  - 1) *A warning sign that does not exceed four square feet in display surface and six feet in height, that is not located in a vision clearance area, and that is erected on private property to warn the*



- public of a danger on, or prohibiting or limiting access to, the premises on which the sign is located.*
- 2) *Permanent building plaques, cornerstones, name plates, and similar building identifications.*
  - 3) *House and building numbers where the numerals do not exceed six inches in height.*
  - 4) *Historical markers erected or maintained by public authority or by a historical society or historical organization identifying sites, buildings, or structures of recognized historical value.*
  - 5) *Non-illuminated signs not visible from a public sidewalk, street, highway, or alley.*
  - 6) *Interior signs.*
    - A. *Non-illuminated interior signs in commercial and industrial zones, including, but not limited to, signs attached to or painted on the inside of a window.*
    - B. *Illuminated interior signs intended to be viewed from the public sidewalk, street, highway, alley, plaza, park, or other similar public place; provided, however, that the sign does not flash or employ an effect, and does not exceed eight square feet in display surface.*
    - C. *Illuminated interior signs not intended to be viewed from the public right-of-way*
  - 7) *Directional signs that do not exceed eight square feet of display surface.*
  - 8) *Directional signs in commercial and industrial zones that do not exceed 22 square feet of display surface, that designate an automobile service entrance onto the premises, and limited to one per business per premises.*
  - 9) *Temporary signs authorized by a park use permit.*

**Response:** The sign is not exempt from any of the above permit requirements.

Section 900.040: Sign Variance

- a) *Applicability. Sign variances may be granted to the height and display surface standards, to increase the number of allowed signs, to allow relocation of a sign, and to allow structural alterations to a sign.*
  - 1) *Limitation. A sign variance shall not provide for any of the following:*
    - A. *To allow a sign prohibited by SRC 900.020, "Prohibited Signs."*
    - B. *To decrease a setback or a special setback.*
    - C. *To allow placement of a sign in a vision clearance area.*
    - D. *To allow structural alterations to a nonconforming or non-complying sign.*
    - E. *To authorize a sign not otherwise permitted on the property for which the variance is sought.*
    - F. *To allow any sign other than those specifically allowed by this chapter.*
    - G. *To modify the display and brightness regulations for electronic display sign established by SRC 900.090.*

**Responses:** This is a specific request to allow for a second wall mounted sign on the east elevation of the emergency department that exceeds the display size of Standard 900.215(c)(1)(A). It is not a request to allow a prohibited sign, decrease a setback, allow placement within a vision clearance area, allow structural alteration to a non-conforming or non-complying sign, allow a sign that is not otherwise permitted on the property, to allow a sign that's not specifically allowed by the chapter, or to modify an electronic display sign.

- b) *Procedure Type. A sign variance is a Type III procedure under SRC chapter 300.*





**Response:** The applicant is aware of the procedure and will comply with the applicant’s responsibilities through the Type III process.

- c) *Submittal requirements. In addition to the submittal requirements for a sign permit required by SRC 900.025, an application for a sign permit that includes a variance shall contain a statement of the specific standard for which the variance is requested, and the amount or scope of the variance.*

**Response:** As mentioned, this is a request to vary the allowed number of wall mounted signs on a building frontage required in Standard 900.215(c)(1)(A) from one sign to two signs and to allow for an increase in the display area size required in Standard 900.215(c)(1)(A). Below is a preliminary design for Sign 10.



- d) *Criteria. An application for a sign variance shall be granted if all of the following criteria are met:*
  - a) *Compliance with the applicable standard would create an unnecessary hardship due to unique or unusual physical conditions of the property over which the applicant has no control, such as topography and lot shape, which are not present on other properties in the vicinity that have the same zone designation; the hardship does not result from actions of the applicant, owner, or previous owners of the property; and the sign variance is limited to the minimum reasonably necessary to alleviate the problem created by the unique or unusual physical conditions;*

**Response:** The owner is seeking support of a wayfinding plan for the entire campus. This property is larger than most of the surrounding properties and located in a specific zone that is geared towards public health facilities. The property includes several large buildings, parking areas and departments throughout the entire campus. Salem Hospital is proposing a series of sign variances as part of a holistic wayfinding system that takes into consideration the state of mind of the visitor, site constraints, challenges, and the applicable sign code requirements. The signs proposed within the wayfinding plan are not located arbitrarily. Rather they are proposed in locations that are intended to eliminate confusion and promote clear and efficient movement throughout the campus for their patients. Specifically, Sign 10 will clearly mark the pedestrian entrance to the emergency department. This is necessary not only for wayfinding on the hospital campus, but also for individuals having emergencies to easily locate where to enter the emergency room.

- b) *The sign variance is necessary to permit signage comparable with other properties in the vicinity that have the same zone designation;*



**Response:** There are no comparable properties within the vicinity that have the same zone designation. Salem Hospital is located within the PH zone and sits within a large campus setting. Similarly situated properties within the area most likely experiencing the same challenges may include Willamette University or the Capitol Campus. In both instances, the likelihood that their visitors are experiencing medical distress and confusion as a result of those stresses affecting their ability to find a location on those campuses is likely to be lower and more than likely not a matter of life or death.

- c) *The sign variance will not adversely affect the function or appearance of the development and use of the property and surrounding properties; and*

**Response:** The proposed sign variance would not affect the function or overall appearance of the development and use of the property and surrounding properties. A variety of specialized medical services are provided throughout the campus as it is a regional hospital, not everyone that visits the campus is familiar with the area making wayfinding that much more important. The majority of signage proposed within the wayfinding plan is interior to the campus affording visitors additional information about the location of the services they may be seeking. This specific sign will ensure that visitors and patients know where to enter the emergency room after existing a vehicle or if traveling by foot.

- d) *The sign variance will not impose limitations on other properties and signage in the area, including signage that would be allowed on adjacent properties.*

**Response:** The proposed signage on this property provides messaging specific to the location of services for patients and visitors within the campus. There is no evidence to suggest that granting this variance would impose limitations on other properties or signage within the area.

- e) *Conditions of approval. The Review Authority may impose conditions on the approval of a sign variance necessary to establish compliance with the approval criteria.*

**Response:** The applicant is aware that specific conditions could be imposed upon the approval of the variance if it were to be approved.

- f) *Concurrent processing required. Applications for a sign variance shall be processed concurrently with the sign permit application.*

**Response:** Sign variances and applications for 11 signs are being requested concurrently with this request.

#### Section 900.060: Materials

- a) *Except as otherwise specified in this section, materials used for construction of signs shall be of the quality and grade specified for buildings and structures pursuant to SRC chapter 56.*
- b) *Except for lamps, tubes, bulbs, or neon tubing, no glass shall be used in the display surface of any sign.*



- c) *Roof signs, wall signs, projecting signs, and hanging signs shall be constructed of noncombustible materials, except for nonstructural trim, display surfaces, and cutouts which may be constructed of wood, metal, approved plastics, or any combination thereof.*
- d) *Except as provided in subsection (e) of this section, only metal and approved plastics shall be used in construction of electronic display signs, internally illuminated signs, and externally illuminated signs.*
- e) *Combustible materials for covering or ornamenting a sign structure may be used for electronic display signs, internally illuminated signs, and externally illuminated signs, provided that no load-bearing member of the sign structure is constructed of combustible materials and there is no substantial fire or electrical safety hazard.*
- f) *The sign structure of outdoor advertising signs shall be metal.*

**Response:** The proposed materials for the sign will be metal and the sign will be internally lit so that the sign is visible at night. The electrical will be designed by professional installers.

