

NOTICE OF DECISION

PLANNING DIVISION
555 LIBERTY ST. SE, RM 305
SALEM, OREGON 97301
PHONE: 503-588-6173
FAX: 503-588-6005



*Si necesita ayuda para comprender esta informacion, por favor llame
503-588-6173*

DECISION OF THE HISTORIC PRESERVATION OFFICER

MINOR HISTORIC DESIGN REVIEW CASE NO.: HIS22-07

APPLICATION NO.: 22-104432-DR

NOTICE OF DECISION DATE: March 18, 2022

SUMMARY: A proposal to add an accessory structure at the rear of the Thomas A. Livesley House aka Mahonia Hall(1923).

REQUEST: A Class 1 Minor Historic Design Review of a proposal to add an accessory structure at the rear of the Thomas A. Livesley House aka Mahonia Hall(1923), on property 1.08 acres in size, zoned RS (Single Family Residential), and located at 533 Lincoln Street S, 97302 (Marion County Assessor's Map and Tax Lot number: 073W33AA00300).

APPLICANT: Mark Wright on behalf of the State of Oregon DAS

LOCATION: 533 Lincoln St S, Salem OR 97302

CRITERIA: Salem Revised Code (SRC) Chapters 230.025(i) New Accessory Structures.

FINDINGS: The findings are in the attached Decision dated March 18, 2022.

DECISION: The **Historic Preservation Officer APPROVED** Minor Historic Design Review Case No. HIS22-07 based on the application materials deemed complete on March 18, 2022 and the findings presented in this report.

The rights granted by the attached decision must be exercised, or an extension granted, by April 5, 2024, or this approval shall be null and void.

Application Deemed Complete:	<u>March 18, 2022</u>
Notice of Decision Mailing Date:	<u>March 18, 2022</u>
Decision Effective Date:	<u>April 5, 2022</u>
State Mandate Date:	<u>July 16, 2022</u>

Case Manager: Kimberli Fitzgerald, kfitzgerald@cityofsalem.net, 503-540-2397

This decision is final

The complete case file, including findings, conclusions and conditions of approval, if any, is available for review by contacting the case manager, or at the Planning Desk in the Permit Application Center, Room 305, City Hall, 555 Liberty Street SE, during regular business hours.

<http://www.cityofsalem.net/planning>

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503-588-6173***

BEFORE THE PLANNING ADMINISTRATOR OF THE CITY OF SALEM

DECISION

**IN THE MATTER OF APPROVAL OF) MINOR HISTORIC DESIGN REVIEW
HISTORIC DESIGN REVIEW)
CASE NO. HIS22-07)
533 LINCOLN STREET S) March 18, 2022**

In the matter of the application for a Minor Historic Design Review submitted by Mark Wright on behalf of the State of Oregon, the Historic Preservation Officer (a Planning Administrator Designee), having received and reviewed evidence and the application materials, makes the following findings and adopts the following order as set forth herein.

REQUEST

SUMMARY: A proposal to add an accessory structure at the rear of the Thomas A. Livesley House aka Mahonia Hall(1923).

REQUEST: A Class 1 Minor Historic Design Review of a proposal to add an accessory structure at the rear of the Thomas A. Livesley House aka Mahonia Hall(1923), on property 1.08 acres in size, zoned RS (Single Family Residential), and located at 533 Lincoln Street S, 97302 (Marion County Assessor's Map and Tax Lot number: 073W33AA00300).

A vicinity map illustrating the location of the property is attached hereto, and made a part of this decision (**Attachment A**).

FINDINGS

Minor Historic Design Review Applicability

SRC230.020(f) requires Historic Design Review approval for any alterations to historic resources as those terms and procedures are defined in SRC 230. The Planning Administrator shall render a decision supported by findings that explain conformance or lack thereof with relevant design standards, state the facts relied upon in rendering the decision, and explain justification for the decision.

PROPOSAL

The applicant is proposing to install a new 22' 5" by 13' 6" concrete pad at the rear (north) of the Livesley House below and adjacent to the rear brick deck. A 500 gallon propane tank and back-up generator will be installed on top of the concrete pad and a pergola with 2 x 10 wood beams topping 6 x 6 wooden posts will be constructed over the concrete pad to cover the tank and generator. 230.025 (d) Standards for Contributing Resources in Residential Historic Districts, Porches are applicable to this project.

SUMMARY OF RECORD

The following items are submitted to the record and are available upon request: All materials submitted by the applicant, including any applicable professional studies such as traffic impact

analysis, geologic assessments, and stormwater reports; any materials and comments from public agencies, City departments, neighborhood associations, and the public; and all documents referenced in this report.

APPLICANT'S STATEMENT

A request for historic design review must be supported by proof that it conforms to all applicable criteria imposed by the Salem Revised Code. The applicants submitted a written statement; an excerpt is included as **Attachment B** in this staff report.

Staff utilized the information from the applicant's statements to evaluate the applicant's proposal and to compose the facts and findings within the staff report. Salem Revised Code (SRC) 230.025 (i) *Standards for Contributing Resources in Residential Historic Districts, New Accessory Structures*, are the applicable criteria for evaluation of this proposal.

FACTS & FINDINGS

1. Historic Designation

Under Salem Revised Code (SRC) Chapter 230, no exterior portion of a local historic resource, contributing, non-contributing building or new construction in a historic district shall be erected, altered, restored, moved or demolished until historic design review approval has been granted on the basis of the project's conformity with the applicable criteria in SRC 230. Conditions of approval, if any, shall be limited to project modifications required to meet the applicable criteria.

According to SRC 230.020(f), historic design review approval shall be granted if the application satisfies the applicable standards set forth in Chapter 230. For Class 1 and Class 2 Minor Historic Design Review decisions HLC staff, the Historic Preservation Officer (a designee of the Planning Administrator), shall render their decision supported by findings that explain conformance or lack thereof with relevant design standards, state the facts relied upon in rendering the decision, and explain justification for the decision.

2. Historic Significance

The Thomas Albert Livesley House is an excellent example of Tudor Architecture. The residence was designed by Ellis Lawrence and Lawrence and Holford Architects and constructed in 1923/24. The residence is located on the north side of Lincoln Street and west of John Street with both streets dead-ending at their intersection at the southeast corner of the property. The house is situated on a lot that slopes steeply to the north, with Douglas fir, oaks and other trees bordering the property on the west and northern boundaries.

The house was acquired by the State of Oregon in 1987 for the official Governor of Oregon's residence. During the 1989 regular session the Oregon legislature passed a resolution to initiate a National Register nomination for the Governor's Mansion, then known as "Mahonia Hall". On November 27, 1989 the Livesley House was designated a local historic landmark by the City of Salem and on February 16, 1990 the site was listed on the National Register of Historic Places.

3. Analysis of Minor Historic Design Review Approval Criteria

Staff determined that the following standards from *230.025 Standards for Contributing Resources in Residential Historic Districts*, are applicable to this project.

FINDINGS:

Sec. 230.025. - Standards for historic contributing buildings in residential historic districts

(i) New Accessory Structures.

(1) Materials. *New accessory structures shall have the same siding material as the resource on the site.*

Findings: The applicant is proposing to utilize wood to construct the pergola cover for the back-up generator and propane tank. The exterior of the Livesley House is of brick and wood, therefore staff finds that SRC 230.025(i)(1) has been met for the proposal.

(2) Design. *New accessory structures shall:*

(A) *Be located at the rear of the site.*

Findings: The applicant is proposing to locate the proposed new pergola at the rear of the site, north of the rear deck of the Livesley House. The new pergola and back up generator/propane tank will not be visible from the right of way or adjacent properties. Staff finds that SRC 230.025(i)(2)(A) has been met for the proposal.

(B) *Be no taller than one story.*

Findings: The proposed pergola is no taller than one story therefore staff finds that SRC 230.025(i)(2)(B) has been met for the proposal.

(C) *Be similar in character to those built during the period of significance.*

Findings: The proposed wooden pergola is simple in design with posts at the base and topped with simplified crossbeams. This design is similar in character to pergolas that were constructed in this area in 1923 and 1924. Staff finds that SRC 230.025(i)(2)(C) has been met for the proposal.

(D) *Be subordinate to the primary structure in terms of mass, size, and height.*

Findings: The proposed new accessory structure is clearly subordinate in mass, size and scale to the primary resource on the site. The pergola will be constructed of wood, will not have walls, and will be located at the rear of the property in a location that will not be easily visible. Staff finds that SRC 230.025(2)(D) has been met for the proposal.

DECISION

Based upon the application materials deemed complete on March 16, 2022 and the findings as presented in this report, the application for HIS22-07 is **APPROVED**.

