



NOTICE of FILING

LAND USE REQUEST AFFECTING THIS AREA

There is a development proposal for the property listed in this notice and shown on the attached map. The City is seeking input from neighbors on the proposal. If you have questions or comments about the proposal, contact the case manager.

Esta carta es un aviso sobre una propuesta de desarrollo para la propiedad enumerada y que se muestra en el mapa adjunto. La ciudad está buscando la opinión de los vecinos sobre la propuesta. Si tiene preguntas o comentarios sobre la propuesta, póngase en contacto con nosotros al 503-588-6213.

CASE NUMBER:	Class 3 Site Plan Review / Class 2 Adjustment / Class 1 Adjustment Case No. SPR-ADJ22-55
PROPERTY LOCATION:	827 Lancaster Dr NE, Salem OR 97301
NOTICE MAILING DATE:	December 27, 2022
PROPOSAL SUMMARY:	An application for proposed site improvements adjacent to the former Sears building within the Willamette Town Center.
COMMENT PERIOD:	All written comments must be submitted to City Staff no later than <u>5:00 p.m. Tuesday, January 10, 2023</u>. Please direct any questions and/or comments to the Case Manager listed below. Comments received after the close of the comment period will not be considered. Note: Comments submitted are <u>public record</u>. This includes any personal information provided in your comment such as name, email, physical address and phone number.
CASE MANAGER:	Bryce Bishop, Planner III , City of Salem Planning Division, 555 Liberty Street SE, Room 305, Salem, Oregon 97301. Telephone: 503-540-2399; E-mail: bbishop@cityofsalem.net
NEIGHBORHOOD ASSOCIATION:	<i>Neighborhood associations are volunteer organizations of neighbors coming together to make neighborhoods the best they can be. They receive notice of land use applications within their boundaries, and they often submit comments on the applications to the City. Neighborhood association meetings are open to everyone. Contact your neighborhood association to get involved:</i> Northeast Salem Community Association (NESCA), Ian Johnson, Land Use Chair; Phone: 503-990-4460; Email: johnson.ian.patrick@gmail.com .
ACCESS:	The Americans with Disabilities Act (ADA) accommodations will be provided on request.
CRITERIA TO BE CONSIDERED:	Salem Revised Code (SRC) Chapter(s) 220.005(f)(3) – Class 3 Site Plan Review; 250.005(d)(2) – Class 2 Adjustment; 250.005(d)(1) – Class 1 Adjustment Salem Revised Code (SRC) is available to view at this link: http://bit.ly/salemorcode . Type in the chapter number(s) listed above to view the applicable criteria.

PROPERTY OWNER(S):	Lancaster Development Company LLC
APPLICANT(S):	Seth Garey
PROPOSAL REQUEST:	<p>A Class 3 Site Plan Review application for proposed site improvements adjacent to the former Sears building within the Willamette Town Center including new sidewalk immediately adjacent to the building entrances and parking lot improvements to increase landscaping and reposition parking spaces and access aisles adjacent to the building; together with:</p> <ol style="list-style-type: none"> 1) A Class 2 Adjustment to allow the amount of overall development site landscaping provided within the Willamette Town Center to be increased as a result of the proposed development but fall below the minimum required 15 percent (SRC 522.010(d)(3)); and 2) A Class 1 Adjustment to: <ol style="list-style-type: none"> a) Reduce the minimum required aisle width for one of the parking lot drive aisles serving the proposed repositioned parking spaces from 24 feet to approximately 23.12 feet (SRC 806.035(e); and b) Reduce the minimum required standard parking stall width for five of the proposed repositioned spaces from nine feet to approximately 8.87 feet (SRC 806.035(e)). <p>The subject property is approximately 9.97 acres in size, zoned CR (Retail Commercial) at the time of application submittal, and located at 827 Lancaster Drive NE within the overall 49.75-acre development site of the Willamette Town Center (Marion County Assessor Map and Tax Lot Numbers: 072W19CC04200, 072W19CC04504, 072W19CC04600, 072W19CC04700, 072W19CC05300, 072W19CC05400, 072W19CC05402, 072W19CC05403, 072W19CC05404, and 072W19CC05800).</p>
APPLICATION PROCESS:	<p>Following the close of the Public Comment Period, a decision will be issued and mailed to the applicant, property owner, affected neighborhood association, anyone who submitted written comments, and anyone who received notice of the land use request.</p> <p>Failure to raise an issue in writing prior to the close of the Public Comment Period with sufficient specificity to provide the opportunity to respond to the issue, precludes appeal to the Land Use Board of Appeals (LUBA) on this issue. A similar failure to raise constitutional issues relating to proposed conditions of approval precludes an action for damages in circuit court.</p>
MORE INFORMATION:	<p>All documents and evidence submitted by the applicant are available on the City's online Permit Application Center at https://permits.cityofsalem.net. You can use the search function without registering and enter the permit number listed here: 22 116826. Paper copies can be obtained for a reasonable cost.</p>

PLEASE PROMPTLY FORWARD A COPY OF THIS NOTICE TO ANY OTHER OWNER, TENANT OR LESSEE
For more information about Planning in Salem:
<http://www.cityofsalem.net/planning>

*It is the City of Salem's policy to assure that no person shall be discriminated against on the grounds of race, religion, color, sex, marital status, familial status, national origin, age, mental or physical disability, sexual orientation, gender identity and source of income, as provided by Salem Revised Code Chapter 97. The City of Salem also fully complies with Title VI of the Civil Rights Act of 1964, and related statutes and regulations, in all programs and activities. Disability-related modification or accommodation, including auxiliary aids or services, in order to participate in this meeting or event, are available upon request. Sign language and interpreters for languages other than English are also available upon request. To request such an accommodation or interpretation, contact the Community Development Department at 503-588-6173 at least three business days before this meeting or event.
TTD/TTY telephone 503-588-6439 is also available 24/7*

REQUEST FOR COMMENTS

Si necesita ayuda para comprender esta información, por favor llame 503-588-6173

REGARDING: Class 3 Site Plan Review / Class 2 Adjustment / Class 1 Adjustment Case No. SPR-ADJ22-55

PROJECT ADDRESS: 827 Lancaster Dr NE, Salem OR 97301

AMANDA Application No.: 22-116826-PLN

COMMENT PERIOD ENDS: January 10, 2023

SUMMARY: An application for proposed site improvements adjacent to the former Sears building within the Willamette Town Center.

REQUEST: A Class 3 Site Plan Review application for proposed site improvements adjacent to the former Sears building within the Willamette Town Center including new sidewalk immediately adjacent to the building entrances and parking lot improvements to increase landscaping and reposition parking spaces and access aisles adjacent to the building; together with:

- 1) A Class 2 Adjustment to allow the amount of overall development site landscaping provided within the Willamette Town Center to be increased as a result of the proposed development but fall below the minimum required 15 percent (SRC 522.010(d)(3)); and
- 2) A Class 1 Adjustment to:
 - a) Reduce the minimum required aisle width for one of the parking lot drive aisles serving the proposed repositioned parking spaces from 24 feet to approximately 23.12 feet (SRC 806.035(e)); and
 - b) Reduce the minimum required standard parking stall width for five of the proposed repositioned spaces from nine feet to approximately 8.87 feet (SRC 806.035(e)).

The subject property is approximately 9.97 acres in size, zoned CR (Retail Commercial) at the time of application submittal, and located at 827 Lancaster Drive NE within the overall 49.75-acre development site of the Willamette Town Center (Marion County Assessor Map and Tax Lot Numbers: 072W19CC04200, 072W19CC04504, 072W19CC04600, 072W19CC04700, 072W19CC05300, 072W19CC05400, 072W19CC05402, 072W19CC05403, 072W19CC05404, and 072W19CC05800).