Section 900.065: Sign Supports

*Unless approval to place a sign in right-of-way has been obtained from the applicable government agency, sign supports shall be located on private property.*

**Response:** The proposed sign will be located entirely upon private property. Please see the Campus Signage Site Plan for the proposed location. This sign is identified as Sign 10 on the attached site plan.

Section 900.070: Electronic Sign Construction

- a) *Electronic display signs, externally illuminated signs, and internally illuminated signs shall be permanently and rigidly affixed to the sign structure or building.*
- b) *The bottom of electronic display signs, externally illuminated signs, and internally illuminated signs and outline lighting enclosures shall not be less than 16 feet above areas accessible to vehicles; provided, however, the bottom of such signs and enclosures may be less than 16 feet above areas accessible to vehicles where such enclosures are protected from physical damage.*
- c) *Electronic display signs, externally illuminated signs, and internally illuminated signs shall have placed, within easy view, a laboratory label from an approved testing agency.*
- d) *Electronic display signs, externally illuminated signs, and internally illuminated signs shall be serviced by underground utilities.*
- e) *Where underground electric service is provided by a utility company, outdoor advertising signs shall be serviced by underground utilities.*

**Response:** The proposed sign is not an electronic sign. These criteria are not applicable to this proposal.

Section 900.075: General Illumination Standards; Zone-Specific Standards

- a) *Except as otherwise provided in this section, permanent signs may be externally or internally illuminated.*
- b) *Temporary signs shall not be externally or internally illuminated.*
- c) *No sign shall use lights or illumination that creates an unduly distracting or hazardous condition to a motorist, a pedestrian, or the general public, or that may be confused with or construed as an official traffic control device.*



- d) *Wall signs, roof signs, and projecting signs placed on a building face that fronts a residential use may not be externally or internally illuminated.*
- e) *No reflective bulb, par spot, or incandescent lamp that exceeds 25 watts shall be exposed to direct view from a public street, but may be used for indirect illumination of a display surface.*
- f) *Neon tubing shall not exceed 300 milliamperes for white tubing or 100 milliamperes for colored tubing.*
- g) *Fluorescent tubes used for interior illumination of a sign shall be placed behind a plexiglass face and shall:
 
  - 1) *In residential zones, not exceed illumination equivalent to 425 milliamperes, and be spaced at least seven inches apart, measured from center to center.*
  - 2) *In commercial, industrial, and public zones, not exceed illumination equivalent to 800 milliamperes and be spaced at least nine inches apart, measured center to center.**
- h) *The light source for an internally illuminated sign may be comprised of light emitting diodes, so long as the light emitting diodes are used for illumination only, do not create an electronic display or effect, and conform to the brightness limitations set forth in SRC 900.090.*
- i) *Zone-specific standards. Notwithstanding subsection (a) of this section, the following standards apply in the following zones:
 
  - 5) *In the Public and Private Health Services (PH) Zone, only signs designating emergency entrances shall be illuminated.**

**Response:** The proposed sign is intended to designate where the entrance to the emergency room is located and is therefore allowed to be illuminated under Standard (i)(5) above.

Section 900.085: Effects

- a) *The use of effects is allowed only where flashing light is allowed, subject to the standards set forth in SRC 900.080 and in this section.*
- b) *No sign may use a speller effect, or effect in the form of a starburst, expanding starburst, expanding arrow, or extending arrow.*
- c) *Chaser effects.
 
  - 1) *Each display surface may have only one chaser effect.*
  - 2) *Only one sign per building frontage may use a chaser effect. If building has frontage on two or more streets, the building may have a sign using a chaser effect on each frontage.*
  - 3) *No chaser effect is permitted to be on the same side of a sign as flashing light.*
  - 4) *No chaser effect shall exceed 20 percent of the illuminated display surface of the sign.*
  - 5) *No chaser effect shall produce an apparent motion in a single direction that exceeds ten feet per second plus an additional five feet per second for each ten-foot distance over 20 feet between the sign and the nearest adjacent street or highway right-of-way, up to a maximum of 50 feet per second.*
  - 6) *This subsection shall not apply to chaser effects on theater marquees.**

**Response:** No lighting or mobile effects are proposed with this sign. These criteria are not applicable to the proposed sign.



Section 900.100: Signs Installed Over or Within the Right-of-Way

*No sign shall be erected over or within the public right-of-way unless the placement of the sign is first approved by the governmental unit having jurisdiction over the right-of-way.*

**Response:** The proposed sign will be located entirely within the boundaries of the site. This criterion is not applicable to the proposed sign.

Section 900.115: Sign Location for Safety

- a) No sign shall be erected or maintained which, by reason of its size, location, or construction constitutes a hazard to the public.*
- b) No sign shall obstruct any building opening such that light or ventilation is reduced below minimums required by the Salem Revised Code or any other applicable law.*
- c) No sign shall be erected within five feet of an exterior wall in which there are openings that lie directly behind the display surface unless the sign conforms with the requirements specified by SRC chapter 56 and the sign is constructed of noncombustible materials or approved plastics.*
- d) Any sign located on a sidewalk shall have a safety barrier of not less than 18 inches, measured from the bottom of the sidewalk surface, and constructed of solid and seamless materials.*
- e) No sign shall be placed within a sidewalk intersection.*
- f) Signs shall be located not less than ten feet horizontally and ten feet vertically from all overhead electrical conductors which are energized in excess of 750 volts.*

**Response:** The proposed sign is not proposed in a location that would constitute a hazard to the public. None of the other criterion listed in this section are applicable to the proposed sign.

Section 900.120: Sign Maintenance

- a) All signs, together with the site and all components of the sign structure, shall be kept in good repair, free from deterioration, and in a neat, clean, attractive, and safe condition.*
- b) No sign shall be located on a wall facing a side lot line if it is necessary to go onto the adjacent lot to install or service the sign, unless written consent of the adjacent property owner has been obtained prior to the issuance of the sign permit.*

**Response:** The signs will become part of the regular maintenance associated with the upkeep of the campus and campus facilities. These criteria are not applicable to the proposed sign.