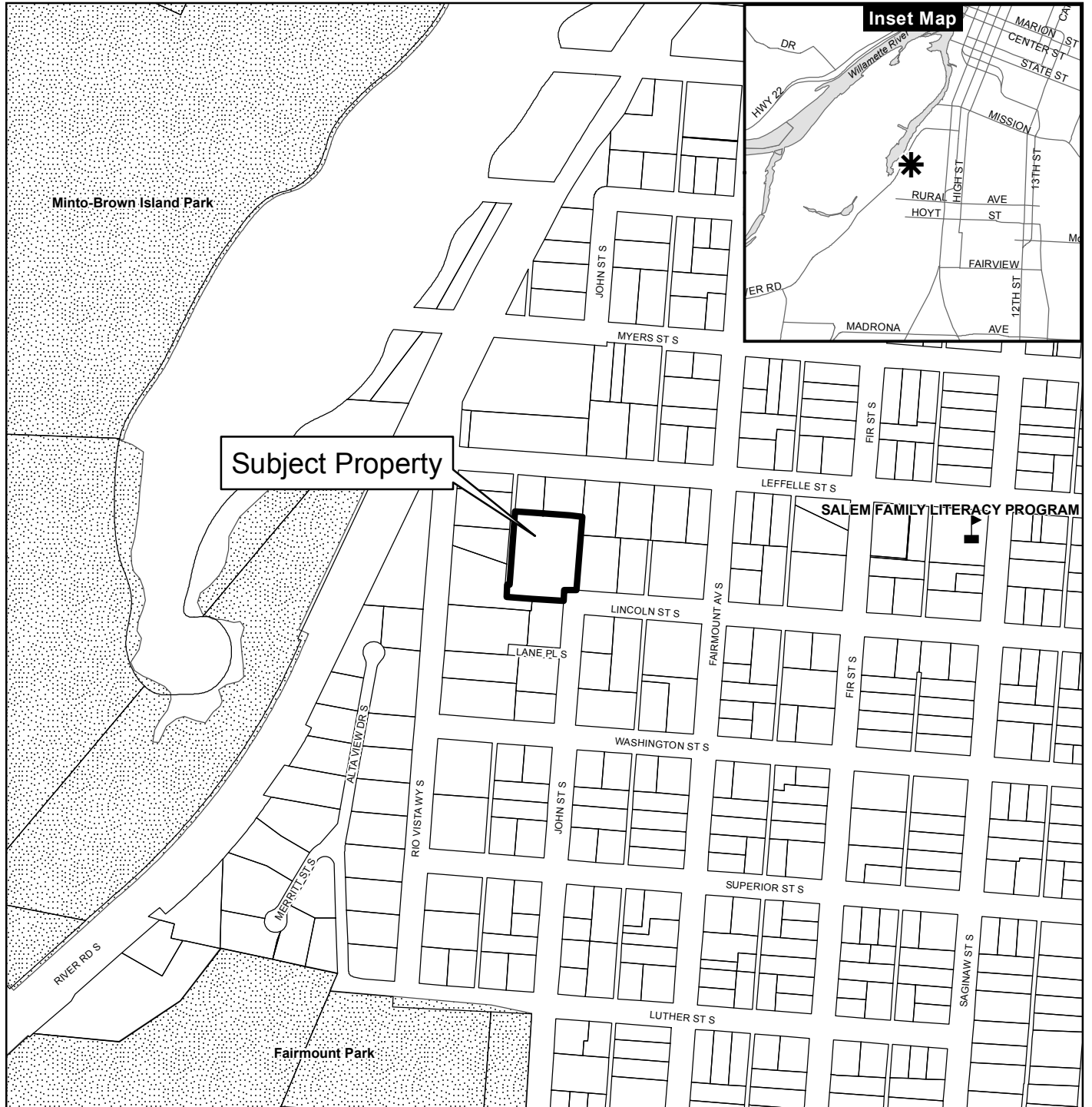


Kimberli Fitzgerald, AICP
Historic Preservation Officer
Planning Administrator Designee

Attachments: A. Vicinity Map
B. Applicant's Submittal Materials- Excerpt

Vicinity Map

533 Lincoln Street SE (073W33AA00300)



Subject Property

Inset Map

SALEM FAMILY LITERACY PROGRAM

Legend

- Taxlots
- Urban Growth Boundary
- City Limits
- Outside Salem City Limits
- Historic District
- Schools
- Parks



0 100 200 400 Feet



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OREGON DEPARTMENT OF ADMINISTRATION SERVICES

533 LINCOLN ST. SOUTH
SALEM, OREGON 97302

MAHONIA HALL BACKUP GENERATOR

FLUENT ENGINEERING PROJECT NO. 21125

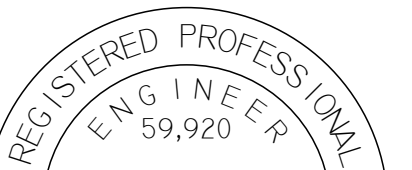


Color Code

Underground facilities shall be marked in accordance with the following designated color code (As per OAR 952-001-0070 (B))

Color	To Indicate
RED	Electric power lines, cables or conduit, and lighting cables
YELLOW	Gas, oil, steam, petroleum, or gaseous materials
ORANGE	Communication, alarm or signal lines, cables or conduits, and fiber
BLUE	Potable water
GREEN	Sewers, drainage facilities or other drain lines
WHITE	Pre-marking of the outer limits of the proposed excavation or marking the centerline and width of propose lineal installations of buried facilities
PINK	Temporary survey markings
PURPLE	Slurry, irrigation and reclaimed water

FINES MAY BE IMPOSED FOR MISUSE OF COLORS
Adopted by the American Public Works Association.



DIGITALLY SIGNED BY:
Matthew J. Cash
OREGON
JANUARY 18, 2005
MATTHEW J. CASH

EXPIRES: 12/31/2021

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MAHONIA HALL - OREGON DEPARTMENT OF ADMINISTRATIVE SERVICES
533 LINCOLN ST. SE
SALEM, OREGON 97302

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DAS
DEPARTMENT OF ADMINISTRATIVE SERVICES

SHEET INDEX	
SHEET NO.	SHEET DESCRIPTION
ELECTRICAL	
E0.00	COVER SHEET
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E0.02	ONE-LINE PLAN
E1.00	SITE PLAN
E2.00	DEMO PLAN
E3.00	POWER PLAN
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S0.01	EXTERIOR UTILITY SLAB GENERAL NOTES
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S2.01	EQUIPMENT PERGOLA COVER
S5.01	EXTERIOR UTILITY SLAB FOUNDATION SECTIONS

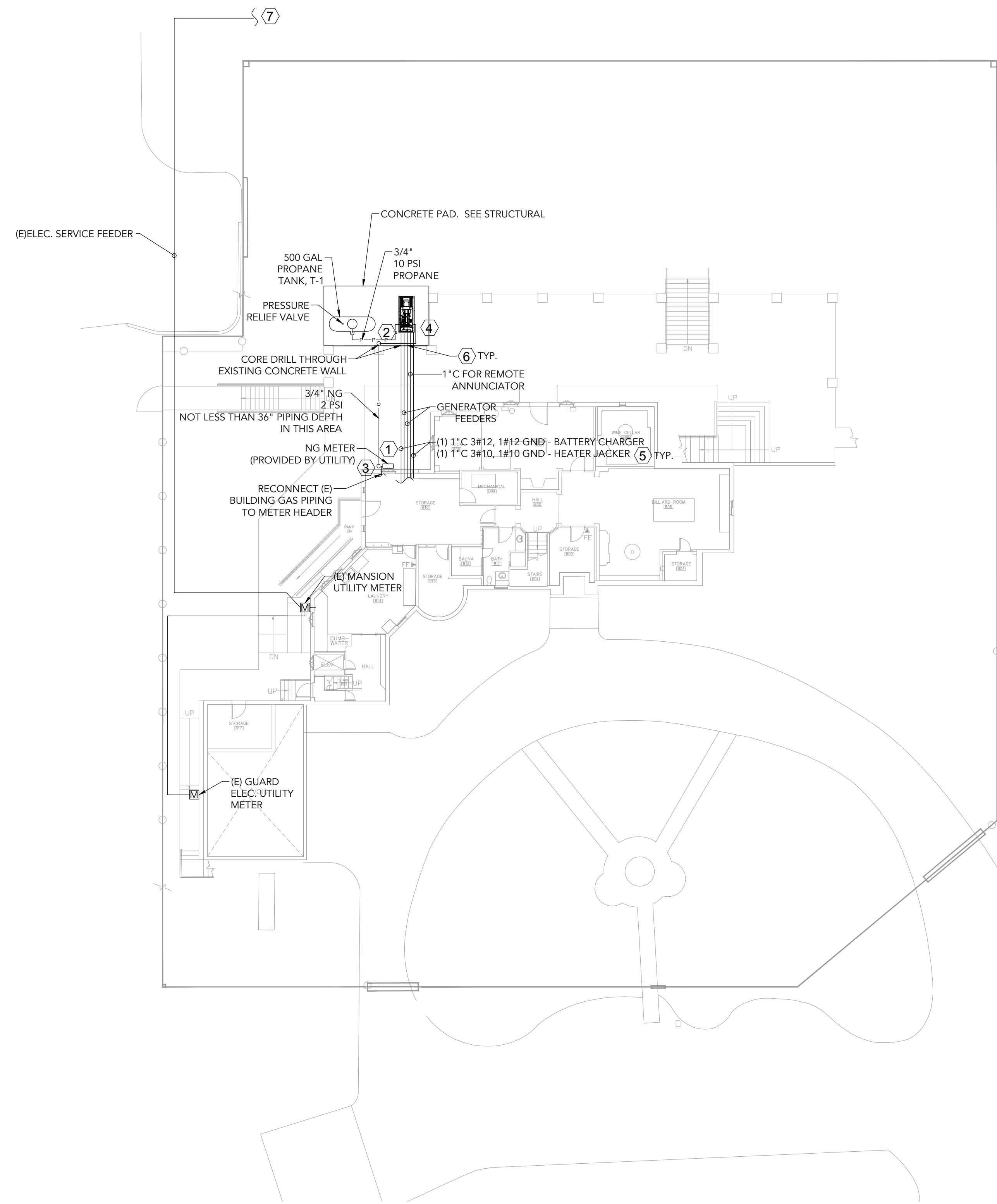
REVISIONS		
SYM.	DATE	DESIGN/CHECK

JOB# 21-125
DESIGN: BJ/JW
DRAWN: BJ/DW
CHECKED: MJC

NOV. 22ND, 2021

COVER SHEET

SHEET INDEX
E0.00



1 SITE PLAN
 E1.00 SCALE: 1/16" = 1'-0"



SHEET NOTES

A. MAINTAIN 10 FT MINIMUM DISTANCE FROM PROPANE (LP) SERVICE VALVE OR PRESSURE RELIEF VALVE (WHICHEVER IS CLOSER) AND GENERATOR IGNITION SOURCE.