The Planning Division is interested in hearing from you about the attached proposal. Staff will prepare a Decision that includes consideration of comments received during this comment period. We are interested in receiving pertinent, factual information such as neighborhood association recommendations and comments of affected property owners or residents. The complete case file, including all materials submitted by the applicant and any applicable professional studies such as traffic impact analysis, geologic assessments, and stormwater reports, are available upon request.

Comments received by 5:00 p.m. Tuesday, January 10, 2023 will be considered in the decision process. Comments received after this date will be not considered. *Comments submitted are public record. This includes any personal information provided in your comment such as name, email, physical address and phone number. Mailed comments can take up to 7 calendar days to arrive at our office. To ensure that your comments are received by the deadline, we recommend that you e-mail your comments to the Case Manager listed below.*

CASE MANAGER: Bryce Bishop, Planner III, City of Salem, Planning Division; 555 Liberty St SE, Room 305, Salem, OR 97301; Phone: 503-540-2399; E-Mail: bbishop@cityofsalem.net.

For information about Planning in Salem, please visit: <http://www.cityofsalem.net/planning>

PLEASE CHECK THE FOLLOWING THAT APPLY:

1. I have reviewed the proposal and have no objections to it.
2. I have reviewed the proposal and have the following comments: _____
- _____
- _____
- _____