Section 900.130: Freestanding Signs

- a) Setbacks.*
  - 1) Freestanding signs shall have a setback of not less than three feet from the street front property line, unless the property is subject to a special setback area and no authorization to place a freestanding sign in the special setback area has been given, in which case the freestanding sign shall be setback not less than three feet from the special setback area.*
  - 2) Freestanding signs shall have a setback of not less than five feet from a side property line.*
- b) Structure.*
  - 1) A freestanding sign shall be directly supported by poles or a foundation.*



- 2) *No external cross braces, guy wires, "T" frames, "A" frames, "trusses," or similar bracing systems shall be used in constructing freestanding signs. Nothing in this subsection prohibits the use of standardized outdoor advertising structures and stringers customarily used for the support of sections of the display surface.*
- c) *Limit. A corner lot shall be limited to one freestanding sign.*

**Response:** The proposed sign is not freestanding. Therefore, this criterion does not apply.

Section 900.135: Hanging Signs

- a) *Clearance. Hanging signs shall have a vertical clearance of seven feet, six inches between the bottom of the hanging sign and the grade below the sign.*
- b) *Structure. No supporting member of any hanging sign shall pierce or extend through the support structure.*
- c) *Size. The display surface of a hanging sign shall not exceed six square feet.*

**Response:** The proposed sign is not a hanging sign. These criteria are not applicable to this request.

Section 900.145: Roof Signs

- a) *Width. On buildings that are less than 50 feet wide, the width of a roof sign shall be no greater than 50 percent of the width of building. On buildings that are 50 feet wide or greater, the width of a roof sign shall be no greater than 25 feet or 25 percent of the width of the building, whichever is less.*
- b) *Height.*
  - 1) *Roof signs located on a flat roof shall not exceed the following heights:*
    - A. *Building height of 15 feet or less, six feet.*
    - B. *Building height of 15 to 20 feet, seven feet.*
    - C. *Building height greater than 20 feet, eight feet.*
  - 2) *The height of a roof sign located on a gable, hipped roof, or pitched roof that is less than eight feet in height shall be no greater than 50 percent of the vertical height of the roof. The height of roof signs located on a gable, hipped roof, or pitched roof that is eight feet in height or greater shall be no greater than four feet or 25 percent of the vertical height of the roof, whichever is larger. Vertical height shall be measured from the lower edge of the roof to the peak of the gable, hip, or pitch, vertically from, and not along the plane of, the gable, hip, or pitch.*
  - 3) *Roof signs located on a marquee or canopy shall not exceed a height of four feet above the roof of the marquee or canopy.*
- c) *Setbacks.*
  - 1) *A roof sign shall be setback a minimum of three feet from the front wall.*
  - 2) *A roof sign shall be setback a minimum of three feet from each end wall.*
- d) *Clearance.*
  - 1) *A roof sign shall have a minimum clearance of three feet between the bottom of the roof sign and the top of a parallel parapet.*
  - 2) *When a roof sign is placed on the peak of a roof, the roof sign shall have a minimum clearance of 1½ feet between the bottom of the sign and the roof.*



e) *Structure. Except for vertical poles, the supporting structure of a roof sign shall be completely enclosed.*

**Response:** The proposed sign is not a roof sign. These criteria are not applicable to this request.

Section 900.150: Wall Signs

a) *Wall signs on building walls. Wall signs placed on a wall of a building shall conform to this subsection.*

1) *Height*

- A. *Wall signs may project above the higher of the eave line, roof line, or top of the parapet a distance equal to one-third of the height of the sign or three feet, whichever is less.*
- B. *Wall signs that do not extend the full length of the wall may project above the eave line, roof line, or top of the parapet one-third of the height of a building if the building is less than 15 feet in height, or six feet if the building is over 15 feet in height.*
- C. *The height of a wall sign that extends the full length of the wall shall not exceed four feet, measured from the roof line directly behind the wall to the top of the wall.*
- D. *Wall signs attached to a marquee shall not exceed 30 inches in height.*

**Response:** The project complies with this standard. The proposed sign does not extend the full length of the wall, is approximately 4 feet in height, and located completely below the eave line and roof line.

2) *Structure*

- A. *The supporting structure for any wall sign shall be completely enclosed so as not to be visible from any public street, alley, or adjacent property.*
- B. *No external braces, guy wires, "A" frames, or similar bracing system shall be used in constructing a wall sign.*
- C. *Wall signs may be installed on mansard roofs of 30 degrees or less, if they are installed vertically, and if the supporting structure is completely enclosed so as not to be visible from any public street, alley, or adjacent property.*

**Response:** The proposed sign is located on the east elevation of the emergency room, which is a fully enclosed building. There will be no external braces and the sign is not being installed on mansard roofs. All of the adjacent streets to the emergency room, including Capitol Street SE, are interior to the hospital campus and are private streets. Because of this, the proposed sign is not visible from adjacent properties or public streets.

3) *Clearance*

- A. *The bottom of a wall sign that projects from a wall and is located on an alley shall have a clearance of not less than 14 feet from grade and shall have a maximum projection from the wall to which it is attached of not more than 12 inches.*
- B. *The lower edge of a wall sign attached to a marquee shall not extend below the marquee.*

**Response:** The project complies with this standard. The proposed sign is mounted above the main entrance to the emergency room and is approximately 16 feet above grade.



Section 900.215: Permanent Signs in Public Zones

c) *Signs permitted in Public and Private Health Services (PH) Zones*

1) *The following signs are permitted in PH zones:*

A. *Wall signs. One wall sign for each building frontage, which shall be limited to the greater of 32 square feet or two percent of the gross face area of the building frontage on which it is located.*

**Response:** The proposed sign is located on the east frontage of the emergency room, which has a gross face area of 2,262 square feet. The proposed sign is approximately 129 square feet, exceeding 2% of the total face area of the building, which is approximately 45 square feet. Additionally, there is already a wall mounted sign proposed to be located on the east elevation of the building frontage. Therefore, a variance is requested to allow for the proposed sign to exceed the display size standard and to allow for a second wall mounted sign. Please see details to the variance in Section 900.040 of this narrative.

B. *Freestanding signs. One freestanding sign for each building frontage, which shall be limited to five feet in height and 24 square feet in total display surface; provided, however, that one such sign may be 15 feet in height and 24 square feet in total display surface. Such signs shall be set back at least three feet from a street front property line or the special setback area established by the Salem Zoning Ordinance, whichever is greater, provided further that, where adjacent property is zoned residential or commercial office, signs shall be set back at least 20 feet from the side lot line abutting a CO or residential zone.*

C. *Vehicle directional signs. One vehicle directional sign located at each motor vehicle entrance to or exit from the property. A wall sign shall be limited to a display surface not exceeding four square feet. A freestanding sign shall be limited to a display surface not exceeding eight square feet and to a height not exceeding 30 inches.*

D. *Electronic display signs. Electronic display signs no larger than 800 square feet shall be permitted in the PH zone within stadiums, athletic fields, and other outdoor assembly facilities, where they are intended primarily for viewing by persons within the facility, are oriented toward the interior of the facility and viewing stands and are used only during events where the public attends as spectators. Notwithstanding any other provision of this chapter, signs allowed by this subsection may employ dissolve, fade, scrolling, static display, travel, and video display. Signs allowed by this subsection shall not be subject to the electronic sign display surface standards set forth in SRC 900.090(c).*

**Response:** The proposed sign is not a freestanding sign, a vehicle directional sign, or an electronic display sign. Therefore, standards (B) through (D) above do not apply to this application.