KEYED NOTES

1. PROVIDE EARTHQUAKE SHUTOFF VALVE ON GAS METER OUTLET. KOSO MODEL VT-30* OR APPROVED. MATCH VALVE SIZE TO GAS PIPING.
2. PROVIDE FLEXIBLE CONNECTION AT GENERATOR INLET.
3. PROVIDE GAS SERVICE REGULATOR AT NG BUILDING ENTRANCE. REGULAR SHALL REGULATE GAS PRESSURE TO 6.5 IN-W.C.
4. PROVIDE GENERATOR WEATHER PROOF LEVEL 2 - SOUND ATTENUATION ENCLOSURE.
5. CONNECT TO PANEL A PER SCHEDULES.
6. PROVIDE LINKSEAL.
7. APPROXIMATE LOCATION OF EXISTING 25KVA UTILITY TRANSFORMER



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SYMBOL	DATE	DESIGN/CHECK

JOB# 21-125
 DESIGN: BJ/JW
 DRAWN: BJ/DW
 CHECKED: MJC
 Nov. 22ND, 2021

SITE PLAN

SHEET INDEX
 E1.00

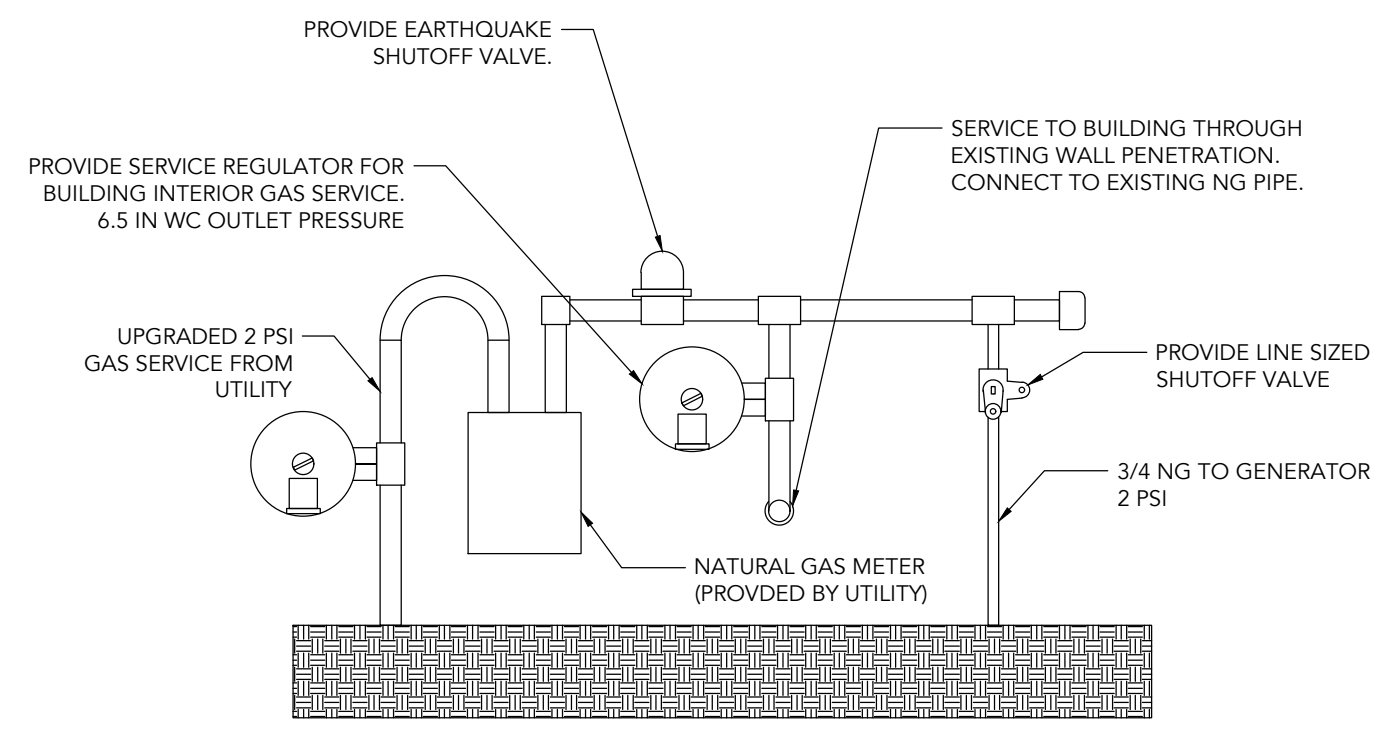
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ELECTRICAL SYMBOL LEGEND

ABBREVIATIONS	
AFF, A.F.F.	ABOVE FINISHED FLOOR
ARCH.	ARCHITECT/ARCHITECTURAL
BLDG.	BUILDING
C	CONDUIT
CKT	CIRCUIT
C.L.	COLUMN LINE
(E)	EXISTING
ELEC	ELECTRICAL
EMERG	EMERGENCY
FAM/FACP	FIRE ALARM MASTER / FIRE ALARM CONTROL PANEL
FT.	FEET
GF/IB	GROUND FAULT INTERRUPTER/BREAKER
GND, G	GROUND
HVAC	HEATING, VENTILATING, & AIR CONDITIONING
IDF	INTERMEDIATE DISTRIBUTION FRAME
LV	LOW VOLTAGE
MDF	MAIN DISTRIBUTION FRAME
MECH	MECHANICAL
N.L.	NIGHT LIGHT
PNL	PANEL
PROVIDE	FURNISH AND INSTALL
SD	SUB - DISTRIBUTION
TTB	TELEPHONE TERMINAL BOARD
TVSS / SPD	TRANSIENT VOLTAGE SURGE SUPPRESSION / SURGE PROTECTION DEVICE
TYP	TYPICAL
WP	WEATHER PROOF

GENERAL	
	KEYED NOTE
	EQUIPMENT TAG (EXHAUST FAN 1 SHOWN)
	CALLOUT (SHEET E0.00, DETAIL #1)
	KITCHEN EQUIPMENT TAG
	ELECTRICAL EQUIPMENT AS IDENTIFIED ON DRAWINGS.
	UNDERGROUND/ UNDERFLOOR RACEWAY
	HOMERUN WITH 2 #12 CONDUCTORS (GROUND NOT SHOWN)
	HOMERUN WITH 2 #10 CONDUCTORS (GROUND NOT SHOWN)
	HOMERUN WITH 3 #10 CONDUCTORS (GROUND NOT SHOWN)
	CONCEALED RACEWAY AND CONDUCTORS. NUMBER OF SLASHES INDICATES NUMBER OF CONDUCTORS. PROVIDE GROUND CONDUCTOR NOT SHOWN. ZERO SLASHES = 2 CONDUCTORS WITH 3RD GROUND CONDUCTOR. PROVIDE #12 CONDUCTORS UNLESS OTHERWISE SHOWN.
	LOW VOLTAGE CABLE/ HOMERUN C - CONTROL
	FLEX CONNECTION

POWER	
	POWER PANEL - RECESSED
	POWER PANEL - SURFACE
	DUPLEX RECEPTACLE
	GROUND FAULT, WEATHERPROOF TYPE
	SPLIT WIRED WITH 1/2 SWITCHED, 44 A.F.F. UNO
	DOUBLE DUPLEX RECEPTACLE
	SPECIALTY RECEPTACLE, NEMA SIZE AS NOTED.
	FLOOR BOX, FLOOR BOX WITH DATA
	JUNCTION BOX
	MOTOR
	DISCONNECT (F-FUSED, "BLANK"-SWITCH ONLY)
	SPECIFIC RECEPTACLE, SEE PNL SCHED. AND MECH FOR CONFIGURATION. MATCH CONFIGURATION PER EQUIPMENT INSTALLED
ONE-LINE	
	VARIABLE SPEED DRIVE
	TVSS
	RELAY
	BREAKER
	GFI BREAKER
	TRANSFORMER
	UTILITY METER
	GROUND



1 NEW NATURAL GAS METER PIPING DETAIL
SCALE: NO SCALE

MECHANICAL & PLUMBING SYMBOL LEGEND

GENERAL	
	ITEM TO BE REMOVED
	PIPE UP (SINGLE LINE)
	PIPE DOWN (SINGLE LINE)
	PROPANE PIPING
	NATURAL GAS PIPING
	EQUIPMENT TAG
	POINT OF CONNECTION
	DIAMETER OR ROUND
	EXISTING
	CAP EXISTING
	REMOVE EXISTING
	CARBON MONOXIDE SENSOR
	TEMPERATURE SENSOR
	CONNECTING PIPING
	PIPING NODE IDENTIFIER
	EXHAUST AIR
	OUTSIDE AIR
	RETURN AIR
	SUPPLY AIR
	AUTHORITY HAVING JURISDICTION
	ARCHITECT
	DETAIL TAG
	SECTION TAG
	NORTH ARROW SYMBOL

