



# HEARING NOTICE

## LAND USE REQUEST AFFECTING THIS AREA

*There is a development proposal for the property listed in this notice and shown on the attached map. The City is seeking input from neighbors on the proposal. If you have questions or comments about the proposal, contact the case manager.*

*Esta carta es un aviso sobre una propuesta de desarrollo para la propiedad enumerada y que se muestra en el mapa adjunto. La ciudad está buscando la opinión de los vecinos sobre la propuesta. Si tiene preguntas o comentarios sobre la propuesta, póngase en contacto con nosotros al 503-588-6213*

|                                  |  |
|----------------------------------|--|
| <b>CASE NUMBER:</b>              | Class 3 Major Historic Design Review Case No. HIS22-28   |
| <b>PROPERTY LOCATION:</b>        | 455 Court St NE, Salem OR 97301  |
| <b>SUMMARY:</b>                  | A proposal to modify the exterior of the D'Arcy Building (aka Whitlock's).   |
| <b>HEARING INFORMATION:</b>      | <p><u>Historic Landmarks Commission, on <b>Thursday, November 17, 2022</b> at 5:30 pm held virtually via Zoom</u></p> <p>To view the meeting LIVE on YouTube please visit this link with any computer, tablet, or smart phone: <a href="http://bit.ly/planningpublicmeetings">http://bit.ly/planningpublicmeetings</a></p>   |
| <b>HOW TO PROVIDE TESTIMONY:</b> | <p>Both written and oral testimony will be accepted on this case. Only those participating by submitting written testimony, or by testifying virtually at the hearing, have the right to appeal the decision.</p> <p><b>To provide written testimony:</b> Direct written comment to the case manager listed below. Staff recommends emailing your comments to ensure receipt before the public hearing.</p> <p><i>Note: Comments submitted are <u>public record</u>. This includes any personal information provided in your comment such as name, email, physical address and phone number.</i></p> <p><b>To provide testimony digitally at the public hearing:</b> Sign up by contacting Zachery Cardoso at <a href="mailto:zcardoso@cityofsalem.net">zcardoso@cityofsalem.net</a> or 503-540-2304 by <u>the date of the hearing at 3:00 p.m.</u> to receive instructions.</p> |
| <b>CASE MANAGER:</b>             | <b>Kimberli Fitzgerald, Historic Preservation Officer</b> , City of Salem Planning Division, 555 Liberty Street SE, Room 305, Salem, OR 97301. Telephone: 503-540-2397; E-mail: <a href="mailto:kfitzgerald@cityofsalem.net">kfitzgerald@cityofsalem.net</a> .   |
| <b>NEIGHBORHOOD ASSOCIATION:</b> | <p><i>Neighborhood associations are volunteer organizations of neighbors coming together to make neighborhoods the best they can be. They receive notice of land use applications within their boundaries, and they often submit comments on the applications to the City. Neighborhood association meetings are open to everyone. Contact your neighborhood association to get involved:</i></p> <p>Central Area Neighborhood Development Organization (CAN-DO), Bryant Baird, Land Use Chair; Phone: 971-388-0654; Email: <a href="mailto:mbbaird@hotmail.com">mbbaird@hotmail.com</a>.</p>  |
| <b>STAFF REPORT:</b>             | <p>The Staff Report will be available seven (7) days prior to the hearing and will thereafter be posted on the Hearing Body's website under Agendas and Minutes: <a href="https://www.cityofsalem.net/government/boards-commissions/commissions/historic-landmarks-commission">https://www.cityofsalem.net/government/boards-commissions/commissions/historic-landmarks-commission</a></p>   |
| <b>ACCESS:</b>                   | The Americans with Disabilities Act (ADA) accommodations will be provided on request.  |
| <b>CRITERIA:</b>                 | <p>Salem Revised Code (SRC) Chapter(s) 230.065 General Guidelines for Historic Contributing Buildings</p> <p>Salem Revised Code (SRC) is available to view at this link: <a href="http://www.cityofsalem.net/src">www.cityofsalem.net/src</a>. Type in the chapter number(s) listed above to view the applicable criteria.</p>   |

|                              |   |
|------------------------------|---|
| <b>OWNER(S):</b>             | Orreo Fund LLC (Charles Weathers), Fundy Business LLC (John Wulf, Rebecca Wulf)   |
| <b>APPLICANT / AGENT(S):</b> | Charles Weathers  |
| <b>PROPOSAL / REQUEST:</b>   | Major Historic Design Review of a proposal to install new signage on the east façade; reopen formerly blocked windows and doors; remove the non-historic awnings and replace the existing non-original storefront on the exterior of the D'Arcy Building (aka Whitlock's) on property appx. .194 acres in size within the CB (Central Business District) zone and the Salem Downtown Historic District and located at 455 Court Street NE, (Marion County Assessor Tax Lot Number: 073W22DC06100).  |
| <b>HEARING PROCEDURE:</b>    | <p>The hearing will be conducted with the staff presentation first, followed by the applicant's case, neighborhood organization comments, testimony of persons in favor or opposition, and rebuttal by the applicant, if necessary. The applicant has the burden of proof to show that the approval criteria can be satisfied by the facts. Opponents may rebut the applicant's testimony by showing alternative facts or by showing that the evidence submitted does not satisfy the approval criteria. A hearing is not a venue to ask questions of staff, the applicant, or the decision maker(s) on this case but rather an opportunity to provide testimony to the decision maker(s) on the merits of the land use case; questions about the application, the recommended conditions of approval, or the Planning Administrator's recommendation, should be directed to the Case Manager prior to the hearing.</p> <p>Any participant may request an opportunity to present additional evidence or testimony regarding the application. A ruling will then be made to either continue the Public Hearing to another date or leave the record open to receive additional written testimony. Failure to raise an issue in person or by letter prior to the close of the Public Hearing with sufficient specificity to provide the opportunity to respond to the issue, precludes appeal to the Land Use Board of Appeals (LUBA) on this issue. A similar failure to raise constitutional issues relating to proposed conditions of approval precludes an action for damages in circuit court.</p> <p>Following the close of the Public Hearing a decision will be issued and mailed to the applicant, property owner, affected neighborhood association, anyone who participated in the hearing, either virtually or in writing, and anyone who requested to receive notice of the decision.</p> |
| <b>MORE INFORMATION:</b>     | All documents and evidence submitted by the applicant are available on the City's online Permit Application Center at <a href="https://permits.cityofsalem.net">https://permits.cityofsalem.net</a> . You can use the search function without registering and enter the permit number listed here: 22 119340. Paper copies can be obtained for a reasonable cost.   |
| <b>NOTICE MAILING DATE:</b>  | October 28, 2022  |