E. *Externally illuminated and internally illuminated signs. Only emergency vehicle directional signs and emergency entrances to a building in PH zones shall be externally illuminated signs or internally illuminated signs. No flashing illumination shall be permitted.*





**Response:** The proposed wall sign is internally illuminated and marking the entrance to the emergency room. Therefore, this criterion is met.

### III. CONCLUSION

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This summary of request and supplemental attachments demonstrates that Sign 10 is in compliance with applicable approval criteria and code standards of Type III Sign Variance. The applicant respectfully requests that the City of Salem approve the land use application.



# Salem Health Hospital Sign Variance: Sign 11

Type III Review

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**Owner:** Salem Health  
890 Oak Street SE  
Salem, OR 97301

**Architect:** Scott Edwards Architecture  
2525 E Burnside St.  
Portland, OR 97214

Alden Kasiewicz  
[alden@seallp.com](mailto:alden@seallp.com)  
(503)226-3617

**Planner:** Harper Houf Peterson Righellis, Inc.  
205 SE Spokane Street, Suite 200  
Portland, OR 97202

Brad Kilby, AICP  
[bradk@hhpr.com](mailto:bradk@hhpr.com)  
(503)221-1131

**Site Location:** 890 Oak Street SE (Salem Health Campus)

**Tax Lot:** 073W27DA Tax Lot 1600

**Project Size:** 9.44 Acres

**Zone:** Public and Private Health Services (PH)

**Summary of Request:** The owner, Salem Health, is seeking a variance to in order to internally illuminate a wall mounted sign on the Building A Expansion. Under the provisions of 900.215(c)(1)(E) only emergency vehicle directional signs and emergency entrances to a building in PH zones shall be externally illuminated signs or internally illuminated signs.

**Date:** November 29, 2021



## Table of Contents

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I.	SUMMARY OF PROPOSAL AND REQUEST.....	3
	Existing Conditions .....	3
	Proposal.....	4
II.	RESPONSES TO APPLICABLE CODE SECTIONS.....	5
	Chapter 900: Sign Code .....	5
III.	CONCLUSION .....	16



# I. SUMMARY OF PROPOSAL AND REQUEST

## Existing Conditions

Salem Health is the owner of the property and operates the Salem Hospital on the subject site. The hospital is in a campus setting, just south of downtown Salem and serves as the primary health care provider for Oregon's Mid-Willamette Valley. The hospital is one of Oregon's largest acute care hospitals and operates one of the busiest emergency departments on the West Coast. As one of Salem's largest employers, the hospital employs over 5,200 employees and has approximately 770 medical providers on staff. The hospital campus is generally divided into an east and west campus with Winter Street SE serving as the dividing line as illustrated in the vicinity map shown below. The topography is generally flat with slopes ranging between 3-5%. The campus is generally bound on the south by Mission Street SE, on the east by 12th Street SE, on the north by Bellevue Street SE and the Shelton Ditch, and on the west by Church Street SE and Pringle City Park. A tributary of Pringle Creek goes through the middle of the campus in an SE/NW direction. Many of the internal streets are private with public access easements overlaid.

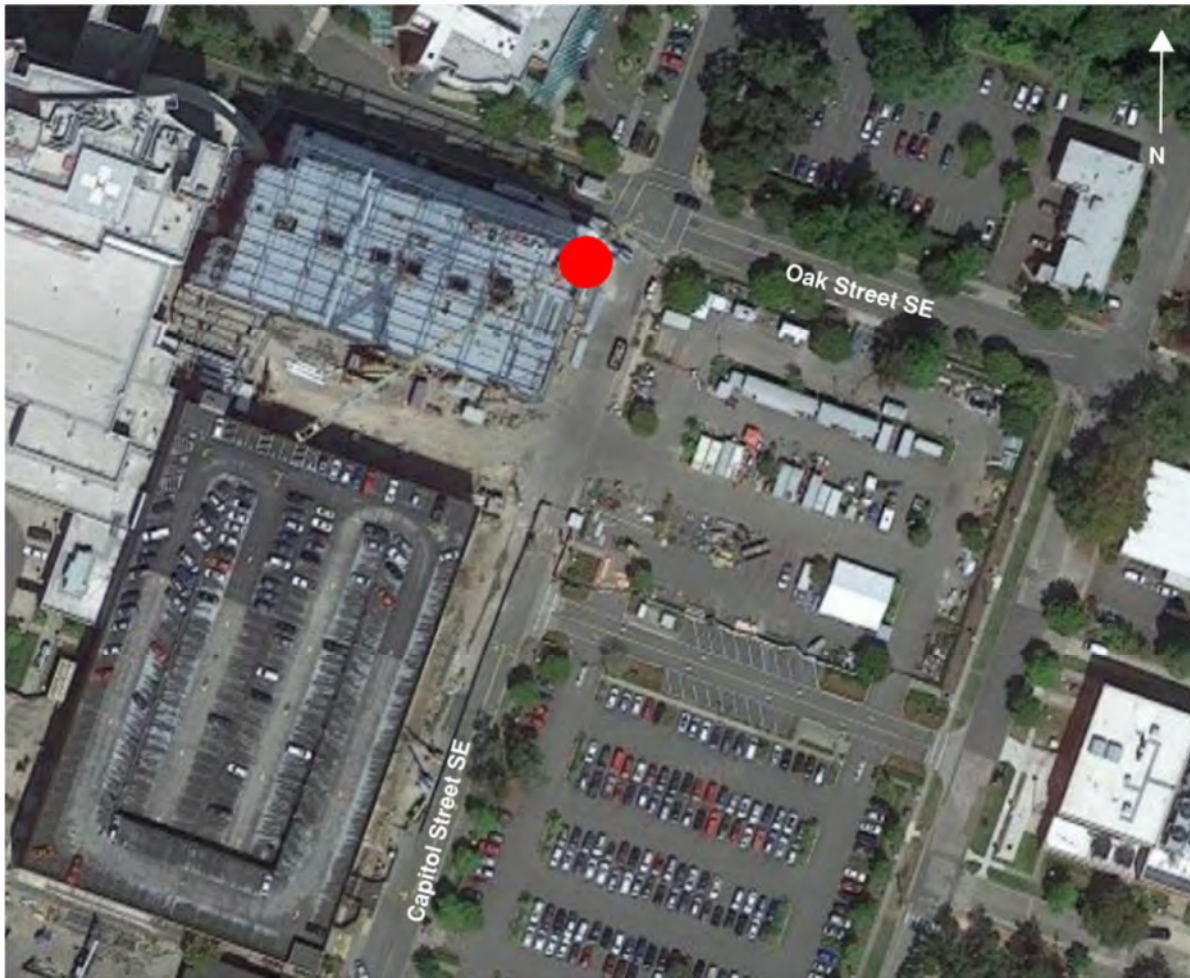
**Vicinity Map**



## Proposal

Salem Health proposes to construct a wall mounted sign that is approximately 228.87 square feet in size on the east elevation of the Building A Expansion near the top of the building. The Building A Expansion is located at the corner of Capitol Street SE and Oak Street SE, both private streets. Oak Street SE is one of the primary street entrances into the hospital campus and the proposed sign will mark this entrance for visitors to the hospital. The applicant is requesting a variance to Standard 900.215(c)(1)(E) of the Salem Sign Code to allow for this non-emergency wall mounted sign to be internally illuminated. The sign is 120 feet above the ground and not visible to a patron that would be looking for the emergency room. The approximate location of Sign 11 is shown below with a red circle.