AIR MOVING DEVICES AND COMPONENTS	
	CENTRIFUGAL FAN
	PROPELLER FAN
	ROOF VENTILATOR
SUPPLY AIR GRD DESIGNATIONS	
	DUCT CONNECTION SIZE GRD TYPE AND SIZE PER SCHEDULE CFM, S = SUPPLY
	DIFFUSER TAG WITH CFM
RETURN/EXHAUST AIR GRD DESIGNATIONS	
	DUCT CONNECTION SIZE GRD TYPE AND SIZE PER SCHEDULE CFM, S = SUPPLY
	REGISTER TAG WITH CFM
DUCTWORK	
	MANUAL VOLUME DAMPER
	REMOTE VOLUME DAMPER
	BACKDRAFT DAMPER
	AUTOMATIC CONTROL DAMPER
	VERTICAL FIRE DAMPER
	ACCESS DOOR IN PLAN OR SIDE
	DUCT RISER (IN DIRECTION OF AIRFLOW)
	HEATING COIL
	FLEXIBLE CONNECTION
	CEILING DIFFUSER
	RETURN GRILLE
	EXHAUST GRILLE

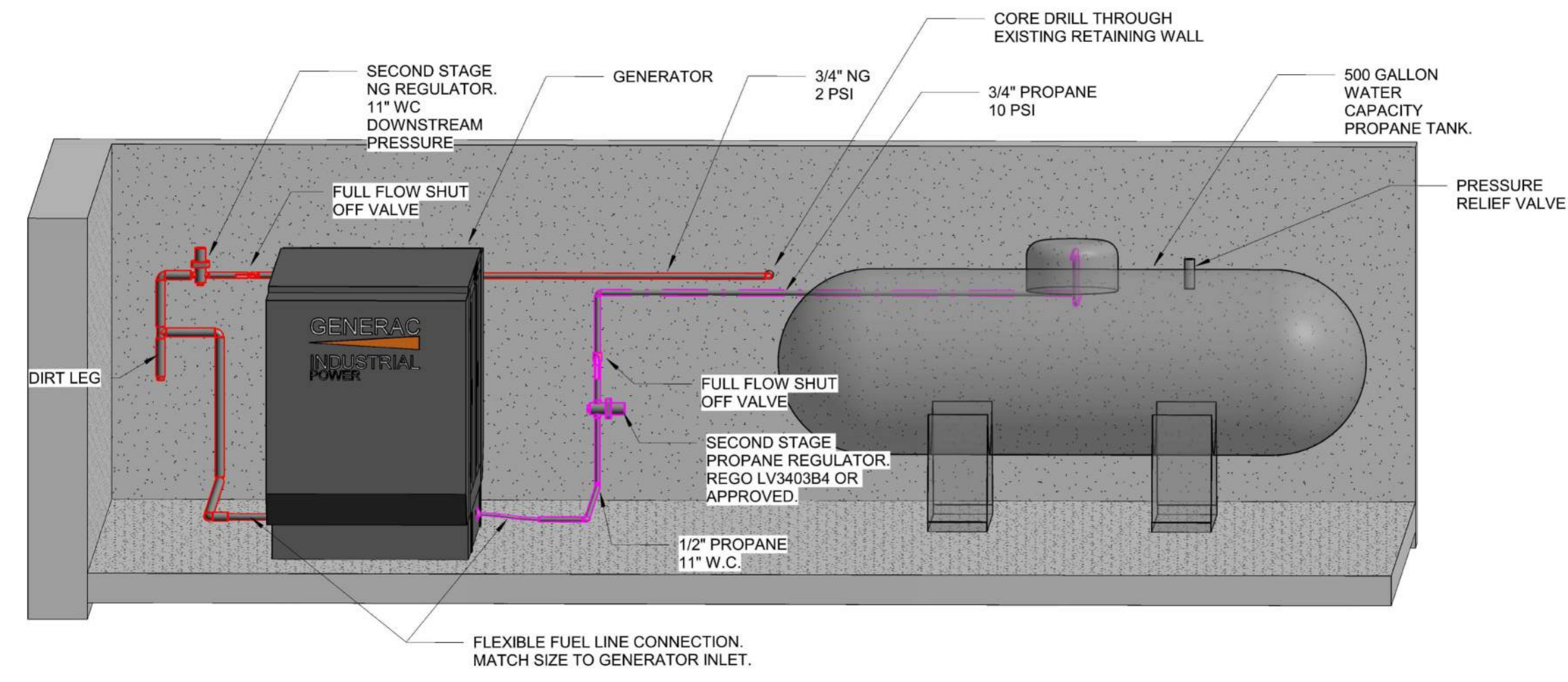
DUCTWORK CONT.	
	RADIUS ELBOW UP (SUPPLY)
	RADIUS ELBOW UP (RETURN/EXHAUST)
	RADIUS ELBOW DOWN (SUPPLY)
	RADIUS ELBOW DOWN (RETURN/EXHAUST)
	ROUND DUCT UP (SUPPLY/EXHAUST/RETURN)
	ROUND DUCT DN (SUPPLY/EXHAUST/RETURN)
	TRANSITION (SIZE)
	TRANSITION (RECTANGULAR TO ROUND)
	RADIUS ELBOW
	FLEXIBLE DUCT
	FIRE/SMOKE DAMPER
	FIRE DAMPER

GENERAL NOTES

- BUILDING AND SITE CONDITIONS SHOWN ON THESE PLANS ARE SUBJECT TO FIELD VERIFICATION. CONTRACTOR IS TO REMEDY, AT NO COST TO THE OWNER, ANY DEFICIENCIES CAUSED BY FAILURE TO PERFORM SUCH VERIFICATIONS. NOTIFY ENGINEER AS SOON AS POSSIBLE OF ANY CONDITIONS IN CONFLICT WITH THESE PLANS.
- CONTRACTOR TO COORDINATE UNDERGROUND PIPE ROUTING WITH EXISTING UTILITIES AND STATE ARBORIST. PIPE ROUTING MUST NOT HARMFULLY IMPACT EXISTING TREES, SHRUBS, OR OTHER EXISTING PLANTINGS.
- EQUIPMENT IS TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, AND AS REQUIRED BY MECHANICAL CODE, ELECTRICAL CODE, AND AHJ. VERIFY ADEQUATE ACCESS FOR ROUTINE MAINTENANCE.
- CONTRACTOR SHALL FURNISH AND INSTALL NECESSARY WIRING, CONTROLS, HARDWARE, FITTINGS, PARTS, AND ACCESSORIES INCLUDING SAFETY DEVICES REQUIRED FOR PROPER OPERATION OF SYSTEM IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS. EQUIPMENT CONTROLS SHALL BE PROVIDED BY THE UNIT MANUFACTURER AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE STATED.
- NATURAL GAS SERVICE FROM UTILITY TO BE UPSIZED TO 2 PSI DELIVERY PRESSURE. CONTRACTOR SHALL COORDINATE WITH NW NATURAL GAS (GAS UTILITY) FOR UPGRADED SERVICE. AT NO POINT SHALL 2 PSI GAS BE DELIVERED TO THE EXISTING MANSION WITHOUT SUBSEQUENT PRESSURE REDUCTION. SEE DETAIL 1, THIS SHEET.
- GENERATOR FUEL SOURCE: PRIMARY: NATURAL GAS, SECONDARY: PROPANE VAPOR.
- EQUIPMENT AND PIPE PAINTING:
 - PAINT TYPE: HIGH-PERFORMANCE, EXTERIOR RATED OIL-BASED ENAMEL.
 - PROPANE TANK:
 - COLOR: PAINT TANK A LIGHT BEIGE COLOR TO MATCH PRIMARY COLOR OF THE ADJACENT MANSION. PROVIDE COLOR SAMPLES TO ENGINEER OF RECORD PRIOR TO PAINTING OF TANK.
 - ENTIRE EXPOSED EXTERIOR SURFACE AREA OF TANK SHALL BE PAINTED EXCEPT WHERE PAINTING WOULD INTERFERE WITH THE FUNCTION OR MAINTENANCE OF THE TANK. DO NOT PAINT VALVES, REGULATORS, FLEXIBLE CONNECTIONS, NAMEPLATES, GAGES, MANUFACTURER STICKERS, OR ANY WARNING LABELS.
 - FUEL GAS PIPES:
 - COLOR: PAINT GAS PIPING THE SAME COLOR AS NEAREST ADJACENT SURFACE. EXAMPLE: IF THE PIPE IS ADJACENT TO CONCRETE, THE COLOR SHOULD APPROXIMATELY MATCH THE CONCRETE COLOR. IF THE PIPE IS NEAREST THE PROPANE TANK, THE PIPE COLOR SHOULD MATCH THE PROPANE TANK. AT POINTS WHERE PIPE CHANGES COLOR, THE CHANGE SHOULD BE A SHARP TRANSITION WITH NEAT LINES.
 - ENTIRE EXPOSED EXTERIOR SURFACE AREA OF PIPE SHALL BE PAINTED EXCEPT WHERE PAINTING WOULD INTERFERE WITH THE FUNCTION OF VALVES, METERS, REGULATORS, AND OTHER ASSOCIATED EQUIPMENT.
 - DO NOT PAINT VALVES, REGULATORS, FLEXIBLE CONNECTIONS, NAMEPLATES, GAGES, MANUFACTURER STICKERS, OR ANY OTHER EQUIPMENT ON THE PIPE WITH OPERABLE COMPONENTS.
 - PROPANE TANK SHALL BE FILLED WITH PROPANE TO APPROXIMATELY 80% OF THE WATER CAPACITY OF THE TANK PRIOR TO PROJECT CLOSEOUT. CONTRACTOR SHALL COORDINATE WITH OWNER PROPANE SUPPLIER FOR TANK INSTALLATION AND TANK FILLING.
 - PROPANE SUPPLIER: FERRELL GAS PHONE NUMBER: 1-888-337-7355.