**PLEASE PROMPTLY FORWARD A COPY OF THIS NOTICE TO ANY OTHER OWNER, TENANT OR LESSEE.**

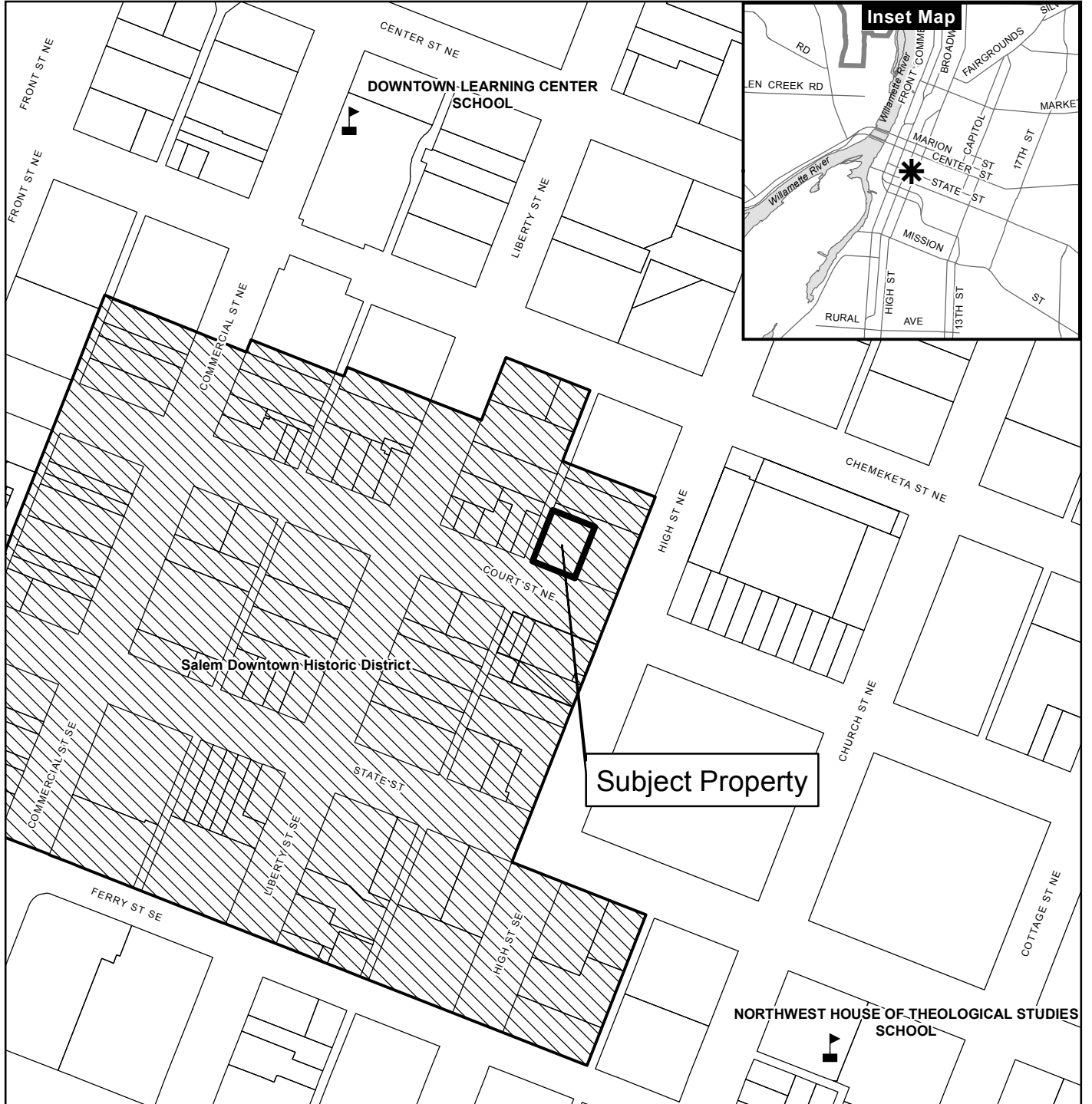
**For more information about Planning in Salem:**

<http://www.cityofsalem.net/planning>








*It is the City of Salem's policy to assure that no person shall be discriminated against on the grounds of race, religion, color, sex, marital status, familial status, national origin, age, mental or physical disability, sexual orientation, gender identity and source of income, as provided by Salem Revised Code Chapter 97. The City of Salem also fully complies with Title VI of the Civil Rights Act of 1964, and related statutes and regulations, in all programs and activities. Disability-related modification or accommodation, including auxiliary aids or services, in order to participate in this meeting or event, are available upon request. Sign language and interpreters for languages other than English are also available upon request. To request such an accommodation or interpretation, contact the Community Development Department at 503-588-6173 at least three business days before this meeting or event.*