Location Map



## II. RESPONSES TO APPLICABLE CODE SECTIONS

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**Note:** Responses to all applicable sections of the Salem Revised Code are included below. Sections that are not applicable or do not require a response may be omitted from the narrative text.

### Chapter 900: Sign Code

#### Section 900.020: Prohibited Signs

*The following signs are prohibited:*

- a) Any sign which creates a public nuisance due to statements, words, or pictures of an obscene or pornographic character.*
- b) Any sign which violates ORS ch. 377.*
- c) Any sign which is placed on, affixed to, or painted on a motor vehicle, vehicle, or trailer and placed on public or private property with the primary purpose of providing a sign not otherwise permitted by this chapter.*
- d) Any sign located in a manner which could impede traffic on any street, alley, bikeway, or other vehicular way.*
- e) Any sign constructed in such a manner or at such a location that it will obstruct access to any fire escape or other means of ingress or egress from a building. No sign structure, or part thereof, shall cover, wholly or partially, any window or doorway in a manner that will substantially limit access to the building in case of fire.*
- f) Any sign constructed or maintained which, by reason of its size, location, movement, coloring, or manner of illumination may be confused with or construed as an official traffic control device or which hides any official traffic control device from view.(g)Any sign, other than an official traffic control device, located within a vision clearance area.(h)Any sign that employs a structure, material, illumination, size, or placement not specifically allowed under this chapter, unless the sign is a lawfully established nonconforming sign.*

**Response:** The applicant is not proposing any of the signs prohibited above. For reference, the sign does not display any prohibited content; does not affect any state highway (ORS 377); is not proposed to be fixed to any motor vehicle, vehicle, or trailer; would not be located within a vision clearance area or within an area that would impede traffic; is not in a location that would impact emergency access; and does not appear similar to any official traffic control device.

#### Section 900.025: Sign Permits

- a) Applicability. Except as otherwise provided in this chapter, a permit is required for the construction, erection, enlargement, alteration, or relocation of any sign.*
- b) Procedure type. An application for a sign permit is a Type I procedure under SRC chapter 300.*
- c) Additional submittal requirements. In addition to the submittal requirements under SRC chapter 300, an application for a sign permit shall contain:*



- 1) *The location of the sign by street and number.*
- 2) *The name and address of the sign owner and of the sign erector.*
- 3) *Two complete sets of plans for the sign, in a graphic form, detailed and clear enough to show compliance with this chapter. At a minimum, the plans shall include:*
  - A. *A detailed drawing of the sign, drawn to scale.*
  - B. *Site plan drawn to scale, including location of all existing signs on the property and their sizes.*
  - C. *Elevations of the building or structure with signs.*
  - D. *Identification of materials and type of sign.*
  - E. *A statement whether the sign is located on property owned or leased by the person constructing, erecting, or using the sign.*
- d) *Criteria. An application for a sign permit shall be granted if the following criteria are met:*
  - 1) *The sign meets the requirements of SRC chapter 56.*
  - 2) *The sign is allowed in the zone.*
  - 3) *The sign will not interfere with the use of any public right-of-way, other public easements, or other publicly owned property.*
  - 4) *The sign conforms to all the applicable standards in this chapter.*
- e) *Expiration. Sign permits shall be valid for 180 days after the date of issuance. The Director may grant a one-time extension for a sign permit, not to exceed 90 days, upon showing that there was reasonable cause for the delay and that the construction, erection, alteration, or other work still complies with this chapter.*
- f) *Permit fees. The application for a sign permit shall be accompanied by a fee as prescribed by resolution of the council.*

**Response:** The proposed wall mounted sign is allowed outright by Standard 900.215(c)(1)(A). The applicant is requesting a variance of Standard 900.215(c)(1)(A) to allow the sign to be internally illuminated. If the variance is approved, the applicant and contractor will obtain the necessary sign permits as required.

Section 900.030: Exceptions from Permit Requirements

- a) *The following activities do not require a sign permit:*
  - 1) *Changing of copy on a sign specifically designed for the use of replaceable copy.*
  - 2) *Painting, repainting, cleaning, and normal maintenance and repair of a sign, where no substantial structural alteration is made.*
- b) *The following signs do not require a sign permit, but are otherwise regulated by this chapter:*
  - 1) *Temporary signs not located in the public right-of-way.*
  - 2) *Signs for dwelling units authorized under SRC 900.185(a).*
  - 3) *Vehicle directional signs.*
- c) *The following signs do not require a sign permit, and are allowed in addition to any other signs otherwise allowed by this chapter:*
  - 1) *A warning sign that does not exceed four square feet in display surface and six feet in height, that is not located in a vision clearance area, and that is erected on private property to warn the*



- public of a danger on, or prohibiting or limiting access to, the premises on which the sign is located.*
- 2) *Permanent building plaques, cornerstones, name plates, and similar building identifications.*
  - 3) *House and building numbers where the numerals do not exceed six inches in height.*
  - 4) *Historical markers erected or maintained by public authority or by a historical society or historical organization identifying sites, buildings, or structures of recognized historical value.*
  - 5) *Non-illuminated signs not visible from a public sidewalk, street, highway, or alley.*
  - 6) *Interior signs.*
    - A. *Non-illuminated interior signs in commercial and industrial zones, including, but not limited to, signs attached to or painted on the inside of a window.*
    - B. *Illuminated interior signs intended to be viewed from the public sidewalk, street, highway, alley, plaza, park, or other similar public place; provided, however, that the sign does not flash or employ an effect, and does not exceed eight square feet in display surface.*
    - C. *Illuminated interior signs not intended to be viewed from the public right-of-way*
  - 7) *Directional signs that do not exceed eight square feet of display surface.*
  - 8) *Directional signs in commercial and industrial zones that do not exceed 22 square feet of display surface, that designate an automobile service entrance onto the premises, and limited to one per business per premises.*
  - 9) *Temporary signs authorized by a park use permit.*

**Response:** The sign is not exempt from any of the above permit requirements.

**Section 900.040: Sign Variance**

- a) *Applicability. Sign variances may be granted to the height and display surface standards, to increase the number of allowed signs, to allow relocation of a sign, and to allow structural alterations to a sign.*
  - 1) *Limitation. A sign variance shall not provide for any of the following:*
    - A. *To allow a sign prohibited by SRC 900.020, "Prohibited Signs."*
    - B. *To decrease a setback or a special setback.*
    - C. *To allow placement of a sign in a vision clearance area.*
    - D. *To allow structural alterations to a nonconforming or non-complying sign.*
    - E. *To authorize a sign not otherwise permitted on the property for which the variance is sought.*
    - F. *To allow any sign other than those specifically allowed by this chapter.*
    - G. *To modify the display and brightness regulations for electronic display sign established by SRC 900.090.*

**Responses:** This is a specific request to allow the sign to be illuminated. It is not a request to allow a prohibited sign, decrease a setback, allow placement within a vision clearance area, allow structural alteration to a non-conforming or non-complying sign, allow a sign that is not otherwise permitted on the property, allow a sign that's not specifically allowed by the chapter, or to modify an electronic display sign.