PIPING MATERIALS

- NATURAL GAS AND PROPANE:
 - ABOVE GROUND:
 - STEEL PIPE, SCHEDULE 40, ASTM A53/A53M
 - EXTERIOR: PROTECT FROM CORROSION.
 - SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS
- BELOW GRADE:
 - STEEL PIPE, SCHEDULE 40, ASTM A53/A53M
 - INSTALL PROTECTIVE PIPE WRAP AFTER TESTING AND PRIOR TO BACKFILLING IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS
- SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.



- NOTES:
- PROPANE TANK FIRST STAGE REGULATOR LOCATED IN TANK DOME (NOT SHOWN).
 - PIPING ANCHORS AND SUPPORTS NOT SHOWN, SEE STRUCTURAL.
 - ELECTRICAL RACEWAY NOT SHOWN.
 - PROPANE TANK SHOWN AS TRANSPARENT FOR CLARITY.

2 FUEL PIPING DETAIL
SCALE: NO SCALE

PROPANE TANK SCHEDULE					
ID	BASIS OF DESIGN	WATER CAPACITY	MAX WORKING PRESSURE AT 400°F	SURFACE AREA	EMPTY WEIGHT
T-1	AMERICAN WELDING AND TANK ASME PROPANE TANK OR APPROVED ALTERNATE	500 GALLON	250 PSIG	97.5 SQ. FT.	949 LBS

NOTES:

- TANK SHALL BE UL LISTED
- PROVIDE ALL APPURTENANCES AND FITTINGS REQUIRED FOR A COMPLETE, WORKING INSTALLATION INCLUDING PRESSURE RELIEF VALVES, FILL VALVES, TANK LEVEL GAUGE, EXCESS FLOW VALVES, MULTIVALVES, DIP TUBES, AND ANY OTHER EQUIPMENT REQUIRED PER NFPA 58.
- PROVIDE FIRST STAGE REGULATOR INSIDE OF TANK DOME. REGO LV3403TR OR APPROVED.
- PROVIDE FLEXIBLE CONNECTION TO FROM FIRST STAGE REGULATOR TO STEEL PIPE RISER.

REGISTERED PROFESSIONAL ENGINEER
No. 59,920

DIGITALLY SIGNED BY:
Matthew J. Cash
OREGON
JANUARY 18, 2025
MATTHEW J. CASH

EXPIRES: 12/31/2021

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MAHONIA HALL - OREGON DEPARTMENT OF ADMINISTRATIVE SERVICES

533 LINCOLN ST. SE
SALEM, OREGON 97302

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REVISIONS		
SYM.	DATE	DESIGN/CHECK

JOB# 21-125

DESIGN: BJ/JW
DRAWN: BJ/DW
CHECKED: M/JC

NOV. 22ND, 2021

LEGENDS & SCHEDULES

SHEET INDEX
E0.01

SHEET NOTES

- A. SEE ONE-LINE FOR ADDITIONAL REQUIREMENTS.
- B. SEAL, PATCH, AND PAINT BUILDING PENETRATIONS THAT ARE NOT TO BE REUSED. FINISH SHALL MATCH EXISTING STRUCTURE. SEE OWNER FOR ADDITIONAL REQUIREMENTS.

KEYED NOTES

- 1. PROTECT (E) BRANCH CIRCUITS, RACEWAY, AND CONDUCTORS.



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 533 LINCOLN ST. SE
 SALEM, OREGON 97302