TTD/TTY telephone 503-588-6439 is also available 24/7

# Vicinity Map 455 Court St NE



## Legend

-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools
-  Parks



0 100 200 400 Feet

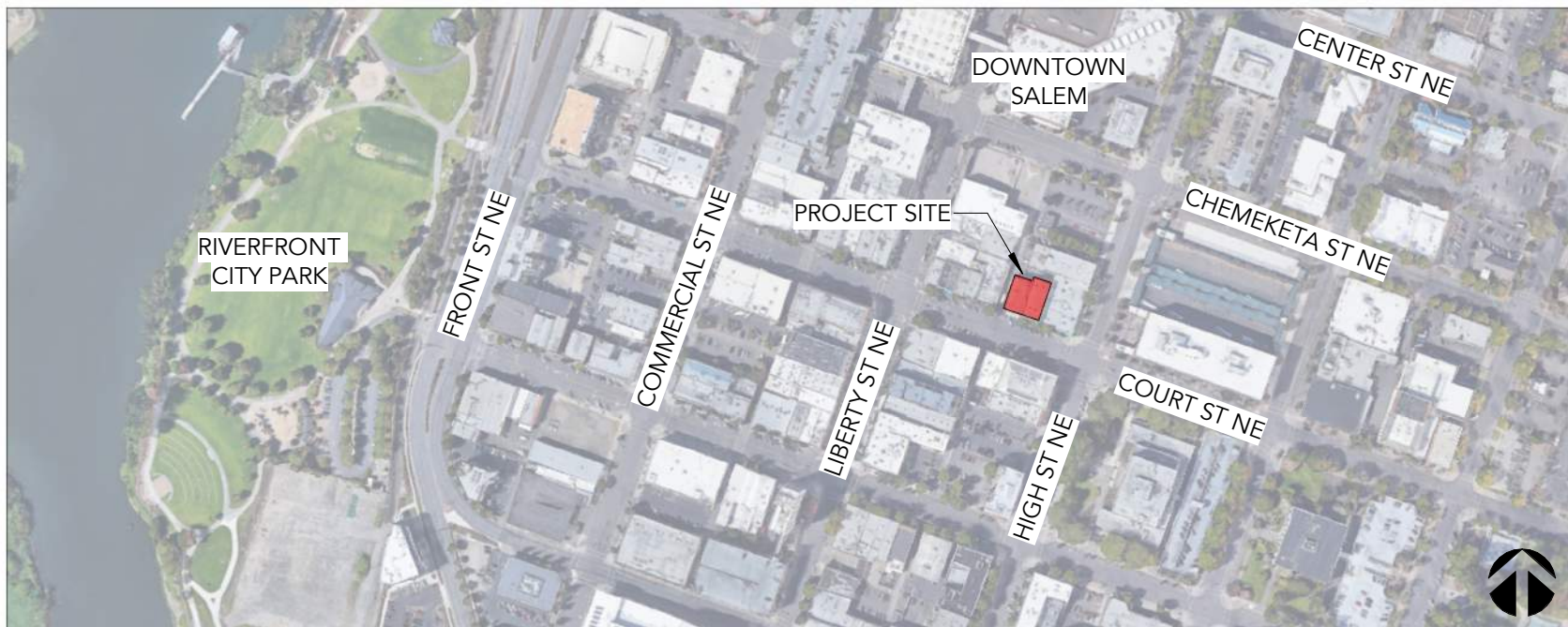


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# 455 COURT



## LOCATION MAP



# HISTORIC DESIGN REVIEW SHEET INDEX

| SHEET NUMBER | SHEET NAME                       |
|--------------|----------------------------------|
| HDR-01       | COVER SHEET                      |
| HDR-02       | SITE PLAN                        |
| HDR-03       | FLOOR PLAN - LEVEL 0             |
| HDR-04       | FLOOR PLAN - LEVEL 1 - GROUND    |
| HDR-05       | FLOOR PLAN - LEVEL 1 - MEZZANINE |
| HDR-06       | FLOOR PLAN - LEVEL 2             |
| HDR-08       | SOUTH ELEVATION                  |
| HDR-09       | WEST ELEVATION                   |
| HDR-10       | NORTH ELEVATION                  |
| HDR-11       | EAST ELEVATION                   |

## PROJECT INFORMATION

### PROJECT DESCRIPTION

INTERIOR RENOVATION WITH MINOR EXTERIOR CHANGES OF A 2 STORY 23,000 SQUARE FOOT HISTORICAL COMMERCIAL BUILDING.

INTERIOR CHANGES INCLUDE DEVELOPMENT OF RESIDENTIAL UNITS ON THE SECOND FLOOR OF THE BUILDING, INTERIOR COMMERCIAL TENANT SPACE UPGRADES ON THE FIRST FLOOR AND BASEMENT LEVEL, AND ADDITION OF AN ELEVATOR TO THE BUILDING.

EXTERIOR IMPROVEMENTS INCLUDE NEW STOREFRONT WITH AN ADDITIONAL ENTRY, RE-ESTABLISHING TRANSOM/CLEAR STORY WINDOWS AND REMOVAL OF THE EXISTING AWNINGS.

## CONTACT LIST

### ARCHITECT OF RECORD

CB TWO ARCHITECTS, LLC  
 500 LIBERTY STREET SE, STE 100  
 SALEM, OR 97301  
 PH: 503.480.8700  
 E: AARON@CBTWOARCHITECTS.COM



PROJECT/LOCATION:

**455 COURT**  
**455 COURT ST NE SALEM, OR 97301**

TITLE: COVER SHEET

**HDR-01**

DATE: 09/22/2022

### Historic Alteration Review Worksheet

Site Address: \_\_\_\_\_

Resource Status: Contributing  Non- Contributing  Individual Landmark

Type of Work Activity Proposed: Major  Minor

Chose One: Commercial District  Individual Resource  Public District   
Residential District  Sign

#### Replacement, Alteration, Restoration or Addition of:

**Architectural Feature:**

- Awning
- Door
- Exterior Trim, Lintel
- Other architectural feature \_\_\_\_\_
- Roof/Cornice
- Masonry/Siding
- Storefront
- Window(s) Number of windows: \_\_\_\_\_

**Landscape Feature:**

- Fence
- Streetscape
- Other Site feature (describe) \_\_\_\_\_

**New:**

- Addition
- Accessory Structure
- Sign
- Mural
- Accessibility Ramp
- Energy Improvements
- Mechanical Equipment
- Primary Structure

Will the proposed alteration be visible from any public right-of-way?  Yes  No

Project's Existing Material: \_\_\_\_\_ Project's New Material: \_\_\_\_\_

#### Project Description

Briefly provide an overview of the type of work proposed. Describe how it meets the applicable design criteria in SRC Chapter 230. Please attach any additional information (i.e., product specification sheets) that will help staff and the HLC clearly understand the proposed work:

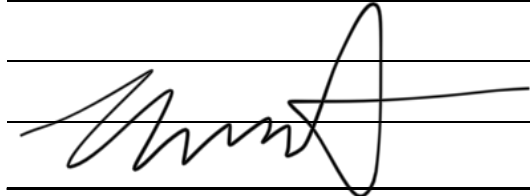
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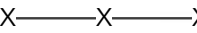