- b) *Procedure Type. A sign variance is a Type III procedure under SRC chapter 300.*

**Response:** The applicant is aware of the procedure and will comply with the Type III process.





- c) *Submittal requirements. In addition to the submittal requirements for a sign permit required by SRC 900.025, an application for a sign permit that includes a variance shall contain a statement of the specific standard for which the variance is requested, and the amount or scope of the variance.*

**Response:** As previously explained, this is a request for a sign that is allowed in the zone but is a non-emergency illuminated sign, varying from the requirement set out in Section 900.215(c)(1)(E). The overall display area of the sign is approximately 228.87 square feet, meeting the standards of Section 900.215(c)(1)(A) for wall mounted sign size. Below is an approximate design and location for Sign 11.



- d) *Criteria. An application for a sign variance shall be granted if all of the following criteria are met:*
- a) *Compliance with the applicable standard would create an unnecessary hardship due to unique or unusual physical conditions of the property over which the applicant has no control, such as topography and lot shape, which are not present on other properties in the vicinity that have the same zone designation; the hardship does not result from actions of the applicant, owner, or previous owners of the property; and the sign variance is limited to the minimum reasonably necessary to alleviate the problem created by the unique or unusual physical conditions;*

**Response:** The owner is seeking support of a wayfinding plan for the entire campus. This property is larger than most of the surrounding properties and located in a specific zone that is geared towards public health facilities. The property includes several large buildings, parking areas and departments throughout the entire campus. Salem Hospital is proposing a series of sign variances as part of a holistic wayfinding system that takes into consideration the state of mind of the visitor, site constraints, challenges, and the applicable sign code requirements. The signs proposed within the wayfinding plan are not located arbitrarily. Rather they are proposed in locations that are intended to eliminate confusion and promote clear and efficient movement throughout the campus for their patients. Specifically, Sign 11 will be located near the main entrance to the hospital campus and located on the same building that the vehicular entrance to the emergency department is in, allowing visitors and patients to easily navigate to necessary services within the hospital. Visitors, patients, and staff arrive at the hospital during all hours of the day, including hours where it is dark. Illuminating the Salem Health sign will allow for easier wayfinding to the center of the hospital campus.

*b) The sign variance is necessary to permit signage comparable with other properties in the vicinity that have the same zone designation;*

**Response:** There are no comparable properties within the vicinity that have the same zone designation. Salem Hospital is located within the PH zone and sits within a large campus setting. Similarly situated properties within the area most likely experiencing the same challenges may include Willamette University or the Capitol Campus. In both instances, the likelihood that their visitors are experiencing medical distress and confusion as a result of those stresses affecting their ability to find a location on those campuses is likely to be lower and more than likely not a matter of life or death.

*c) The sign variance will not adversely affect the function or appearance of the development and use of the property and surrounding properties; and*

**Response:** The proposed sign variance would not affect the function or overall appearance of the development and use of the property and surrounding properties. A variety of specialized medical services are provided throughout the campus as it is a regional hospital, not everyone that visits the campus is familiar with the area making wayfinding that much more important. The majority of signage proposed within the wayfinding plan is interior to the campus affording visitors additional information about the location of the services they may be seeking. This specific sign will ensure that visitors and patients can locate the main entrance to the hospital campus, specifically the entrance closest to the emergency room.

*d) The sign variance will not impose limitations on other properties and signage in the area, including signage that would be allowed on adjacent properties.*

**Response:** The proposed signage on this property provides messaging specific to the location of services for patients and visitors within the campus. There is no evidence to suggest that granting this variance would impose limitations on other properties or signage within the area.



- e) *Conditions of approval. The Review Authority may impose conditions on the approval of a sign variance necessary to establish compliance with the approval criteria.*

**Response:** The applicant is aware that specific conditions could be imposed upon the approval of the variance if it were to be approved.

- f) *Concurrent processing required. Applications for a sign variance shall be processed concurrently with the sign permit application.*

**Response:** Sign variances and applications for 11 signs are being requested concurrently with this request.

Section 900.060: Materials

- a) *Except as otherwise specified in this section, materials used for construction of signs shall be of the quality and grade specified for buildings and structures pursuant to SRC chapter 56.*
- b) *Except for lamps, tubes, bulbs, or neon tubing, no glass shall be used in the display surface of any sign.*
- c) *Roof signs, wall signs, projecting signs, and hanging signs shall be constructed of noncombustible materials, except for nonstructural trim, display surfaces, and cutouts which may be constructed of wood, metal, approved plastics, or any combination thereof.*
- d) *Except as provided in subsection (e) of this section, only metal and approved plastics shall be used in construction of electronic display signs, internally illuminated signs, and externally illuminated signs.*
- e) *Combustible materials for covering or ornamenting a sign structure may be used for electronic display signs, internally illuminated signs, and externally illuminated signs, provided that no load-bearing member of the sign structure is constructed of combustible materials and there is no substantial fire or electrical safety hazard.*
- f) *The sign structure of outdoor advertising signs shall be metal.*

**Response:** The proposed materials for the sign will be metal and the sign will be internally lit so that the sign is visible at night. The foundation and electrical will be designed by professional installers.

Section 900.065: Sign Supports

*Unless approval to place a sign in right-of-way has been obtained from the applicable government agency, sign supports shall be located on private property.*

**Response:** The proposed sign will be located entirely upon private property. Please see the Campus Signage Site Plan for the proposed location. This sign is identified as Sign 11 on the attached site plan.

Section 900.070: Electronic Sign Construction

- a) *Electronic display signs, externally illuminated signs, and internally illuminated signs shall be permanently and rigidly affixed to the sign structure or building.*
- b) *The bottom of electronic display signs, externally illuminated signs, and internally illuminated signs and outline lighting enclosures shall not be less than 16 feet above areas accessible to vehicles; provided,*



however, the bottom of such signs and enclosures may be less than 16 feet above areas accessible to vehicles where such enclosures are protected from physical damage.