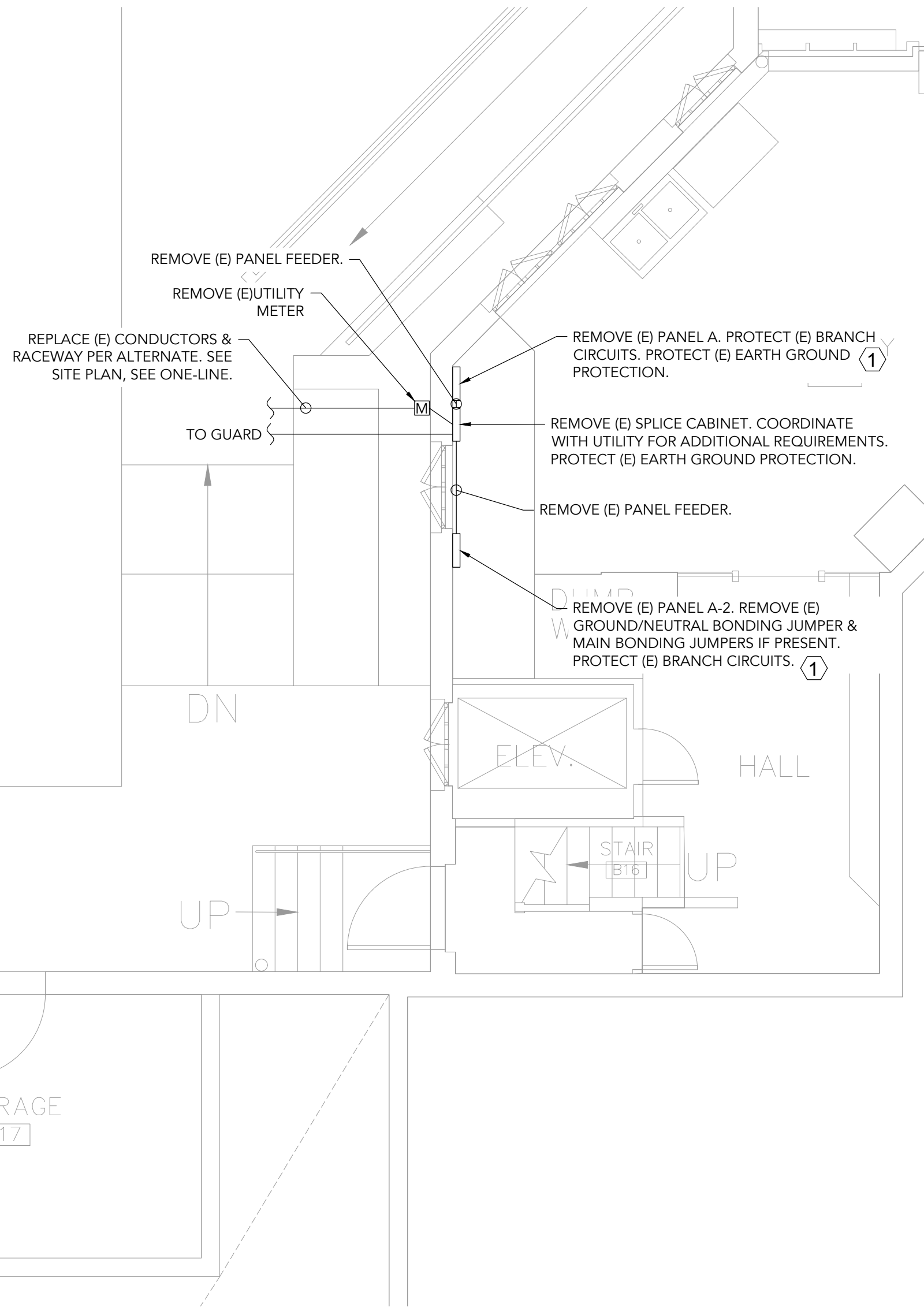
REV.	DATE	DESIGN/CHECK

JOB# 21-125
 DESIGN: BJ/JW
 DRAWN: BJ/DW
 CHECKED: MJC

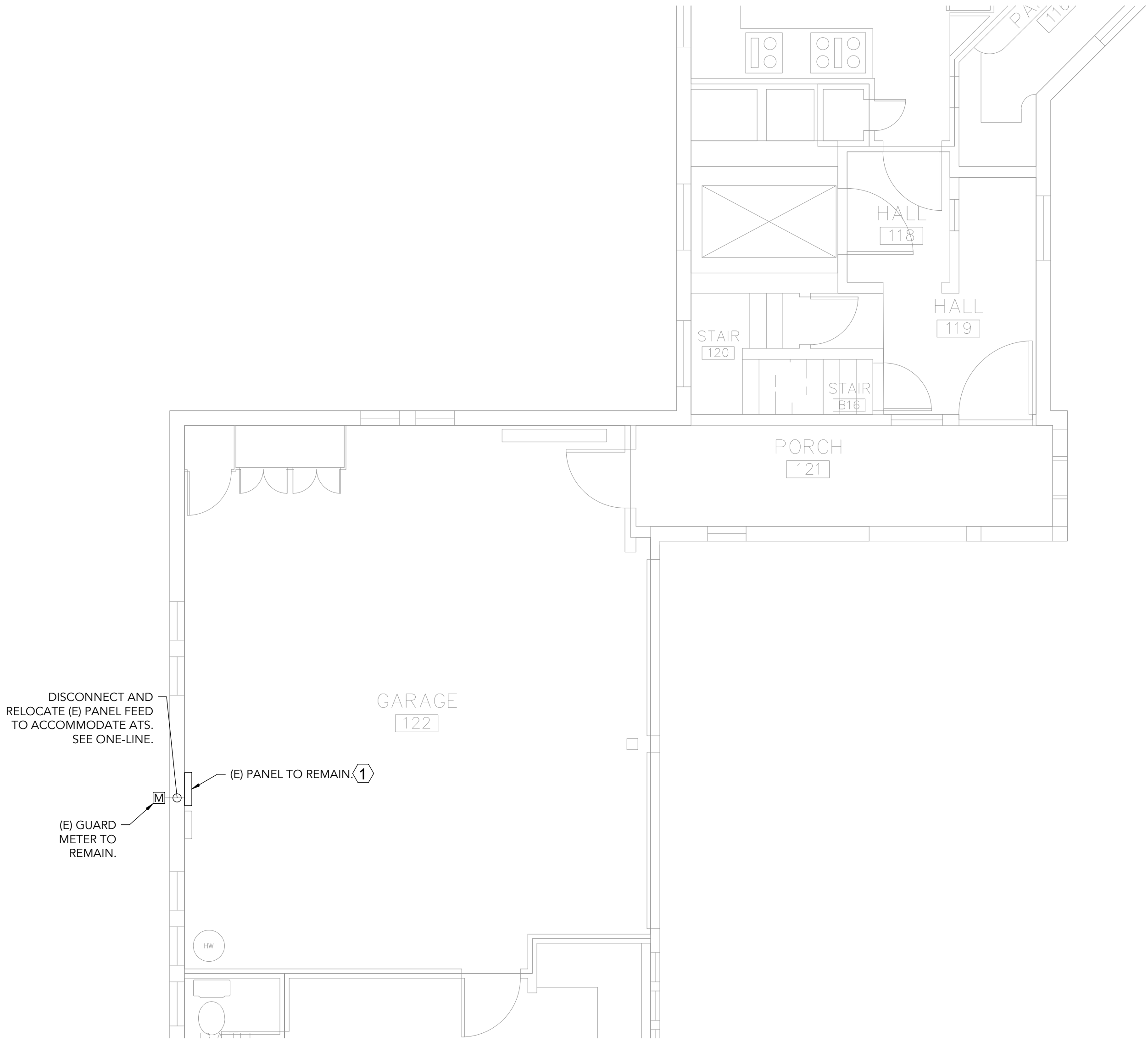
Nov. 22ND, 2021

DEMOLITION PLAN

SHEET INDEX
E2.00

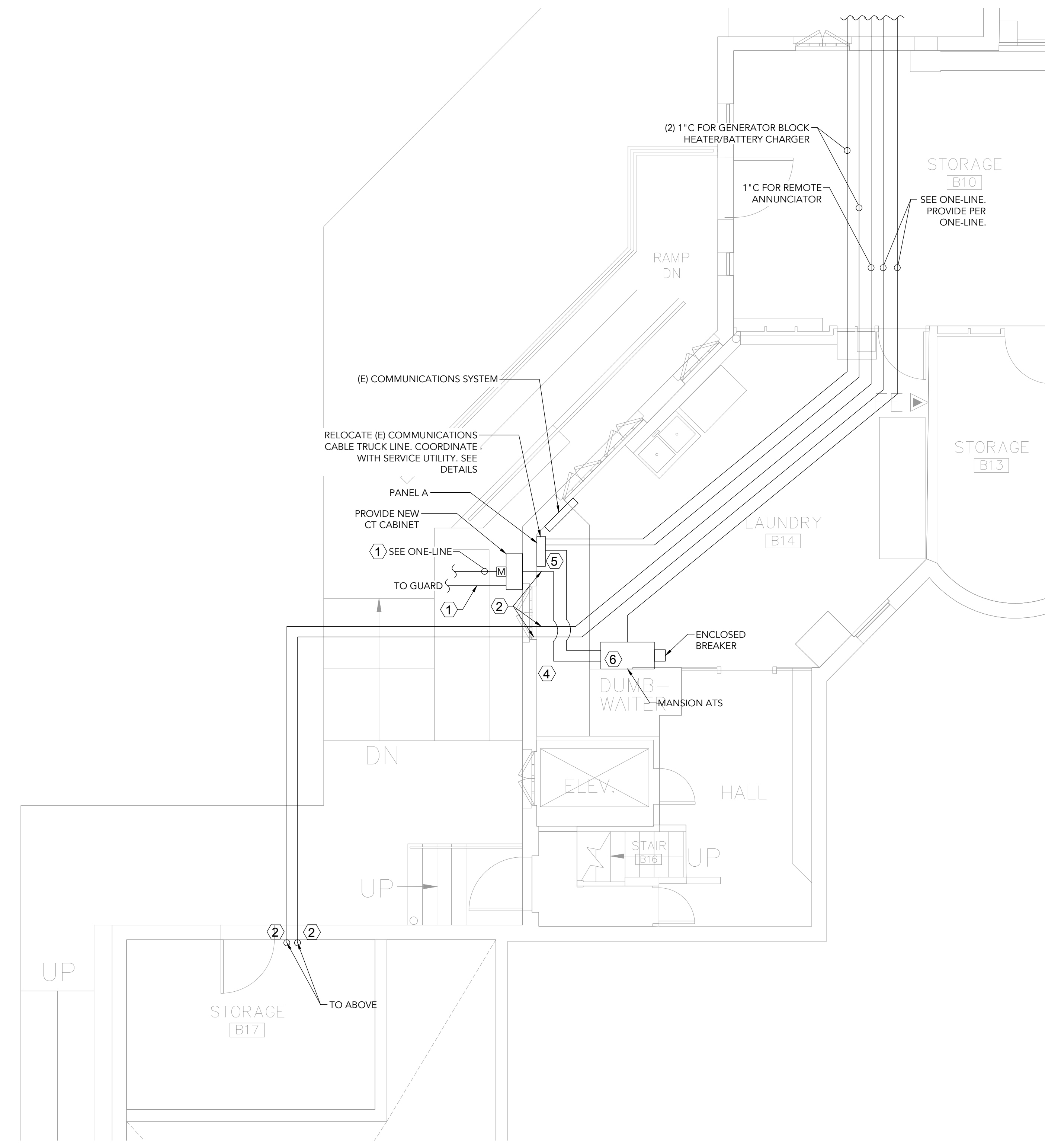


1 ENLARGED DEMO PLAN: BASEMENT
 E2.00 SCALE: 1/4" = 1'-0"

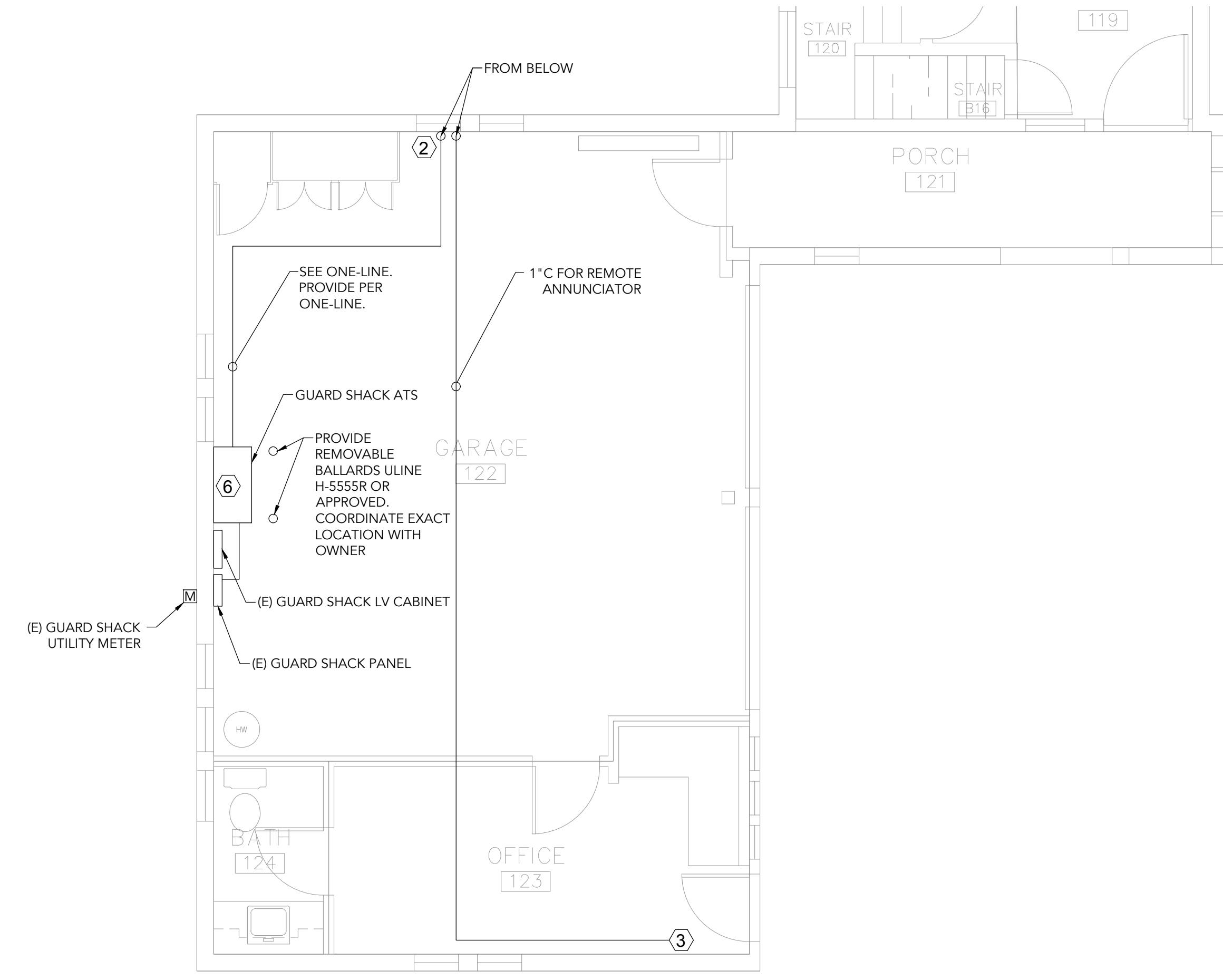


2 ENLARGED DEMO PLAN: 1ST FLOOR
 E2.00 SCALE: 1/4" = 1'-0"

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1 ENLARGED PLAN: BASEMENT
 E3.00 SCALE: 1/4" = 1'-0"