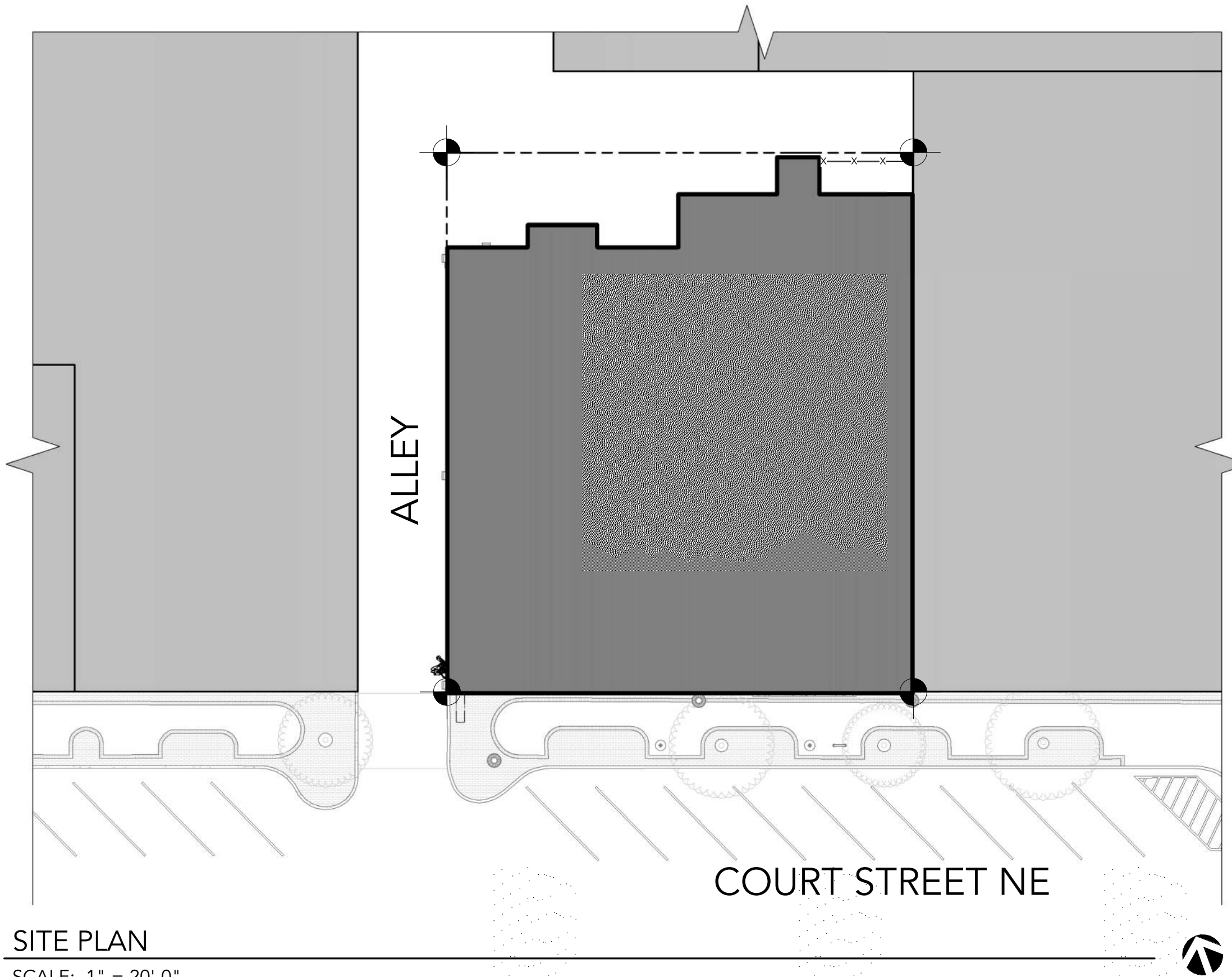
9/15/22

Signature of Applicant

Date Submitted/Signed

# SITE PLAN LEGEND

| OBJECT/PATTERN  | DESCRIPTION(S)                            |
|---|---|
|    | - PROPERTY LINE                           |
|    | - ROOF OUTLINE                            |
|    | - FENCE                                   |
|    | - PROPERTY DATUM POINT                    |
|    | - EXISTING SIDEWALK                       |
|    | - EXISTING ROAD                           |
|    | - EXISTING PROJECT BUILDING               |
|  | - EXISTING ADJACENT BUILDING NOT IN SCOPE |
|  | - EXISTING TREE                           |
|  | - WALL MOUNT STREET LIGHT                 |
|  | - EXISTING TRASH CAN                      |
|  | - EXISTING STREET LIGHT                   |
|  | - EXISTING BIKE RACK                      |



## SITE PLAN

SCALE: 1" = 20'-0"



PROJECT/LOCATION:





**455 COURT**  
**455 COURT ST NE SALEM, OR 97301**

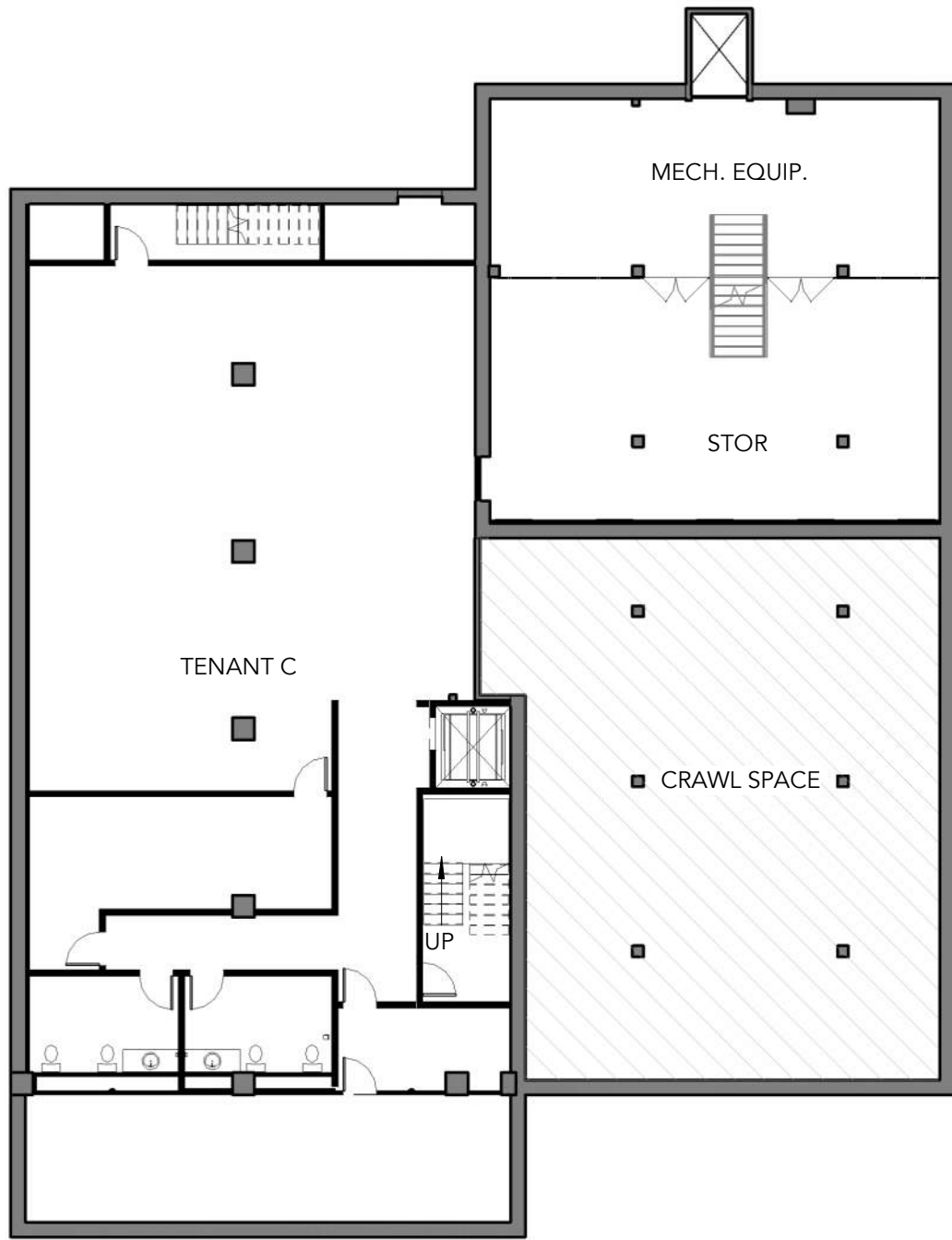
TITLE: SITE PLAN

**HDR-02**

DATE: 09/22/2022

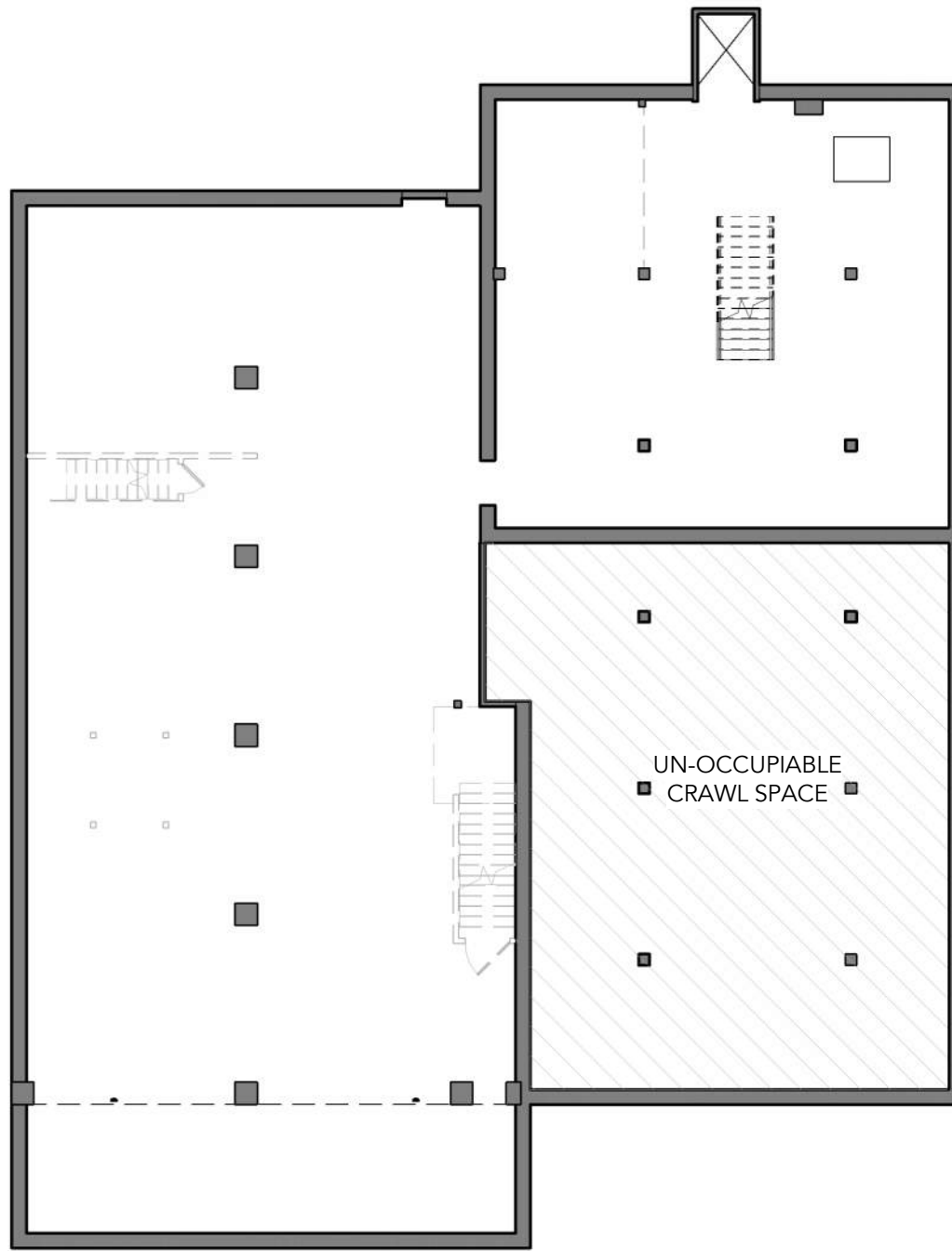
# FLOOR PLAN LEGEND

| OBJECT/PATTERN  | DESCRIPTION(S)                                 |
|---|--|
|  | - EXISTING TO DEMOLITION                       |
|  | - EXISTING TO REMAIN                           |
|  | - NEW  |
|  | - EXISTING UN-OCCUPIABLE CRAWL SPACE TO REMAIN |