- c) *Electronic display signs, externally illuminated signs, and internally illuminated signs shall have placed, within easy view, a laboratory label from an approved testing agency.*
- d) *Electronic display signs, externally illuminated signs, and internally illuminated signs shall be serviced by underground utilities.*
- e) *Where underground electric service is provided by a utility company, outdoor advertising signs shall be serviced by underground utilities.*

**Response:** The proposed sign is not an electronic display sign. These criteria are not applicable to this proposal.

Section 900.075: General Illumination Standards; Zone-Specific Standards

- a) *Except as otherwise provided in this section, permanent signs may be externally or internally illuminated.*
- b) *Temporary signs shall not be externally or internally illuminated.*
- c) *No sign shall use lights or illumination that creates an unduly distracting or hazardous condition to a motorist, a pedestrian, or the general public, or that may be confused with or construed as an official traffic control device.*
- d) *Wall signs, roof signs, and projecting signs placed on a building face that fronts a residential use may not be externally or internally illuminated.*
- e) *No reflective bulb, par spot, or incandescent lamp that exceeds 25 watts shall be exposed to direct view from a public street, but may be used for indirect illumination of a display surface.*
- f) *Neon tubing shall not exceed 300 milliamperes for white tubing or 100 milliamperes for colored tubing.*
- g) *Fluorescent tubes used for interior illumination of a sign shall be placed behind a plexiglass face and shall:*
  - 1) *In residential zones, not exceed illumination equivalent to 425 milliamperes, and be spaced at least seven inches apart, measured from center to center.*
  - 2) *In commercial, industrial, and public zones, not exceed illumination equivalent to 800 milliamperes and be spaced at least nine inches apart, measured center to center.*
- h) *The light source for an internally illuminated sign may be comprised of light emitting diodes, so long as the light emitting diodes are used for illumination only, do not create an electronic display or effect, and conform to the brightness limitations set forth in SRC 900.090.*
- i) *Zone-specific standards. Notwithstanding subsection (a) of this section, the following standards apply in the following zones:*
  - 1) *In the Residential Agriculture (RA), Single Family Residential (RS), Duplex Residential (RD), Multiple Family Residential (RMI and RMII), Multiple High-Rise Residential (RH), and Exclusive Farm Use (EFU) Zones: [...]*
  - 2) *In the Neighborhood Commercial (CN), Neighborhood Center Mixed-Use (NCMU), Commercial Office (CO), and Fairview Mixed-Use (FMU) Zones: [...]*
  - 3) *In the South Waterfront Mixed-Use (SWMU) Zone, signs facing the Willamette River shall not be illuminated.*



- 4) *In the Public and Private Cemeteries (PC), Capitol Mall (PM), and Public Service (PS) Zones, externally and internally illuminated signs are permitted only where the adjacent property is zoned commercial or industrial.*
- 5) *In the Public and Private Health Services (PH) Zone, only signs designating emergency entrances shall be illuminated.*

**Response:** The proposed sign is intended to designate the Salem Health Hospital campus where many services, including the emergency room, can be accessed. However, the sign is not specifically designating the emergency room entrance and requires a variance to Standard 900.215(c)(1)(E) to be illuminated. It's important to note that the sign will be placed 120-feet high and would not be expected to confuse a person who is looking for the emergency room. As proposed, the sign will be wall mounted and internally illuminated via the existing utilities in the Building A Expansion.

Section 900.085: Effects

- a) *The use of effects is allowed only where flashing light is allowed, subject to the standards set forth in SRC 900.080 and in this section.*
- b) *No sign may use a speller effect, or effect in the form of a starburst, expanding starburst, expanding arrow, or extending arrow.*
- c) *Chaser effects.*
  - 1) *Each display surface may have only one chaser effect.*
  - 2) *Only one sign per building frontage may use a chaser effect. If building has frontage on two or more streets, the building may have a sign using a chaser effect on each frontage.*
  - 3) *No chaser effect is permitted to be on the same side of a sign as flashing light.*
  - 4) *No chaser effect shall exceed 20 percent of the illuminated display surface of the sign.*
  - 5) *No chaser effect shall produce an apparent motion in a single direction that exceeds ten feet per second plus an additional five feet per second for each ten-foot distance over 20 feet between the sign and the nearest adjacent street or highway right-of-way, up to a maximum of 50 feet per second.*
  - 6) *This subsection shall not apply to chaser effects on theater marquees.*

**Response:** No effects are proposed with this sign. These criteria are not applicable to the proposed sign.

Section 900.100: Signs Installed Over or Within the Right-of-Way

*No sign shall be erected over or within the public right-of-way unless the placement of the sign is first approved by the governmental unit having jurisdiction over the right-of-way.*

**Response:** The proposed sign will be located entirely within the boundaries of the site. This criterion is not applicable to the proposed sign.

Section 900.115: Sign Location for Safety

- a) *No sign shall be erected or maintained which, by reason of its size, location, or construction constitutes a hazard to the public.*



- b) *No sign shall obstruct any building opening such that light or ventilation is reduced below minimums required by the Salem Revised Code or any other applicable law.*
- c) *No sign shall be erected within five feet of an exterior wall in which there are openings that lie directly behind the display surface unless the sign conforms with the requirements specified by SRC chapter 56 and the sign is constructed of noncombustible materials or approved plastics.*
- d) *Any sign located on a sidewalk shall have a safety barrier of not less than 18 inches, measured from the bottom of the sidewalk surface, and constructed of solid and seamless materials.*
- e) *No sign shall be placed within a sidewalk intersection.*
- f) *Signs shall be located not less than ten feet horizontally and ten feet vertically from all overhead electrical conductors which are energized in excess of 750 volts.*

**Response:** The proposed sign is not proposed in a location that would constitute a hazard to the public. None of the other criterion listed in this section are applicable to the proposed sign.

Section 900.120: Sign Maintenance

- a) *All signs, together with the site and all components of the sign structure, shall be kept in good repair, free from deterioration, and in a neat, clean, attractive, and safe condition.*
- b) *No sign shall be located on a wall facing a side lot line if it is necessary to go onto the adjacent lot to install or service the sign, unless written consent of the adjacent property owner has been obtained prior to the issuance of the sign permit.*

**Response:** The signs will become part of the regular maintenance associated with the upkeep of the campus and campus facilities. These criteria are not applicable to the proposed sign.

Section 900.130: Freestanding Signs

- a) *Setbacks.*
  - 1) *Freestanding signs shall have a setback of not less than three feet from the street front property line, unless the property is subject to a special setback area and no authorization to place a freestanding sign in the special setback area has been given, in which case the freestanding sign shall be setback not less than three feet from the special setback area.*
  - 2) *Freestanding signs shall have a setback of not less than five feet from a side property line.*
- b) *Structure.*
  - 1) *A freestanding sign shall be directly supported by poles or a foundation.*
  - 2) *No external cross braces, guy wires, "T" frames, "A" frames, "trusses," or similar bracing systems shall be used in constructing freestanding signs. Nothing in this subsection prohibits the use of standardized outdoor advertising structures and stringers customarily used for the support of sections of the display surface.*
- c) *Limit. A corner lot shall be limited to one freestanding sign.*

**Response:** The proposed sign is not freestanding. Therefore, this criterion does not apply.

Section 900.135: Hanging Signs

- a) *Clearance. Hanging signs shall have a vertical clearance of seven feet, six inches between the bottom of the hanging sign and the grade below the sign.*