2 ENLARGED PLAN: 1ST FLOOR
 E3.00 SCALE: 1/4" = 1'-0"

SHEET NOTES

- A. DO NOT TRENCH THROUGH AREAS WITH ASPHALT, OR CONCRETE. BORE IN THESE AREAS. BOREHOLES SHALL BE COORDINATED WITH ENGINEER AND OWNER FOR APPROVED LOCATIONS.
- B. COORDINATE ALL ROUTES WITH OWNER. ROUTES TO BE CONCEALED, SUBMIT ALTERED and NOT SHOWN ROUTE PATHS FOR ACCEPTANCE PRIOR TO INSTALLATION.
- C. HAND EXCAVATE NEAR CONFLICT LOCATIONS. PROVIDE LOCATES PRIOR TO EXCAVATION.
- D. PROVIDE RACEWAY PENETRATION FOR THE FOLLOWING: GENERATOR FEEDERS, GENERATOR REMOTE ANNUNCIATOR, GENERATOR CHARGER, GENERATOR JACKET HEATER, ATS. PROVIDE LINKSEAL AS REQUIRED, ACCEPTANCE REQUIRED IF ANY PENETRATIONS ARE NOT CONCEALED. SHARING RACEWAY WITH DIFFERENT VOLTAGES IS NOT PERMITTED.

KEYED NOTES

- 1. SEE SITE PLAN.
- 2. PROVIDE LINK SEAL. SEE SPECIFICATIONS TYP. AT BUILDING PENETRATIONS.
- 3. PROVIDE REMOTE ANNUNCIATOR IN GUARD SHACK AREA SHOWN, UNLESS OTHERWISE INDICATED BY OWNER. ROUTING SHOWN IS SCHEMATIC. CONCEAL RACEWAY. SEE SPECIFICATIONS.
- 4. SEE DETAILS FOR (E) RACEWAY/CIRCUITING EXTENSIONS TO NEW PANEL. USE OF GUTTER OR COMMON JUNCTION BOX IS NOT PERMITTED.
- 5. RECONNECT (E) CIRCUITS THAT REMAIN TO NEW PANEL.
- 6. PROVIDE WALL MOUNTED SURFACE LED STRIP LIGHT, LITHOINA CLX-L36-2500LM-SEF-SBLW-RDL-WD-MVOLT-30K-90CRI OR APPROVED. MOUNT FIXTURE ABOVE ATS, COORDINATE LOCATION WITH OWNER. PROVIDE UNSWITCHED HOT.



EXPIRES: 12/31/2021

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 533 LINCOLN ST. SE
 SALEM, OREGON 97302