Name/Agency: _____

Address: _____

Phone: _____

Email: _____

Date: _____

IMPORTANT: IF YOU MAIL COMMENTS, PLEASE FOLD AND RETURN THIS POSTAGE-PAID FORM

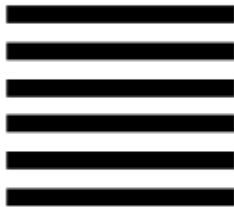


NO POSTAGE
NECESSARY
IF MAILED
IN THE
UNITED STATES

BUSINESS REPLY MAIL
FIRST-CLASS MAIL PERMIT NO. 1508 SALEM, OR

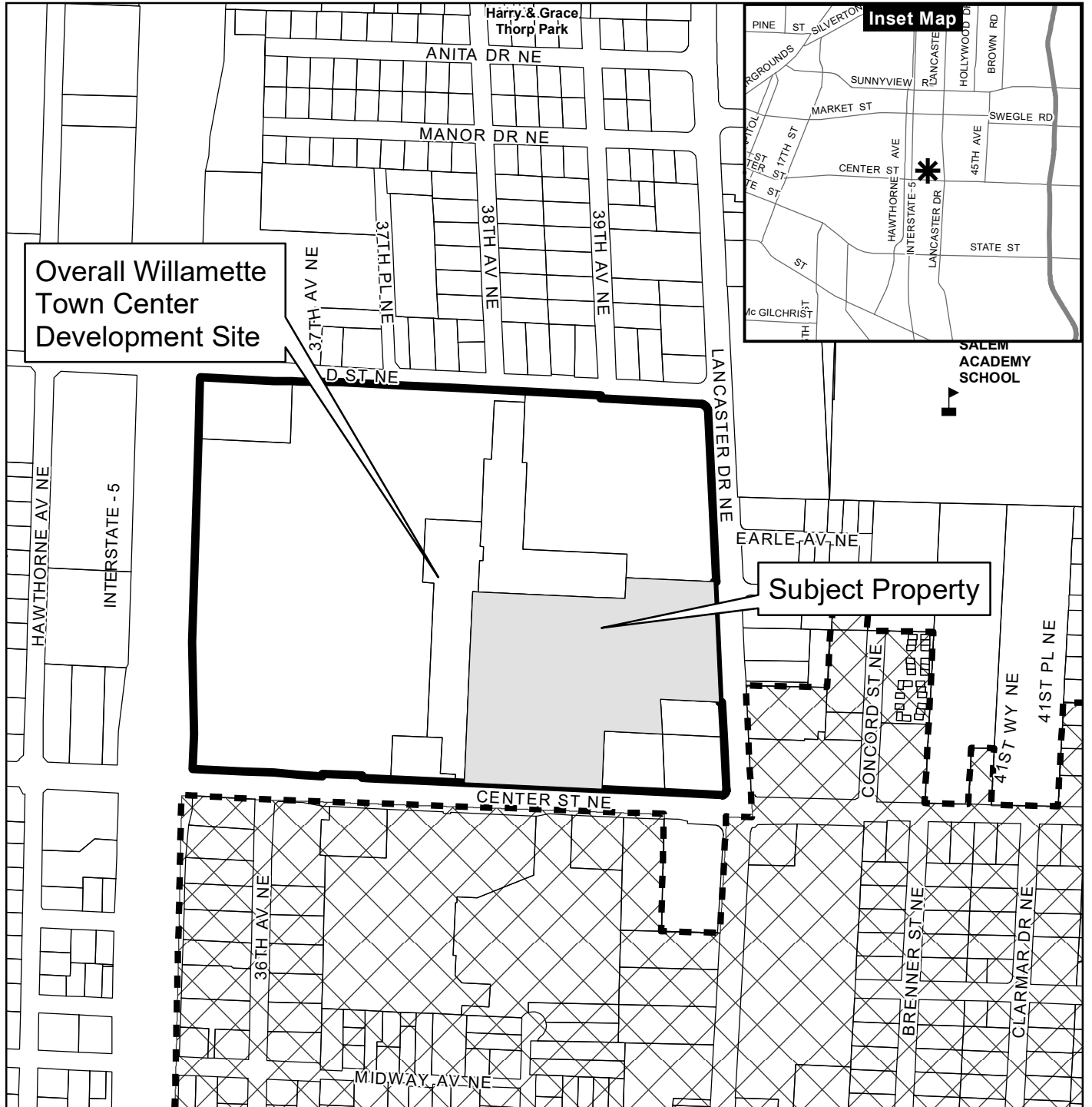
POSTAGE WILL BE PAID BY ADDRESSEE

PLANNING DIVISION
CITY OF SALEM RM 305
555 LIBERTY ST SE
SALEM OR 97301-9907










Vicinity Map

827 Lancaster Drive NE at Willamette Town Center



Legend

-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools
-  Parks



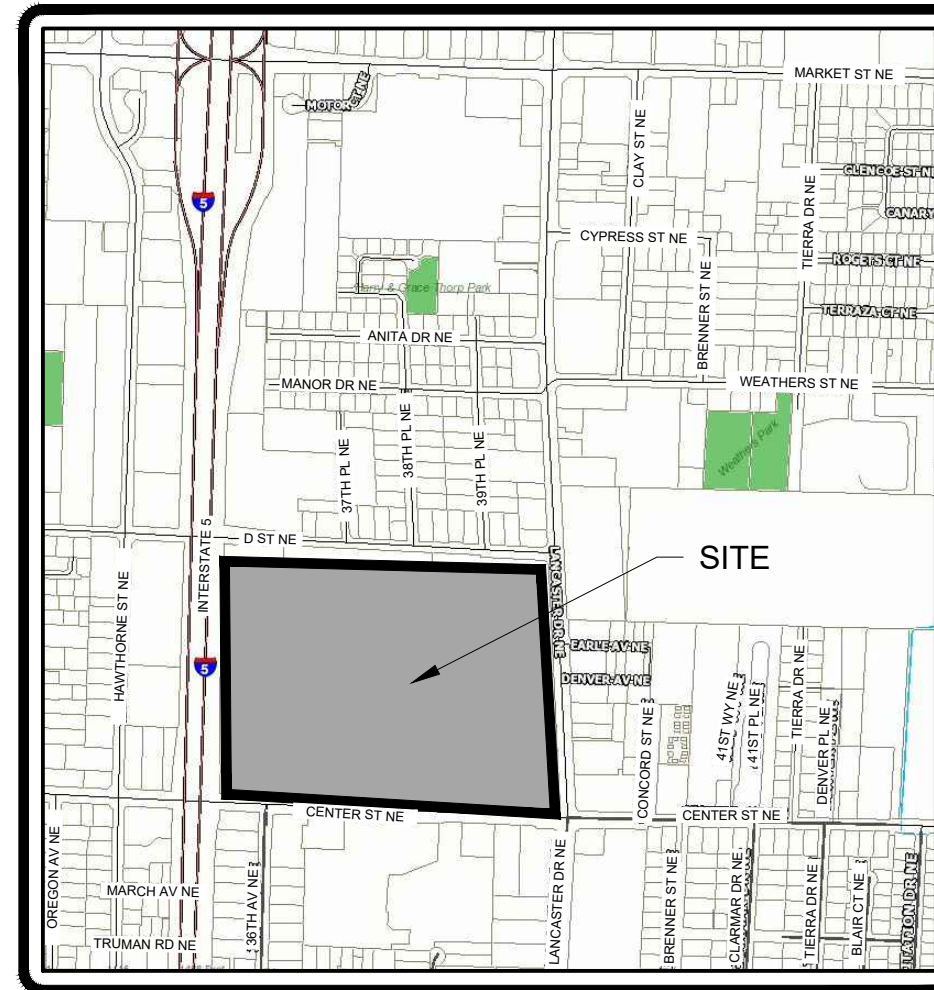
0 100 200 400 Feet



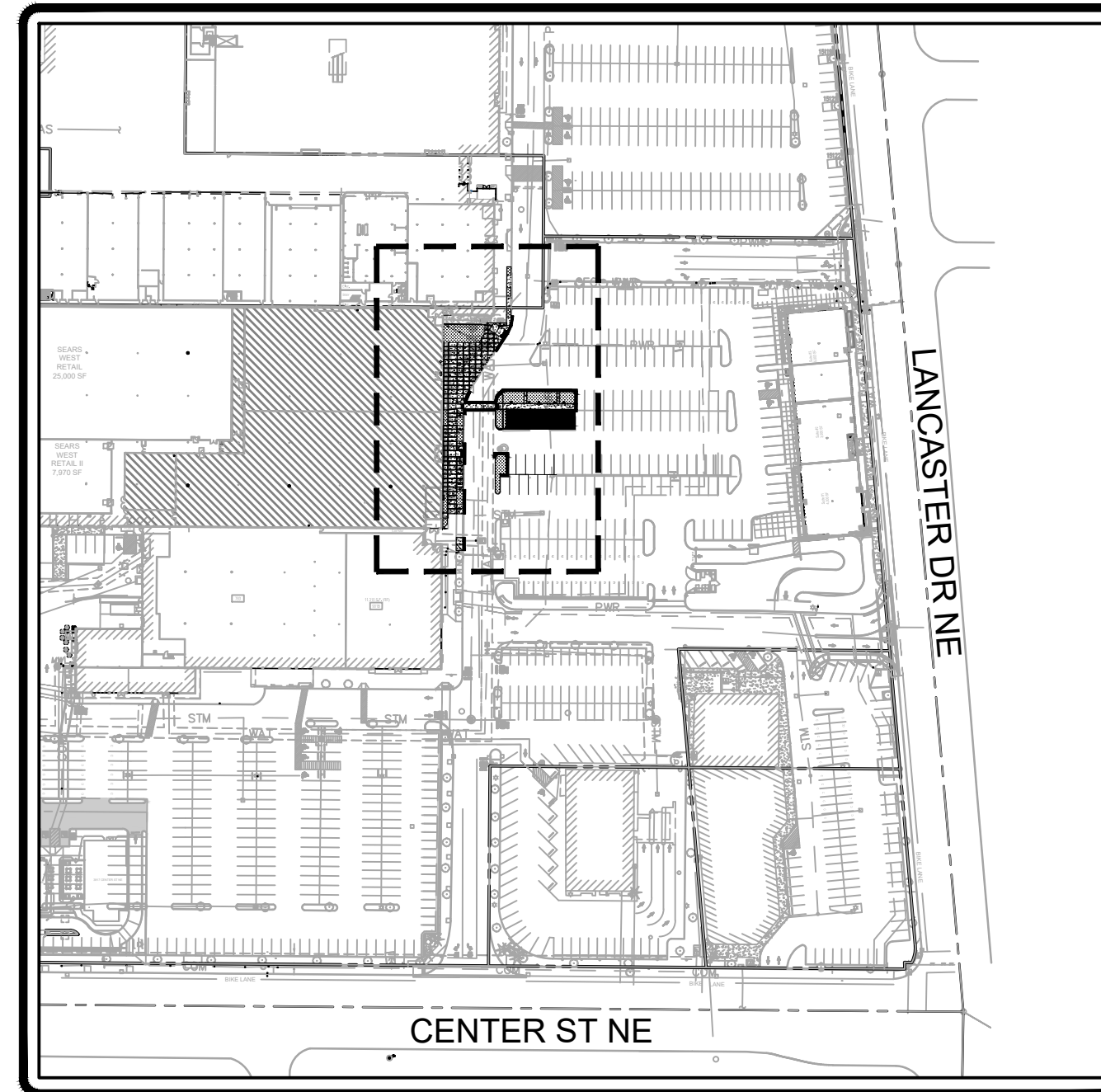
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WILLAMETTE TOWN CENTER - SEARS EAST RETAIL

CITY OF SALEM, OREGON CONSTRUCTION DOCUMENTS



VICINITY MAP
SCALE: N.T.S.



KEY MAP
SCALE: 1" = 150'

SHEET INDEX

- C0.0 - COVER SHEET
- C0.1 - GENERAL NOTES
- C1.0 - OVERALL EXISTING CONDITIONS
- C1.1 - SITE EXISTING CONDITIONS
- C1.2 - DEMOLITION PLAN
- C2.0 - OVERALL SITE PLAN
- C2.1 - SITE PLAN
- C2.2 - DIMENSION PLAN
- C3.0 - GRADING PLAN
- C4.0 - DETAILS
- C4.1 - EROSION CONTROL DETAILS

- L1.0 LANDSCAPE PLAN

SITE INFORMATION

SITE LOCATION: LOCATED ON THE WEST SIDE OF LANCASTER DRIVE NE AT THE INTERSECTION WITH D STREET NE. LOCATED IN THE SOUTHEAST ONE-QUARTER OF SECTION 19, AND THE NORTHWEST ONE-QUARTER OF SECTION 30, TOWNSHIP 7 SOUTH, RANGE 2 WEST, WILLAMETTE MERIDIAN, CITY OF SALEM, MARION COUNTY, OREGON

ADDRESS: 831 LANCASTER DRIVE SALEM, OR 97301

VERTICAL DATUM

ELEVATION DATUM: CITY OF SALEM (NGVD 1929-47)
NGS BENCHMARK QE1450
LOCATION: AT INTERSECTION OF LANCASTER DRIVE AND AMBER STREET.
ELEVATION: 213.35 FEET

SEE CONVERSION NOTE BELOW

THE RECORD ELEVATION OF 216.72 (NAVD88) WAS CONVERTED TO NGVD 29 USING A CONVERSION FACTOR OF -3.366'

NGVD 29 ELEV = (NAVD 88 ELEV) - 3.366'

BASIS OF BEARINGS

THE BASIS OF BEARINGS IS THE CENTERLINE OF CENTER STREET AS SHOWN IN PP 92-133 N89°33'25"W

OREGON UTILITY
NOTIFICATION CENTER
1-800-332-2344



ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987).