PROPOSED PLAN - LEVEL 0

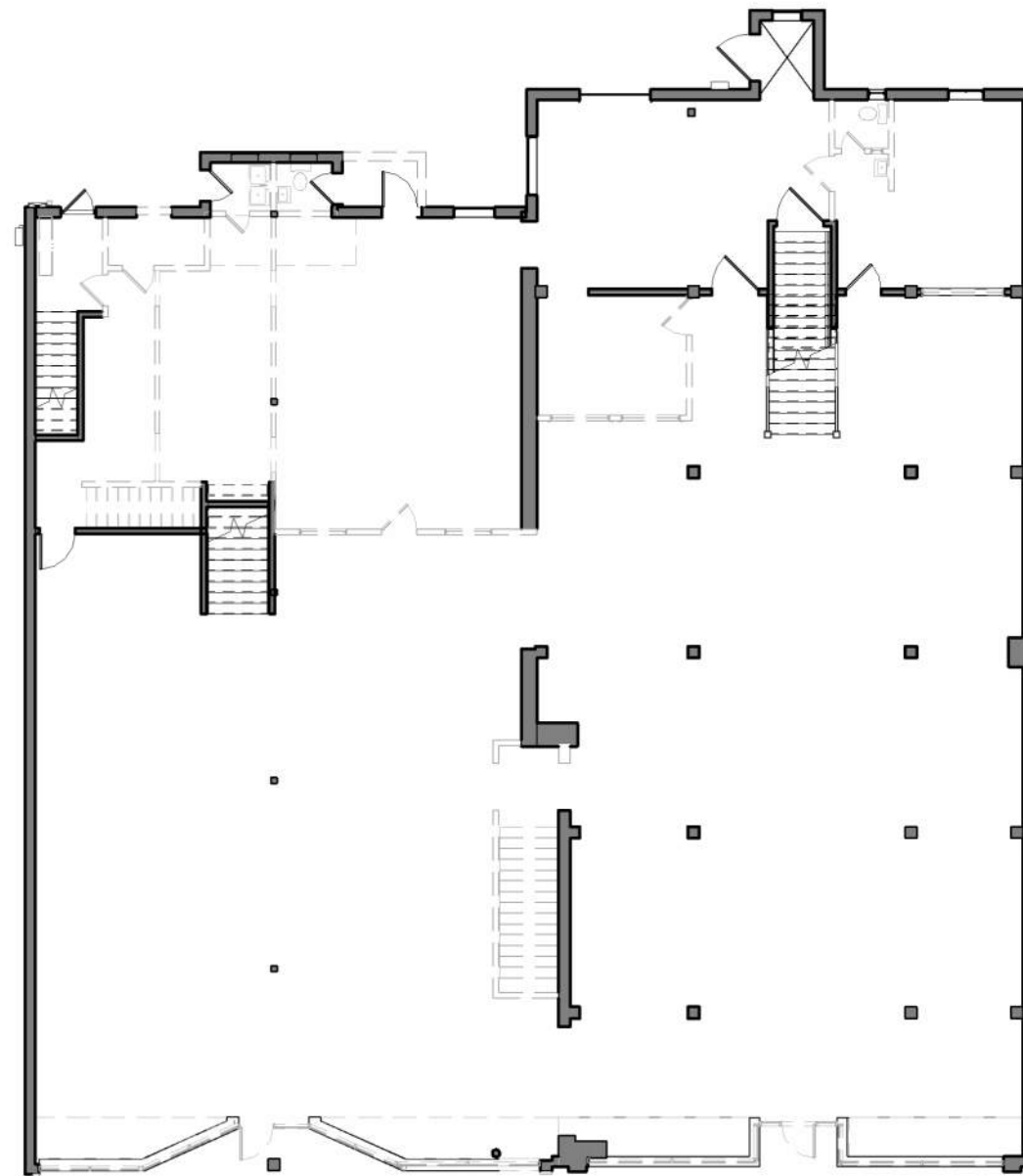
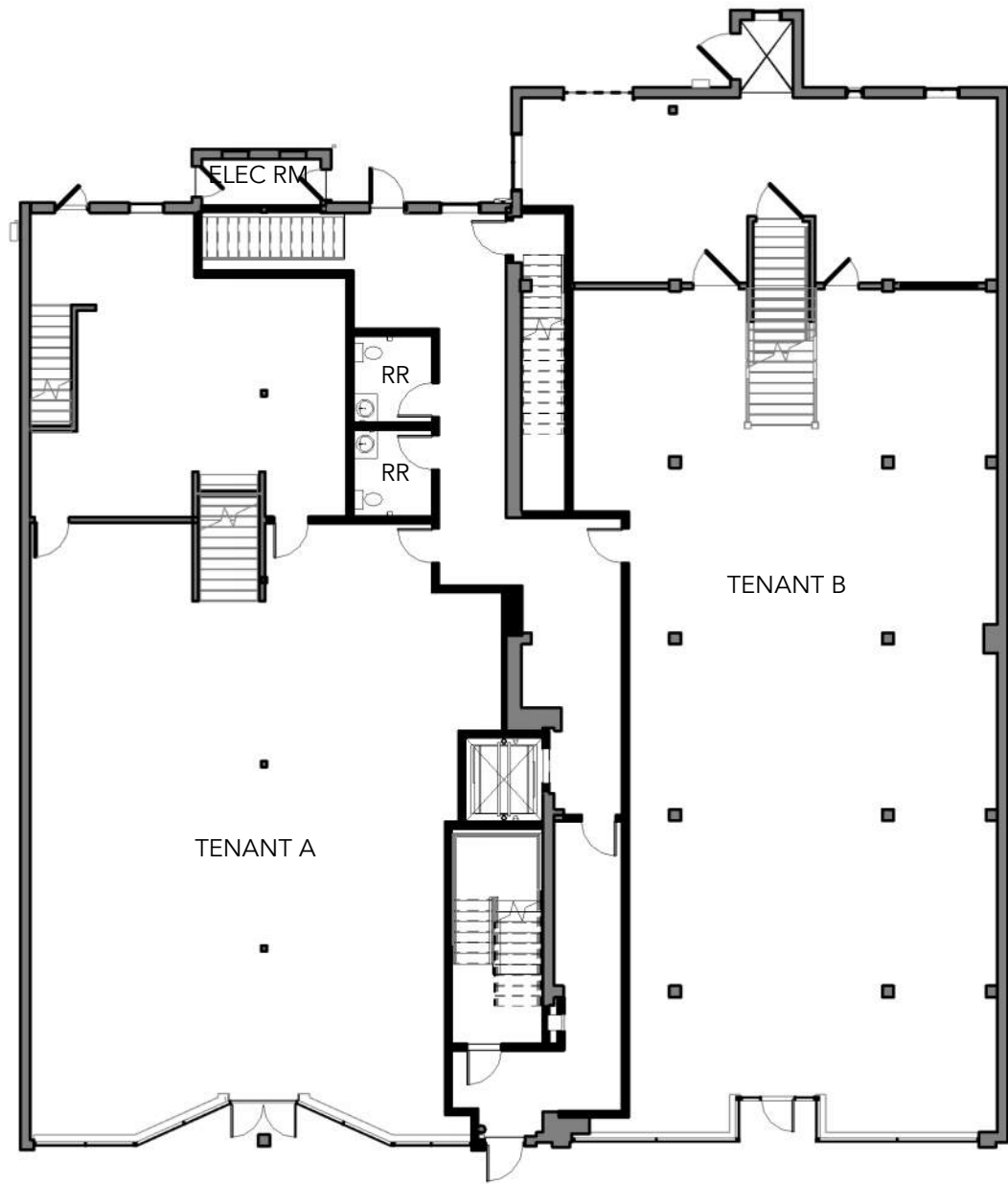
SCALE: 1/16" = 1'-0"



DEMOLITION PLAN - LEVEL 0

SCALE: 1/16" = 1'-0"

# FLOOR PLAN LEGEND



| OBJECT/PATTERN | DESCRIPTION(S)                                 |
|----------------|--|
|                | - EXISTING TO DEMOLITION                       |
|                | - EXISTING TO REMAIN                           |
|                | - NEW  |
|                | - EXISTING UN-OCCUPIABLE CRAWL SPACE TO REMAIN |

PROPOSED PLAN - LEVEL 1 - GROUND

SCALE: 1/16" = 1'-0"



DEMOLITION PLAN - LEVEL 1 - GROUND

SCALE: 1/16" = 1'-0"



**CBTWO**  
ARCHITECTS LLC

PROJECT/LOCATION:

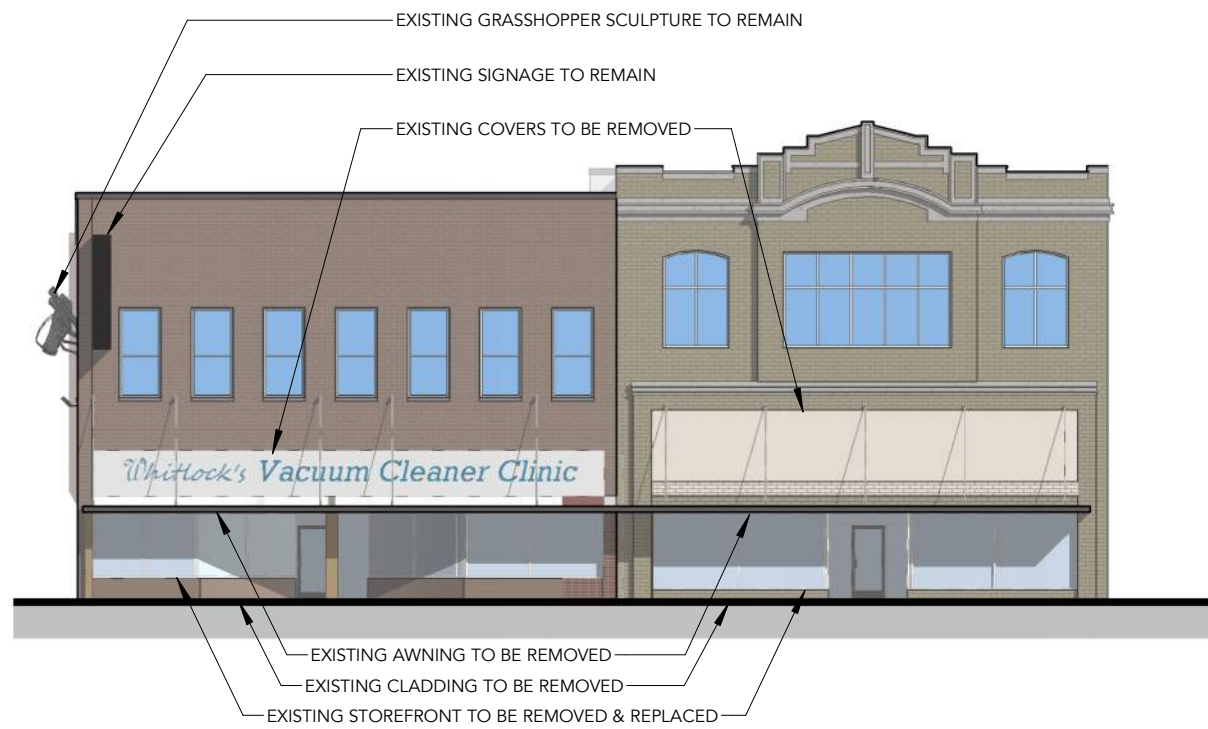
**455 COURT**  
455 COURT ST NE SALEM, OR 97301

TITLE: FLOOR PLAN - LEVEL 1 - GROUND

**HDR-04**

DATE: 09/22/2022





SOUTH ELEVATION - EXISTING

SCALE: 1/16" = 1'-0"



EXISTING SOUTH ELEVATION



HISTORIC SOUTH ELEVATION



SOUTH ELEVATION - PROPOSED

SCALE: 1/16" = 1'-0"



PROPOSED SOUTH ELEVATION



HISTORIC SOUTH ELEVATION

**CBTWO**  
ARCHITECTS LLC

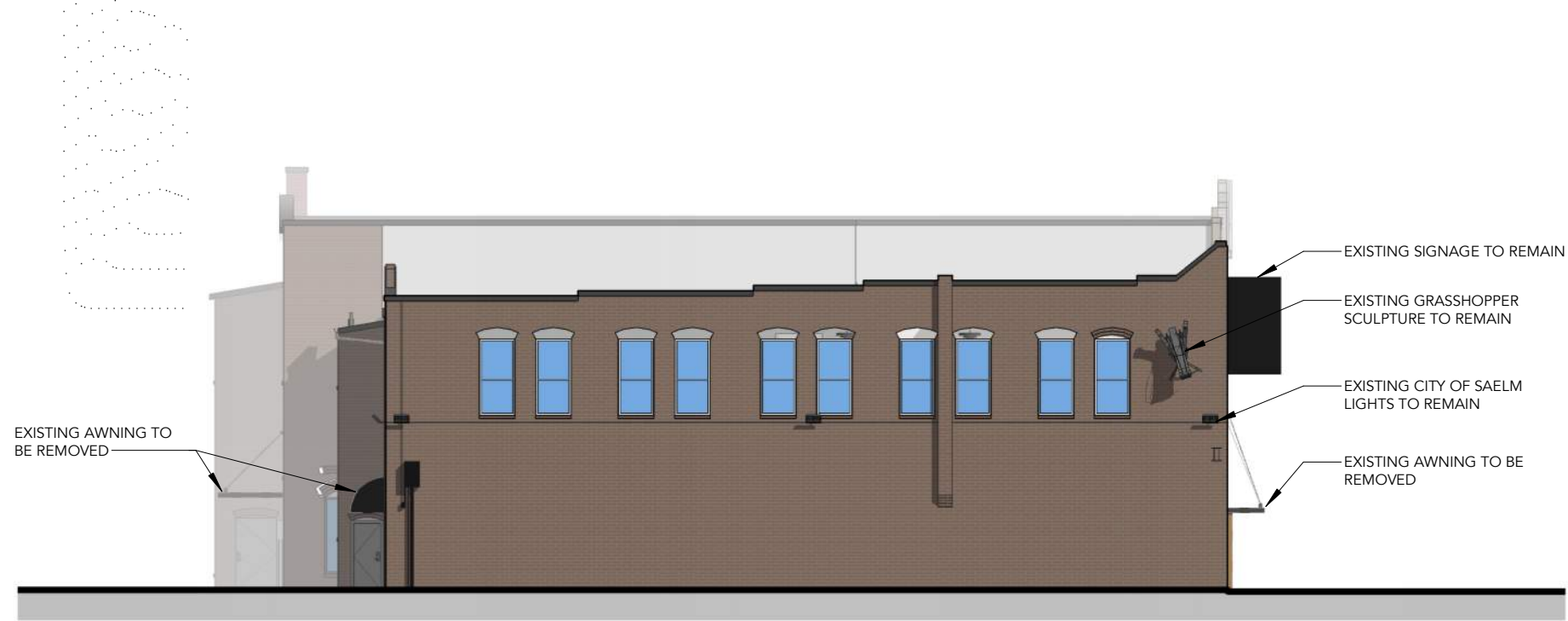
PROJECT/LOCATION:

**455 COURT**  
**455 COURT ST NE SALEM, OR 97301**

TITLE: SOUTH ELEVATION

**HDR-08**

DATE: 09/22/2022

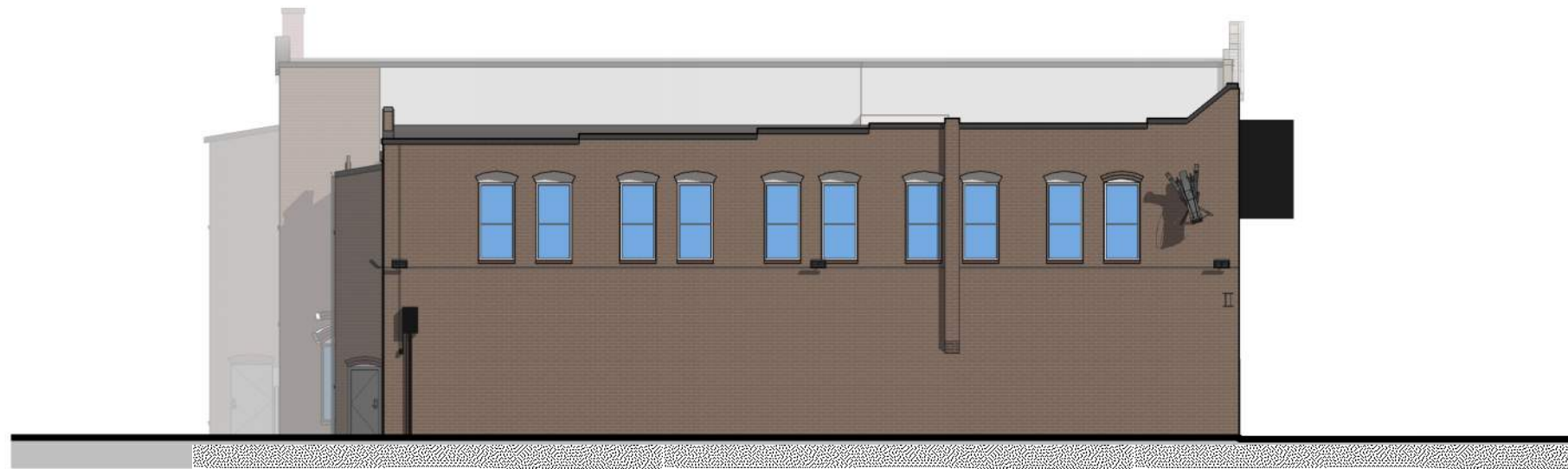


WEST ELEVATION - EXISTING

SCALE: 1/16" = 1'-0"



EXISTING WEST ELEVATION



WEST ELEVATION - PROPOSED

SCALE: 1/16" = 1'-0"



PROPOSED WEST ELEVATION



NORTH ELEVATION - EXISTING

SCALE: 1/16" = 1'-0"



EXISTING NORTH ELEVATION

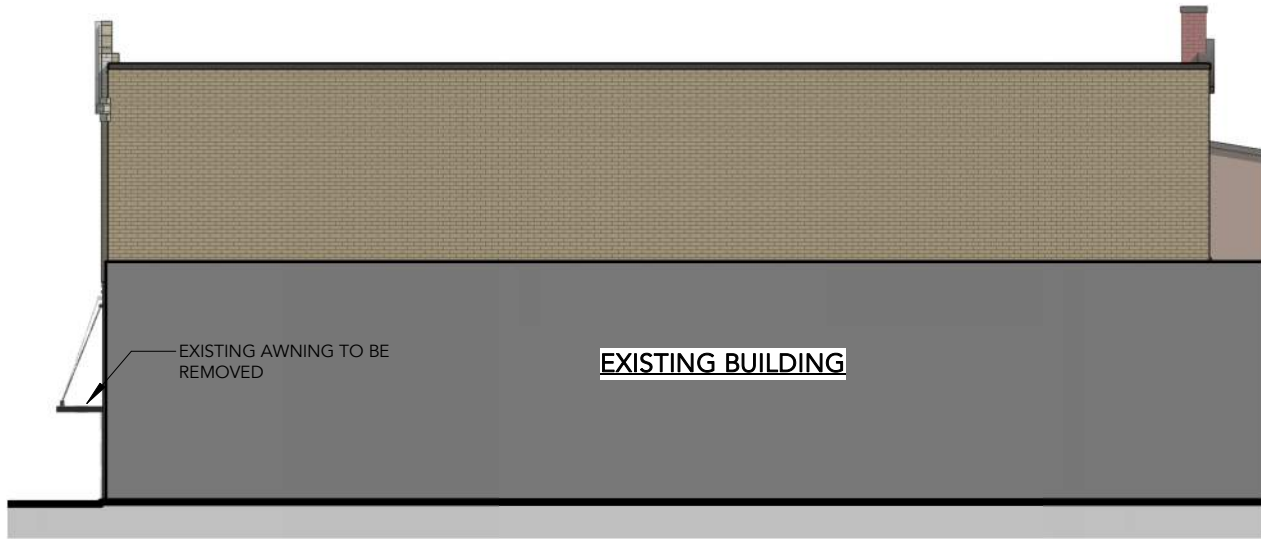


NORTH ELEVATION - PROPOSED

SCALE: 1/16" = 1'-0"



PROPOSED NORTH ELEVATION



EAST ELEVATION - EXISTING

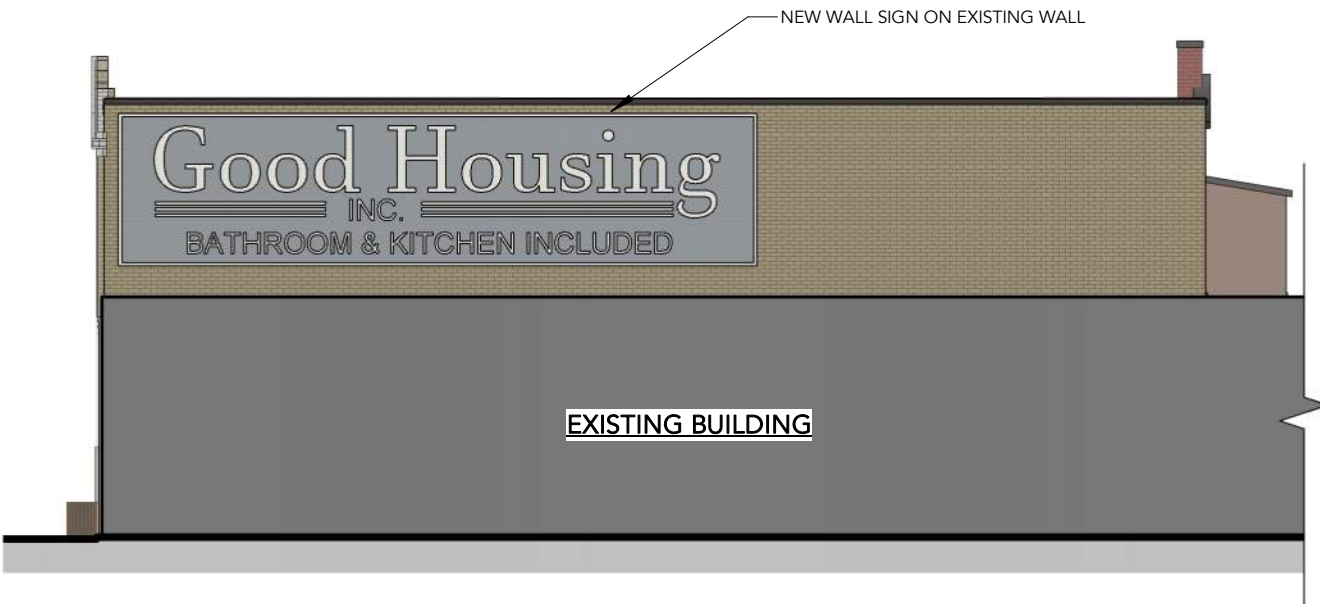
SCALE: 1/16" = 1'-0"



EXISTING EAST ELEVATION



HISTORIC EAST ELEVATION



EAST ELEVATION - PROPOSED

SCALE: 1/16" = 1'-0"



PROPOSED EAST ELEVATION