SYMBOL	DATE	DESIGN/CHECK

JOB# 21-125

DESIGN: BJ/JW
 DRAWN: BJ/DW
 CHECKED: MJC

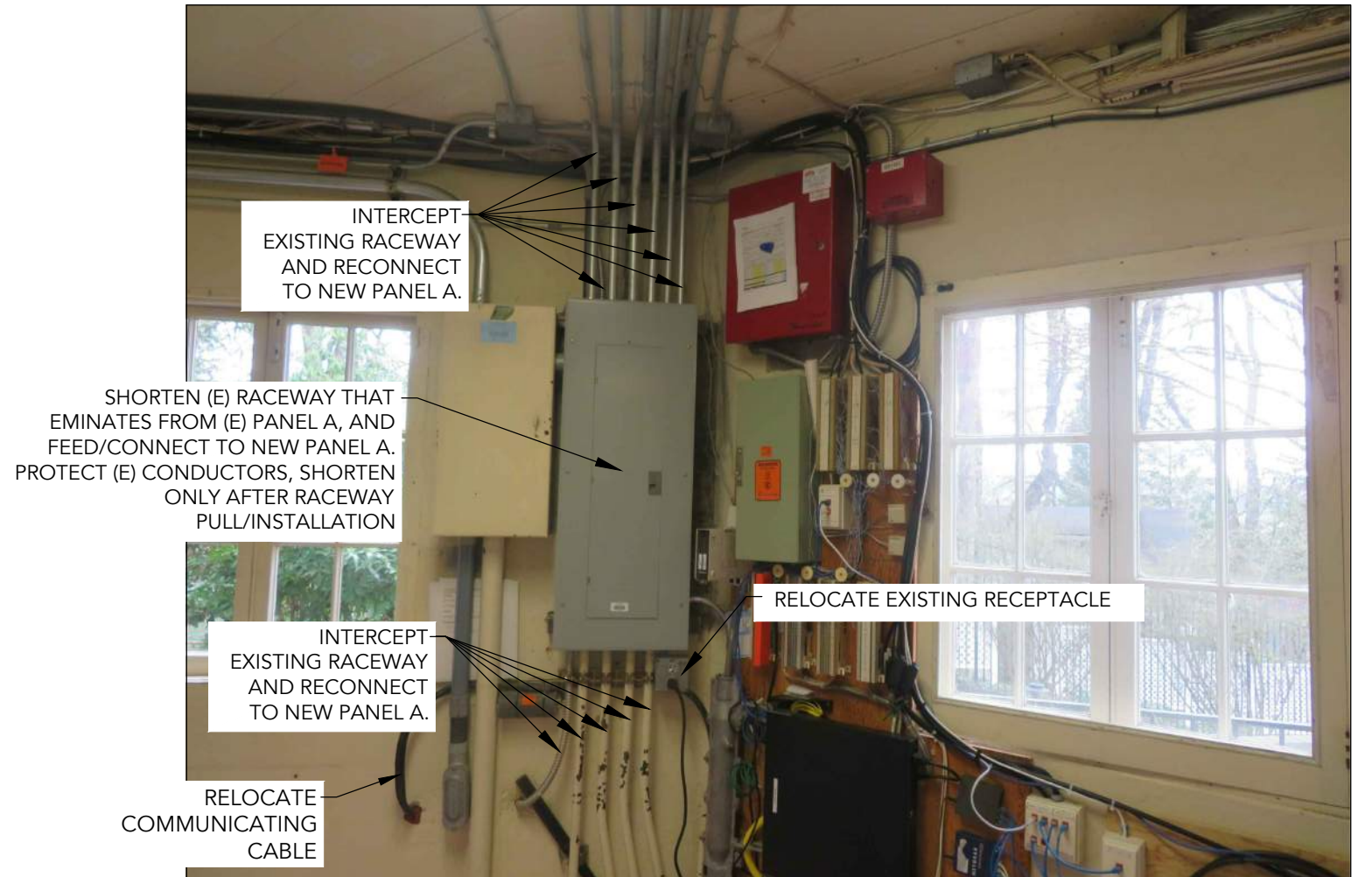
Nov. 22ND, 2021

POWER PLAN

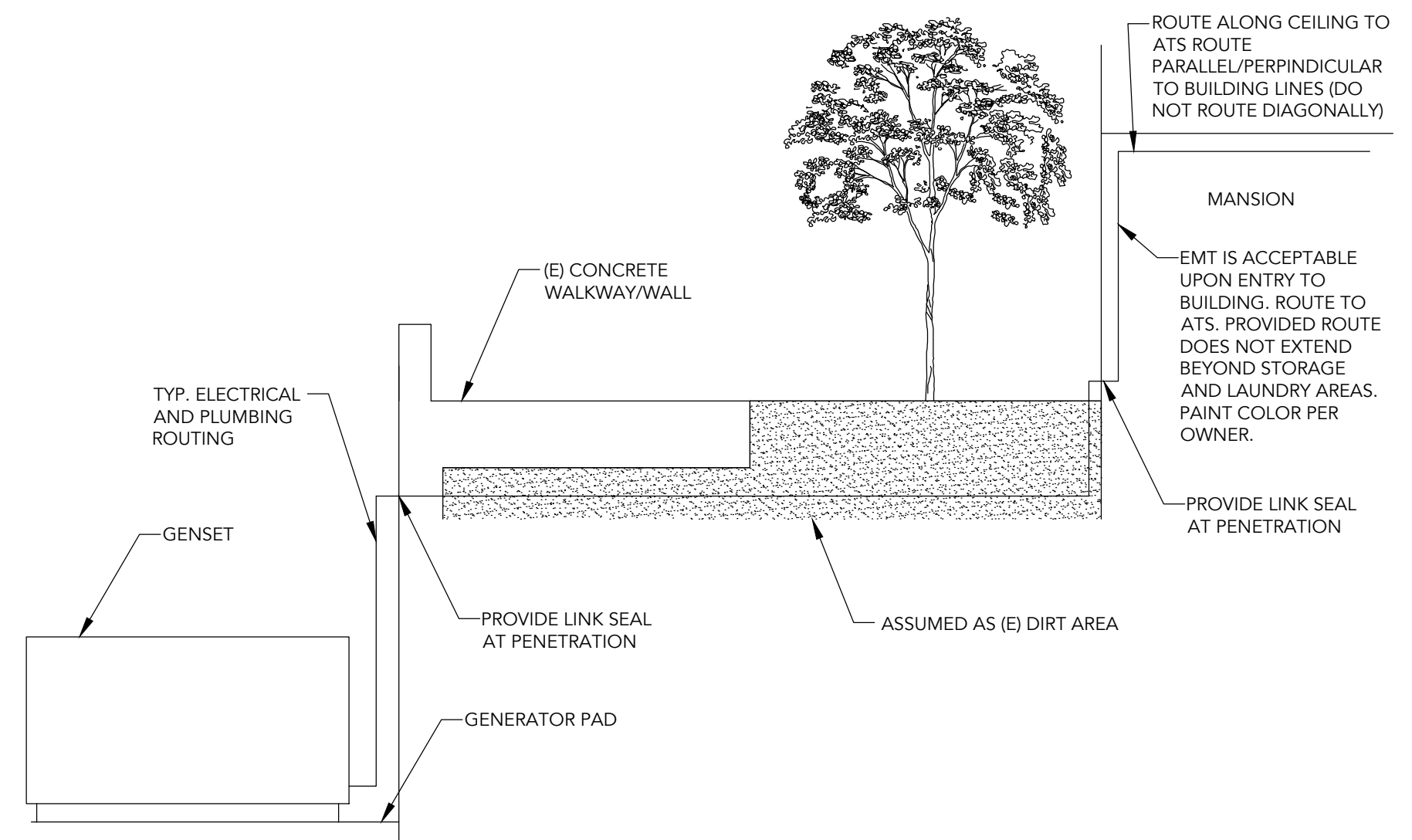
SHEET INDEX
E3.00



1 EXISTING PANEL A-2 CIRCUITS
E4.00 SCALE: NO SCALE



2 EXISTING PANEL A CIRCUITS
E4.00 SCALE: NO SCALE



3 PAD RISER DETAIL
E4.00 SCALE: NO SCALE



REGISTERED PROFESSIONAL
ENGINEER
59,920

DIGITALLY SIGNED BY:
Matthew J. Cash
OREGON
JANUARY 18, 2005
MATTHEW J. CASH

EXPIRES: 12/31/2021

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REVISIONS		
SYM.	DATE	DESIGN/CHECK

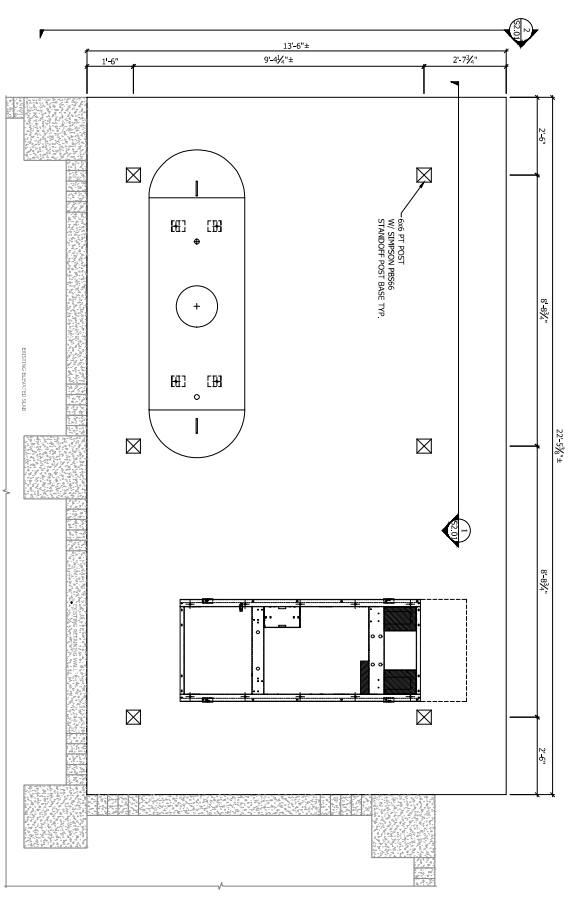
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DESIGN: BJ/JW
DRAWN: BJ/DW
CHECKED: MJC

NOV. 22ND, 2021

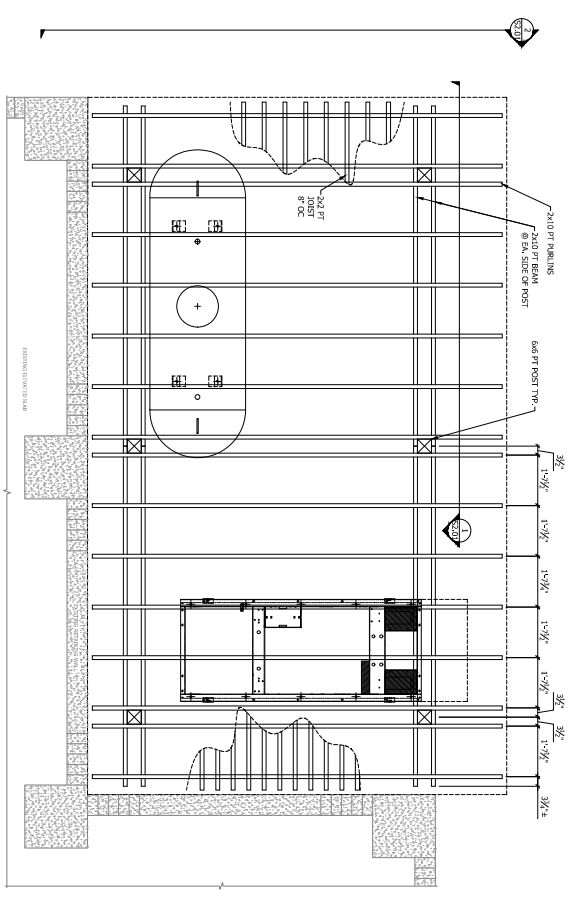
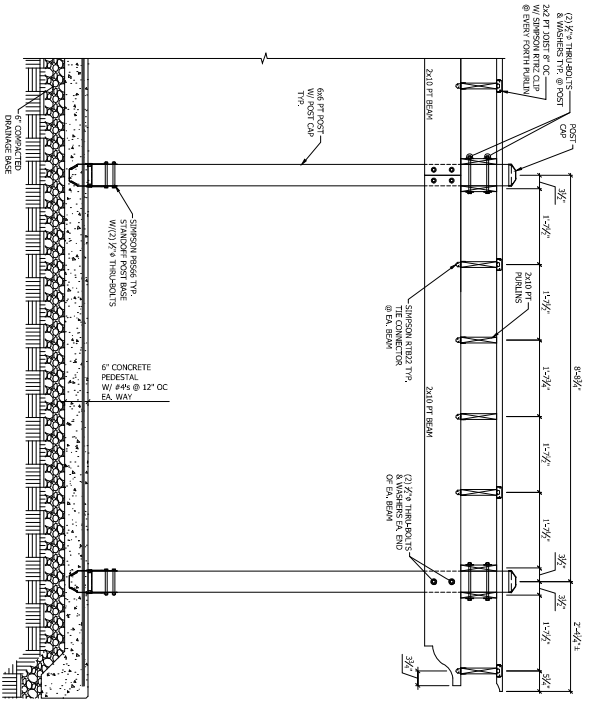
DETAILS

SHEET INDEX
E4.00



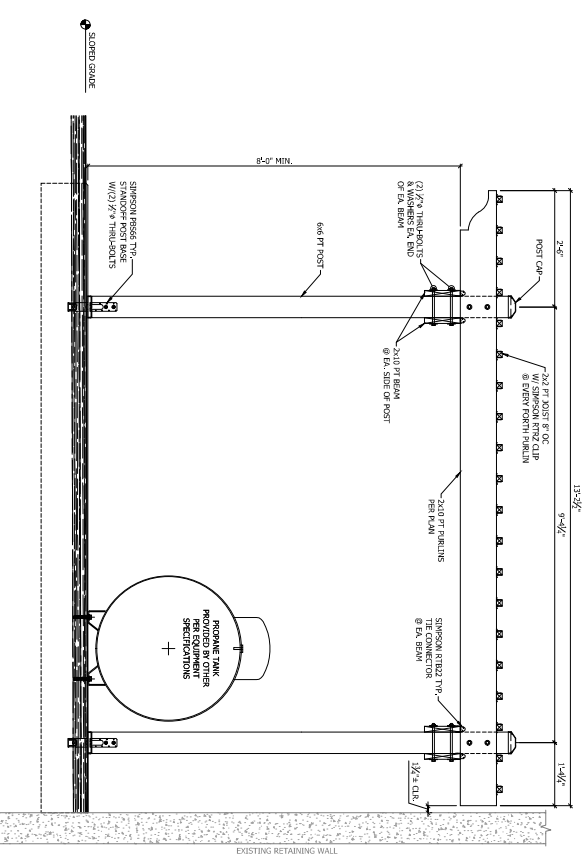
PERGOLA COVER - POST BASE PLAN
1/2" = 1'-0"

SECTION VIEW
3/4" = 1'-0"



PERGOLA COVER ROOF PLAN
1/2" = 1'-0"

WEST END ELEVATION
3/4" = 1'-0"



WEST END ELEVATION
3/4" = 1'-0"

DATE	DESCRIPTION
NOV. 11, 2021	DESIGN, DSM
	DRAWING, DSM
	CHECKED, DSM
	NOV. 11, 2021
	EQUIPMENT
	PERGOLA
	COVER
	SHEET INDEX
	S2.01

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