PROJECT TEAM

APPLICANT	ARCHITECT	CONTRACTOR	CIVIL ENGINEER	LANDSCAPE ARCHITECT	LAND USE PLANNING
LANCASTER DEVELOPMENT COMPANY ATTN: SETH GAREY 1701 SE COLUMBIA RIVER DRIVE VANCOUVER, WA 98661 PHONE: (360)-696-0837 FAX: (360)-696-1007	THE ROMMEL ARCHITECTURAL PARTNERSHIP ATTN: GARY ROMMEL, AIA 1200 NW NAITO PARKWAY, SUITE 500 PORTLAND, OREGON 97209 PHONE: (503)-227-5844 FAX: (503)-227-8490	JAMES JOHN CONSTRUCTION ATTN: KRIS SIMENSEN 1701 SE COLUMBIA RIVER DRIVE VANCOUVER WA, 98661 PHONE: (360)-823-2741	DOWL ATTN: MIKE TOWLE, PE 309 SW 6TH AVE, SUITE 700 PORTLAND, OR 97204 PHONE: (971)-280-8645 FAX: (800)-865-9847	SIMP.L LANDSCAPE ARCHITECTURE ATTN: JEFFREY SIMPSON, RLA 1017 SW MORRISON STREET #508 PORTLAND, OR 97205 PHONE: (503) 504-6587	DOWL ATTN: READ STAPLETON, AICP 309 SW 6TH AVE, SUITE 700 PORTLAND, OR 97204 PHONE: (971)-280-8661 FAX: (800)-865-9847

REV	DATE	DESCRIPTION



DOWL
WWW.DOWL.COM
720 SW Washington Street, #750
Portland, Oregon 97205
971-280-8641

WILLAMETTE TOWN CENTER - SEARS EAST RETAIL

COVER SHEET

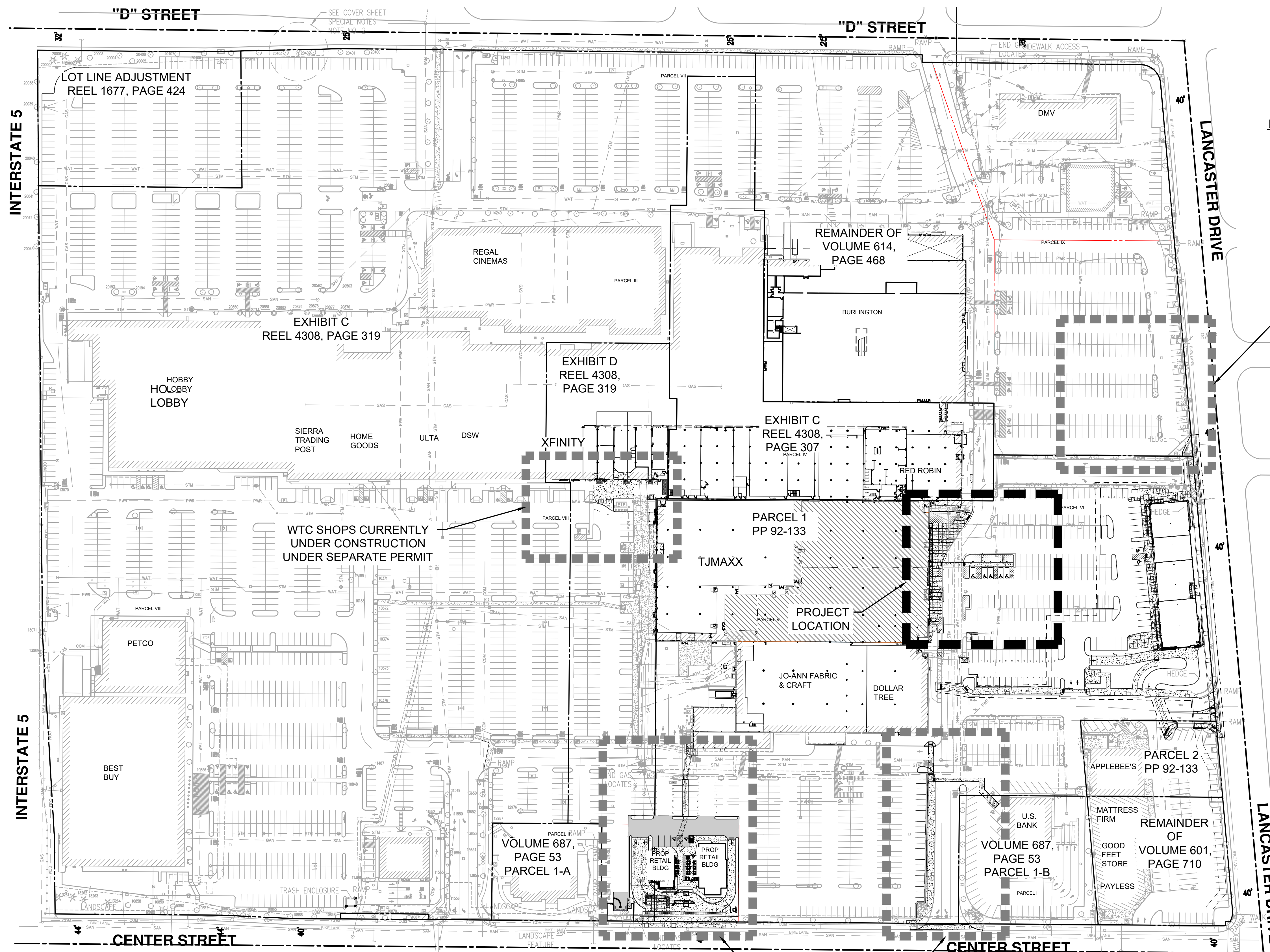
LANCASTER DEVELOPMENT COMPANY
1 SE 1/4 S19, T7S, R2W WM TL5400
MARION COUNTY, OR

PROJECT	2322.14877.01
DATE	08/15/2022
DESIGNED BY:	RAR
CHECKED BY:	MDT
©DOWL 2020	

SHEET
C0.0

c:\dowl_p\030904\ISC-CS-CV-14877.dwg PLOT DATE: 2022-11-17 08:21 USER: russell

c:\dowl\p\0399494\SC-CS-SI-14877.dwg PLOT DATE 2022-11-15 09:23 SAVED DATE 2022-11-15 09:20 USER: russell



PARKING INFORMATION	
TOTAL EXISTING PARKING:	3,078
STANDARD PARKING STALLS:	2,998
TOTAL ADA PARKING STALLS:	80
STANDARD ADA PARKING:	57
VAN ADA PARKING:	23
TOTAL PROPOSED PARKING: (REMOVAL OF 8 STALLS)	3,070
STANDARD PARKING STALLS:	2,995
TOTAL ADA PARKING STALLS:	75
STANDARD ADA PARKING:	51
VAN ADA PARKING:	24
*REQUIRED ADA STALLS (20 + 1 PER 100 OVER 1000):	41
*REQUIRED WHEELCHAIR (1 PER 6 PROVIDED):	7