- b) *Structure. No supporting member of any hanging sign shall pierce or extend through the support structure.*
- c) *Size. The display surface of a hanging sign shall not exceed six square feet.*

**Response:** The proposed sign is not a hanging sign. These criteria are not applicable to this request.

Section 900.145: Roof Signs

- a) *Width. On buildings that are less than 50 feet wide, the width of a roof sign shall be no greater than 50 percent of the width of building. On buildings that are 50 feet wide or greater, the width of a roof sign shall be no greater than 25 feet or 25 percent of the width of the building, whichever is less.*
- b) *Height.*
  - 1) *Roof signs located on a flat roof shall not exceed the following heights:*
    - A. *Building height of 15 feet or less, six feet.*
    - B. *Building height of 15 to 20 feet, seven feet.*
    - C. *Building height greater than 20 feet, eight feet.*
  - 2) *The height of a roof sign located on a gable, hipped roof, or pitched roof that is less than eight feet in height shall be no greater than 50 percent of the vertical height of the roof. The height of roof signs located on a gable, hipped roof, or pitched roof that is eight feet in height or greater shall be no greater than four feet or 25 percent of the vertical height of the roof, whichever is larger. Vertical height shall be measured from the lower edge of the roof to the peak of the gable, hip, or pitch, vertically from, and not along the plane of, the gable, hip, or pitch.*
  - 3) *Roof signs located on a marquee or canopy shall not exceed a height of four feet above the roof of the marquee or canopy.*
- c) *Setbacks.*
  - 1) *A roof sign shall be setback a minimum of three feet from the front wall.*
  - 2) *A roof sign shall be setback a minimum of three feet from each end wall.*
- d) *Clearance.*
  - 1) *A roof sign shall have a minimum clearance of three feet between the bottom of the roof sign and the top of a parallel parapet.*
  - 2) *When a roof sign is placed on the peak of a roof, the roof sign shall have a minimum clearance of 1½ feet between the bottom of the sign and the roof.*
- e) *Structure. Except for vertical poles, the supporting structure of a roof sign shall be completely enclosed.*

**Response:** The proposed sign is not a roof sign. These criteria are not applicable to this request.

Section 900.150: Wall Signs

- a) *Wall signs on building walls. Wall signs placed on a wall of a building shall conform to this subsection.*
  - 1) *Height*
    - A. *Wall signs may project above the higher of the eave line, roof line, or top of the parapet a distance equal to one-third of the height of the sign or three feet, whichever is less.*
    - B. *Wall signs that do not extend the full length of the wall may project above the eave line, roof line, or top of the parapet one-third of the height of a building if the building is less than 15 feet in height, or six feet if the building is over 15 feet in height.*



- C. *The height of a wall sign that extends the full length of the wall shall not exceed four feet, measured from the roof line directly behind the wall to the top of the wall.*
- D. *Wall signs attached to a marquee shall not exceed 30 inches in height.*

**Response:** The project complies with this standard. The proposed sign does not extend the full length of the wall, is approximately 5 feet in height, and located completely below the eave line and roof line.

2) *Structure*

- A. *The supporting structure for any wall sign shall be completely enclosed so as not to be visible from any public street, alley, or adjacent property.*
- B. *No external braces, guy wires, "A" frames, or similar bracing system shall be used in constructing a wall sign.*
- C. *Wall signs may be installed on mansard roofs of 30 degrees or less, if they are installed vertically, and if the supporting structure is completely enclosed so as not to be visible from any public street, alley, or adjacent property.*

**Response:** The proposed sign is located on the Building A Expansion, which is a fully enclosed building. There will be no external braces and the sign is not being installed on mansard roofs. All of the adjacent streets to Building A , including Oak Street SE and Capitol Street SE, are interior to the hospital campus and are private streets. Because of this, the proposed sign supports would not be visible from any adjacent properties or public streets.

3) *Clearance*

- A. *The bottom of a wall sign that projects from a wall and is located on an alley shall have a clearance of not less than 14 feet from grade and shall have a maximum projection from the wall to which it is attached of not more than 12 inches.*
- B. *The lower edge of a wall sign attached to a marquee shall not extend below the marquee.*

**Response:** The proposed sign is mounted near the top of the Building A Expansion and meets all clearance standards.

Section 900.215: Permanent Signs in Public Zones

c) *Signs permitted in Public and Private Health Services (PH) Zones*

1) *The following signs are permitted in PH zones:*

- A. *Wall signs. One wall sign for each building frontage, which shall be limited to the greater of 32 square feet or two percent of the gross face area of the building frontage on which it is located.*

**Response:** The proposed sign is located on the east elevation of the Building A Expansion, which has a gross face area of 12,765 square feet. The sign is approximately 228.87 square feet, less than 2% of the total face area of the building, which is approximately 255.3 square feet. However, the applicant is requesting that the non-emergency sign be internally illuminated, requiring a variance to standard (E) below.





- B. *Freestanding signs. One freestanding sign for each building frontage, which shall be limited to five feet in height and 24 square feet in total display surface; provided, however, that one such sign may be 15 feet in height and 24 square feet in total display surface. Such signs shall be set back at least three feet from a street front property line or the special setback area established by the Salem Zoning Ordinance, whichever is greater, provided further that, where adjacent property is zoned residential or commercial office, signs shall be set back at least 20 feet from the side lot line abutting a CO or residential zone.*
- C. *Vehicle directional signs. One vehicle directional sign located at each motor vehicle entrance to or exit from the property. A wall sign shall be limited to a display surface not exceeding four square feet. A freestanding sign shall be limited to a display surface not exceeding eight square feet and to a height not exceeding 30 inches.*
- D. *Electronic display signs. Electronic display signs no larger than 800 square feet shall be permitted in the PH zone within stadiums, athletic fields, and other outdoor assembly facilities, where they are intended primarily for viewing by persons within the facility, are oriented toward the interior of the facility and viewing stands and are used only during events where the public attends as spectators. Notwithstanding any other provision of this chapter, signs allowed by this subsection may employ dissolve, fade, scrolling, static display, travel, and video display. Signs allowed by this subsection shall not be subject to the electronic sign display surface standards set forth in SRC 900.090(c).*

**Response:** The proposed sign is not a freestanding sign, a vehicle directional sign, or an electronic display sign. Therefore, standards (B) through (D) above do not apply to this application.

- E. *Externally illuminated and internally illuminated signs. Only emergency vehicle directional signs and emergency entrances to a building in PH zones shall be externally illuminated signs or internally illuminated signs. No flashing illumination shall be permitted.*

**Response:** The wall sign requires a variance to this standard as it is not an emergency vehicle directional sign but is proposed to be internally illuminated. The sign proposed with this application clearly marks the Salem Health Hospital Campus. Please see the responses in Section 900.040 for details on compliance with Sign Variance criteria.

### III. CONCLUSION

This summary of request and supplemental attachments for sign 11 demonstrates compliance with applicable approval criteria and code standards of Type III Sign Variance. The applicant respectfully requests that the City of Salem approve the land use application.