LANDSCAPE INFORMATION	
OVERALL SITE AREA:	49.91 AC
TOTAL POST WTC WEST END PH2 AREA:	3.209 AC (6.43%)
TOTAL LANDSCAPE POST SEARS EAST:	3.210 AC (6.43%)
WTC SEARS EAST:	12,751 SF (0.29 AC)
EXISTING LANDSCAPE WITHIN DEVELOPMENT AREA:	2,284 SF (17.91%)
PROPOSED LANDSCAPE WITHIN DEVELOPMENT AREA:	2,286 SF (17.93%)
TOTAL INCREASE IN LANDSCAPE AREA IN DEVELOPMENT AREA:	2 SF

FUTURE DEVELOPMENT
AREA UNDER
SEPARATE PERMIT

WTC SHOPS CURRENTLY
UNDER CONSTRUCTION
UNDER SEPARATE PERMIT

FUTURE DEVELOPMENT
AREA UNDER
SEPARATE PERMIT

OREGON UTILITY
NOTIFICATION CENTER
1-800-332-2344



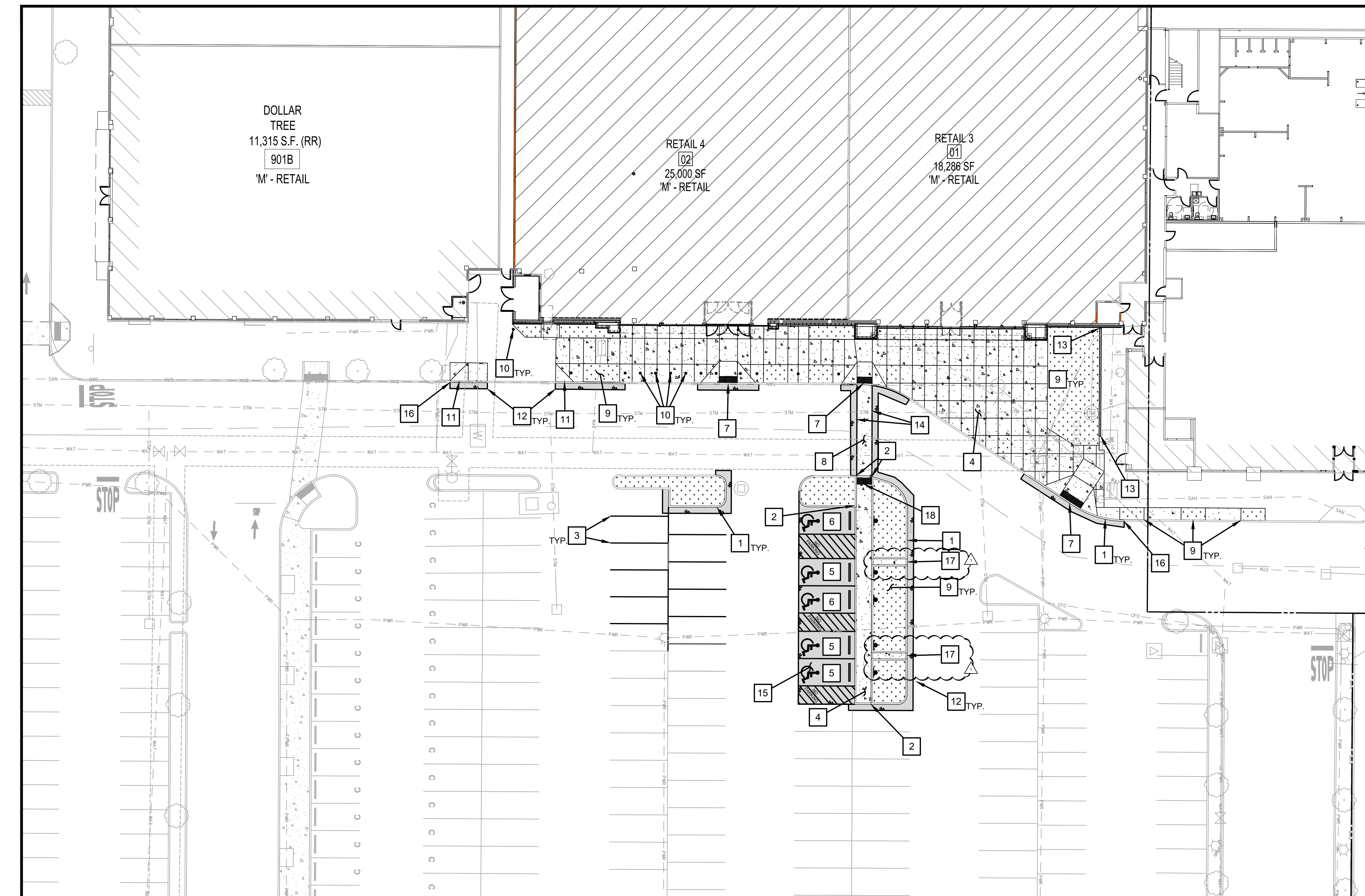
DOWL
WWW.DOWL.COM
720 SW Washington Street, #750
Portland, Oregon 97205
971-280-8641

WILLAMETTE TOWN CENTER - SEARS EAST RETAIL
CONSTRUCTION DOCUMENTS
OVERALL SITE PLAN
LANCASTER DEVELOPMENT COMPANY
1/4 SE 1/4 S19, T7S, R2W, W4 TL5400
MARION COUNTY, OR

PROJECT	2322.14877.01
DATE	08/15/2022
DESIGNED BY:	RAR
CHECKED BY:	MDT
©DOWL 2020	
SHEET	

C2.0

PERMIT SET - 8-20-2020



LEGEND

	EXISTING PROPERTY LINE
	PROPOSED DEVELOPMENT LIMITS
	EXISTING CENTERLINE
	PROPOSED SAWCUT LINE
	PROPOSED BUILDING
	PROPOSED CURB
	PROPOSED CONCRETE
	PROPOSED AC
	PROPOSED LANDSCAPING
	PROPOSED SIGN

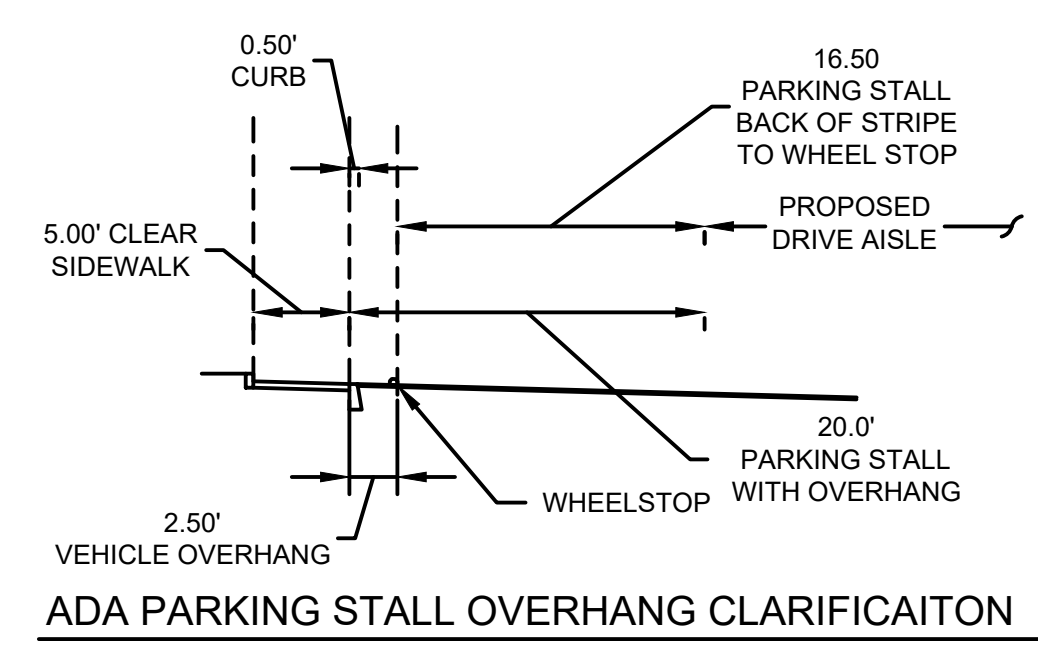
EXISTING PARKING:

STANDARD STALL	= 168 SPACES
COMPACT STALL	= 44 SPACES
ADA STALL	= 12 SPACES
TOTAL PARKING	= 224 SPACES

PROPOSED PARKING:

STANDARD STALL	= 162 SPACES
COMPACT STALL	= 47 SPACES
ADA STALL	= 7 SPACES
TOTAL PARKING	= 216 SPACES

- # CONSTRUCTION NOTES**
1. CONSTRUCT STANDARD CURB PER DETAIL ON SHEET C4.0. TYP.
 2. CONSTRUCT FLUSH CURB PER DETAIL ON SHEET C4.0.
 3. INSTALL 4" WIDE PAINTED WHITE PARKING STALL STRIPING. 2 COATS MIN. (TYP)
 4. CONSTRUCT CONCRETE SIDEWALK PER DETAIL ON SHEET C4.0. (TYP)
 5. CONSTRUCT STANDARD ADA PARKING STALL SIGNAGE, STRIPING, AND WHEEL STOP PER DETAILS ON SHEET C4.0. SEE OVERHANG CLARIFICATION THIS SHEET FOR MORE INFORMATION.
 6. CONSTRUCTION VAN ACCESSIBLE ADA PARKING STALL SIGNAGE, STRIPING, AND WHEEL STOP PER DETAILS ON SHEET C4.0. SEE OVERHANG CLARIFICATION THIS SHEET FOR MORE INFORMATION.
 7. CONSTRUCT ADA RAMP WITH TRUNCATED DOMES PER DETAIL ON SHEET C4.0. SEE GRADING PLAN ON SHEET C3.0 FOR DETAILED GRADES
 8. INSTALL CONCRETE PEDESTRIAN CROSSING
 9. PROPOSED LANDSCAPING AREA. SEE PLANTING PLAN FOR MORE INFORMATION.
 10. INSTALL 6" BOLLARD PER DETAIL ON SHEET C4.0.
 11. INSTALL DRIVEWAY RAMP WING PER DETAIL ON SHEET C4.0. DRIVEWAY WING TO HAVE A MAXIMUM SLOPE OF 10% ALONG BACK OF CURB.
 12. INSTALL ASPHALT REPAIR AS NECESSARY TO FACILITATE INSTALLATION OF PROPOSED SITE WORK. MINIMUM WIDTH OF ASPHALT REPAIR TO BE 2'. CONTRACTOR TO ENSURE POSITIVE DRAINAGE ACROSS REPAIRED ASPHALT SECTIONS.
 13. CONSTRUCT SCREEN WALL. SEE ARCHITECTURAL PLANS FOR MORE INFORMATION.
 14. CONSTRUCT IMPACT SLAB AT CONCRETE AND ASPHALT CONNECTION PER DETAIL ON SHEET C4.0.
 15. PROPOSED ASPHALT SURFACE. ASPHALT PAVEMENT SECTION TO MATCH EXISTING SECTION.
 16. ALL NEW CURB ALONG DRIVE ISLE TO BE PAINTED RED FOR FIRE LANE PER DETAIL ON SHEET C4.0
 17. CONSTRUCT 24" WIDE CURB CUT
 18. INSTALL TRUNCATED DOMES



CONTRACTOR TO ADJUST ALL EXISTING UTILITY VAULT LIDS (MANHOLES, METERS, CLEAN OUTS, ETC.) TO FINISH GRADE. ANY UTILITY LIDS LOCATED IN SIDEWALK TO BE UPDATED TO A PEDESTRIAN RATED LID.

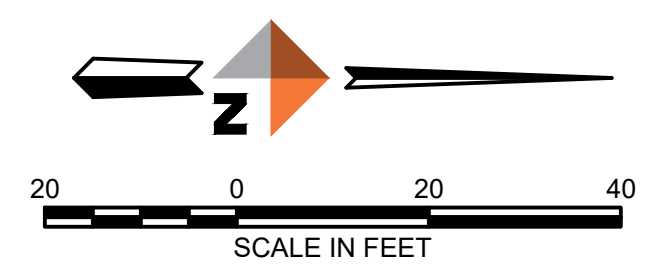
LANDSCAPE INFORMATION

OVERALL SITE AREA:	49.91 AC
TOTAL POST WTC WEST END PH2 AREA:	3.209 AC (6.43%)
TOTAL LANDSCAPE POST SEARS EAST:	3.209 AC (6.43%)
WTC SEARS EAST:	12,751 SF (0.29 AC)
EXISTING LANDSCAPE WITHIN DEVELOPMENT AREA:	2,284 SF (0.05 AC)
PROPOSED LANDSCAPE WITHIN DEVELOPMENT AREA:	2,304 SF (0.05 AC)
TOTAL INCREASE IN LANDSCAPE AREA IN DEVELOPMENT AREA:	20 SF

PARKING INFORMATION

TOTAL EXISTING PARKING:	3,078
STANDARD PARKING STALLS:	2,998
TOTAL ADA PARKING STALLS:	80
STANDARD ADA PARKING:	57
VAN ADA PARKING:	23
TOTAL PROPOSED PARKING: (REMOVAL OF 8 STALLS)	3,070
STANDARD PARKING STALLS:	2,995
TOTAL ADA PARKING STALLS:	75
STANDARD ADA PARKING:	51
VAN ADA PARKING:	24

*REQUIRED ADA STALLS (20 + 1 PER 100 OVER 1000): 41
 *REQUIRED WHEELCHAIR (1 PER 6 PROVIDED): 7



OREGON UTILITY
 NOTIFICATION CENTER
 1-800-332-2344



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c:\dowl_pw\0399494\ISC-CS-SI-14877.dwg PLOT DATE 2022-11-15 09:24 SAVED DATE 2022-11-15 09:20 USER: russell

REV	DATE	DESCRIPTION
1	11/15/2022	COMPLETENESS REVIEW



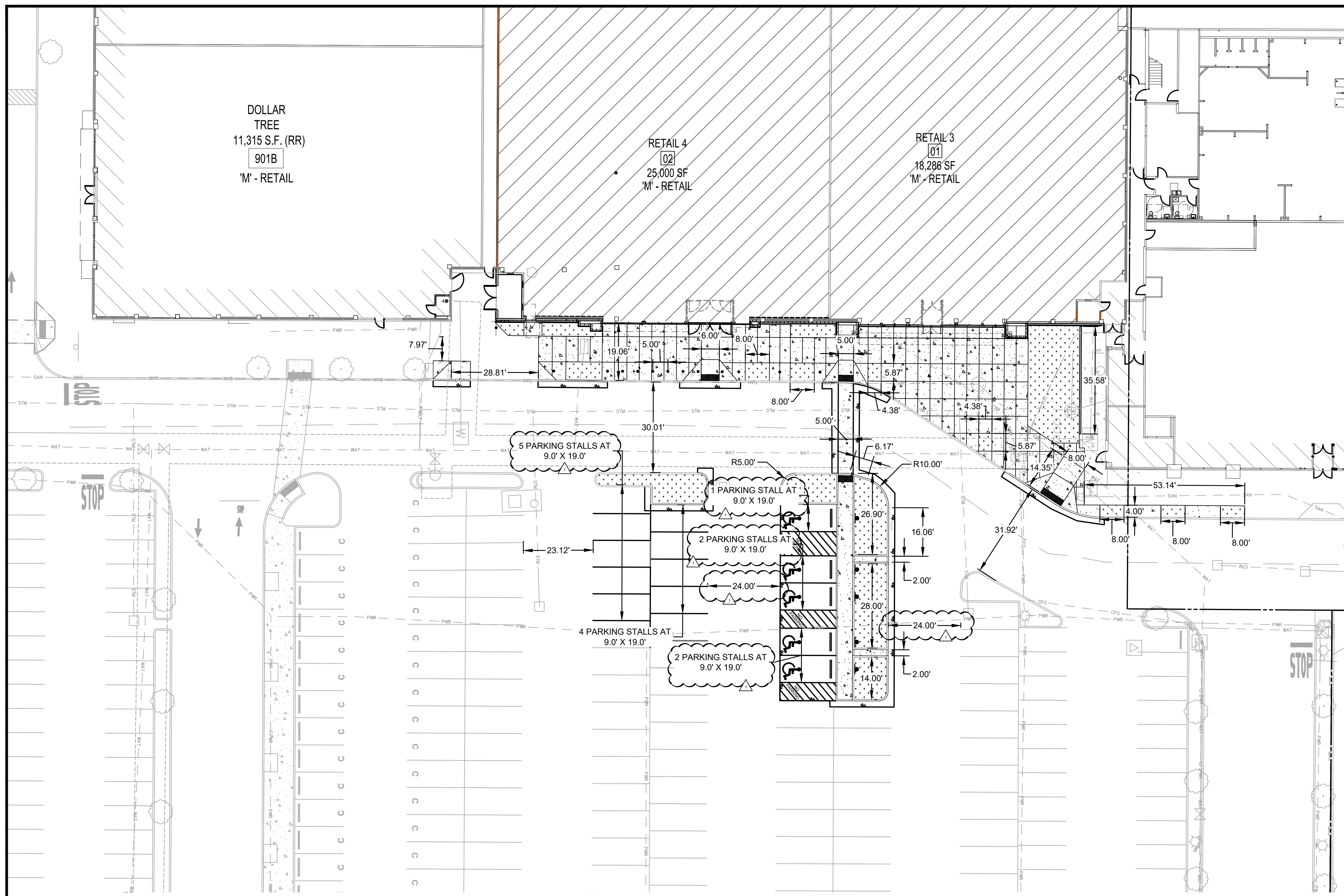
DOWL
 WWW.DOWL.COM
 720 SW Washington Street, #750
 Portland, Oregon 97205
 971-280-8641

WILLAMETTE TOWN CENTER - SEARS EAST RETAIL
 CONSTRUCTION DOCUMENTS
SITE PLAN
 LANCASTER DEVELOPMENT COMPANY
 SE 1/4 S19, T7S, R2W WM TL5400
 MARION COUNTY, OR

PROJECT	2322.14877.01
DATE	08/15/2022
DESIGNED BY:	RAR
CHECKED BY:	MDT
©DOWL 2020	
SHEET	C2.1

PERMIT SET - 8-20-2020

c:\dowl_pw\0309494\ISC-CS-SI-4877.dwg PLOT DATE 2022-11-15 09:24 SAVED DATE 2022-11-15 09:20 USER: russell



LEGEND

	EXISTING PROPERTY LINE
	PROPOSED DEVELOPMENT LIMITS
	EXISTING CENTERLINE
	PROPOSED SAWCUT LINE
	PROPOSED BUILDING
	PROPOSED CURB
	PROPOSED CONCRETE
	PROPOSED AC
	PROPOSED LANDSCAPING
	PROPOSED SIGN

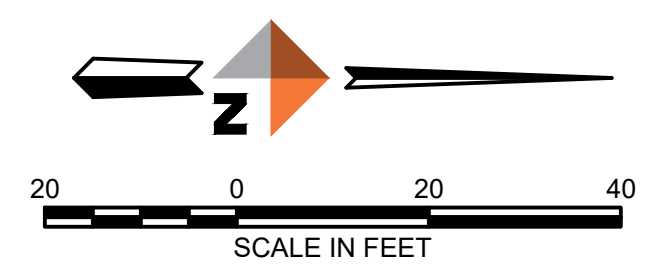
REV	DATE	DESCRIPTION	BY
1	11/15/2022	COMPLETENESS REVIEW	RAR



DOWL WWW.DOWL.COM
 720 SW Washington Street, #750
 Portland, Oregon 97205
 971-280-8641

WILLAMETTE TOWN CENTER - SEARS EAST RETAIL
 CONSTRUCTION DOCUMENTS
DIMENSION PLAN
 LANCASTER DEVELOPMENT COMPANY
 SE 1/4 S19, T7S, R2W, WM TL5400
 MARION COUNTY, OR

OREGON UTILITY
 NOTIFICATION CENTER
 1-800-332-2344



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PROJECT	2322.14877.01
DATE	08/15/2022
DESIGNED BY:	RAR
CHECKED BY:	MDT
©DOWL 2020	

SHEET
C2.2

PERMIT SET - 8-20-2020

plant materials schedule

common name	botanical name	size	size
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trees

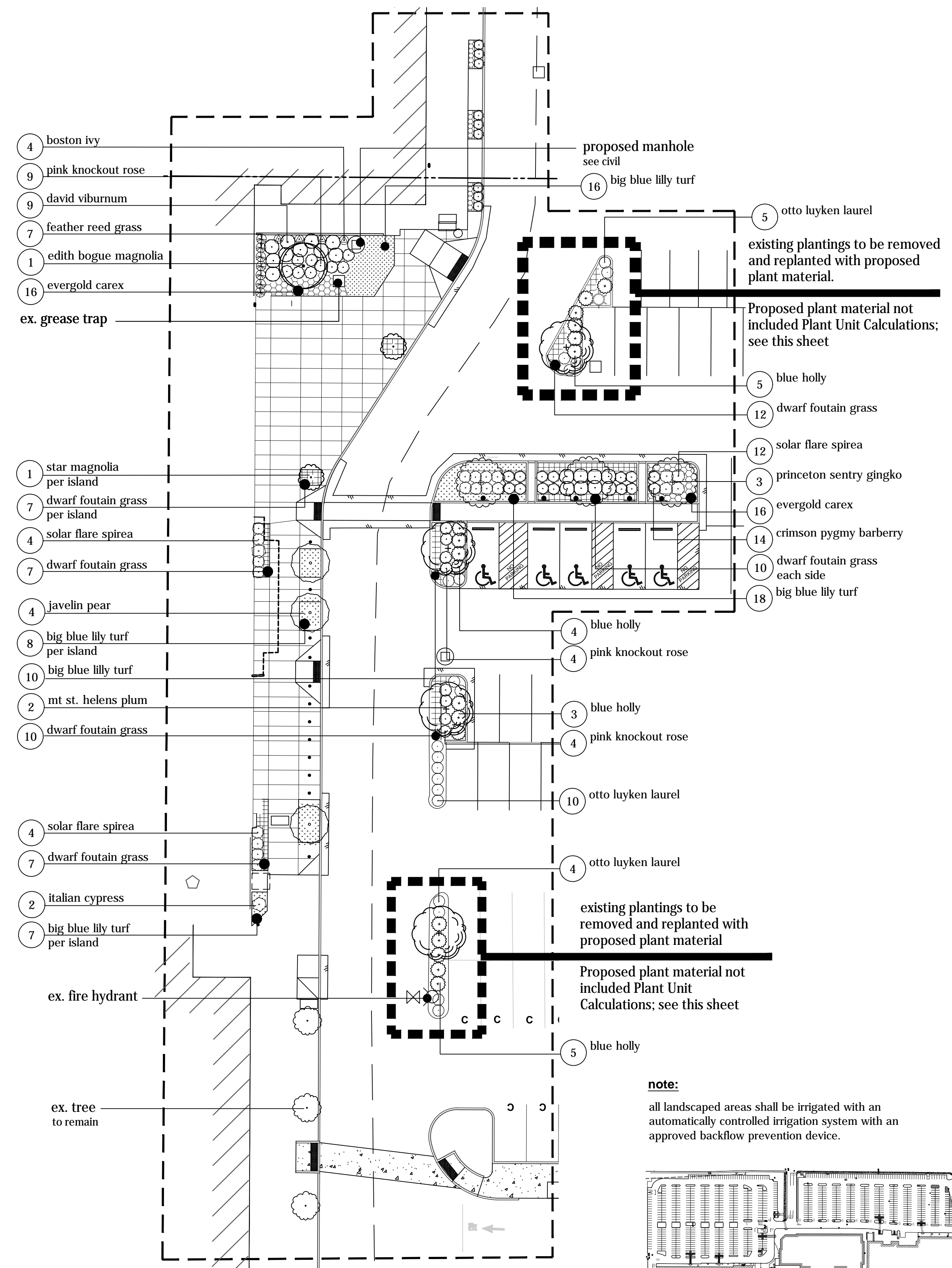
	edith bogue magnolia	magnolia grandiflora 'edith bogue'	2" cal.	as shown
	mt. st. helens plum	prunus 'frankthrees'	2" cal.	as shown
	javelin pear	pyrus calleryana 'capital'	2" cal.	as shown
	princeton sentry ginkgo	ginkgo bilobao 'princeton sentry'	2" cal.	as shown
	italian cypress	cupressus sempervirens	6-8 ft.	as shown
	star magnolia	magnolia stellata	2" cal.	as shown

shrubs

	crimson pygmy barberry	berberis thunbergii "crimson pygmy"	3 gal.	3'-0" o.c.
	otto luyken laurel	prunus laurocerasus 'otto luyken'	3 gal.	3'-0" o.c.
	blue holly	ilex meserveae 'blue girl'	5 gal.	3'-6" o.c.
	dwarf viburnum	viburnum davidii	3 gal.	3'-0" o.c.
	feather reed grass	calamagrostis acutiflora 'karl foerster'	1 gal.	3'-0" o.c.
	pink knockout rose	rosa x 'radcon'	3 gal.	3'-0" o.c.
	solar flare spirea	spirea x 'zelda'	3 gal.	3'-0" o.c.
	boston ivy	parthenocissus tricuspidata 'Veitchii'	1 gal.	3'-0" o.c.

groundcovers

	big blue lily turf	liriope muscari 'big blue'	1 gal.	18" o.c.
	evergold carex	care morrowii 'evergold'	1 gal.	18" o.c.
	dwarf fountain grass	pennisetum alopecuroides 'hameln'	1 gal.	30" o.c.



code requirement *
per UDC 807.15, 1 plant unit (PU) per 20 SF of landscaping with minimum of 40 percent of the required number of plant units shall be a combination of mature trees, shade trees, evergreen/conifer trees, or ornamental trees

wtc sears east	12,751 (0.29 AC)
existing landscape within development area	2,284 sf * (17.91%)
proposed landscape within development area	2,304 sf * (18.07%)
total increase of landscape area in development area	20 sf *

* see civil for area takeoff confirmation
total landscape area 2,304 sf
total plant units required (1PU per 20 sf) 116 PU

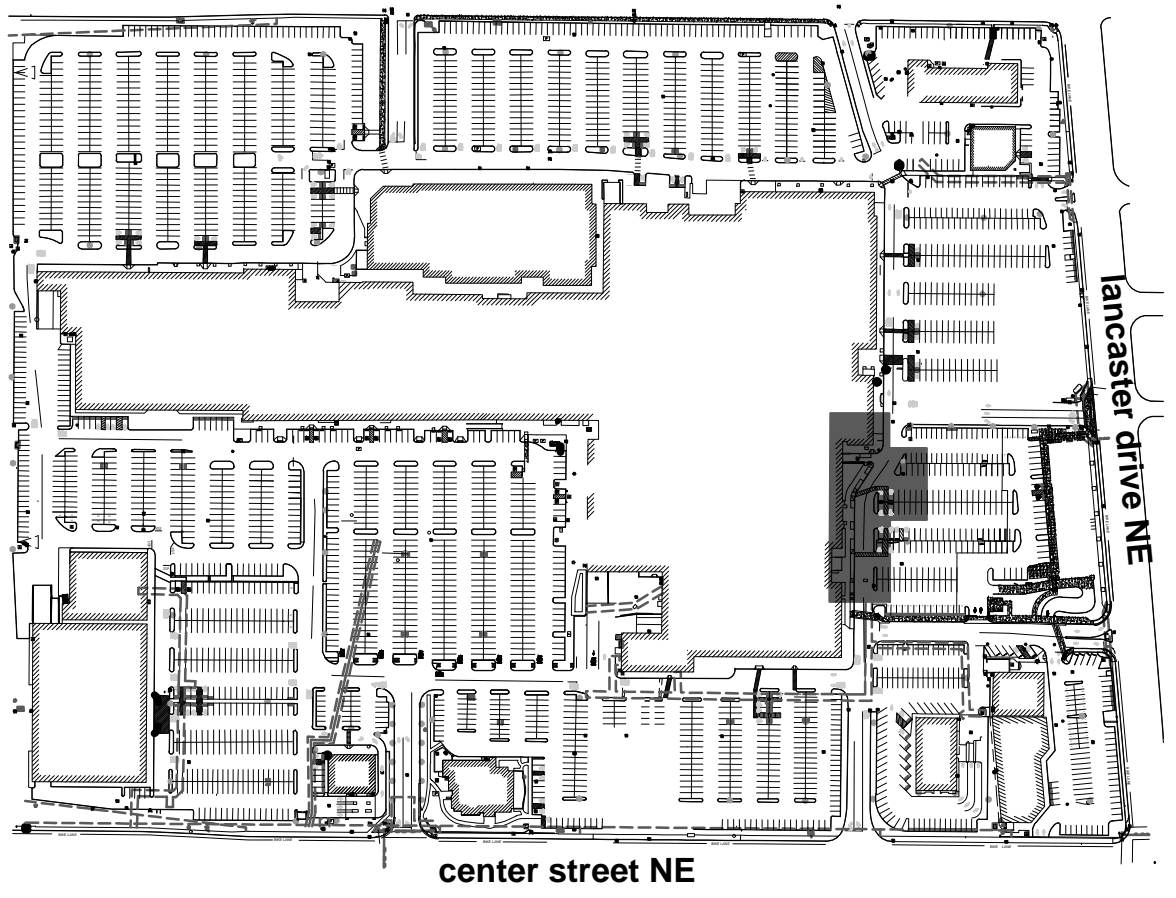
plant units proposed*
* per table 807-2 plant materials and minimum plant unit values

groundcovers	16 PU (800 sf @ 1 per 50sf)
small shrubs	69 PU (69 shrubs/1 gal min.)
large shrubs	50 PU (25 shrubs/3 gal min.)
shade trees	90 PU (9 shade trees @ 2" cal.)

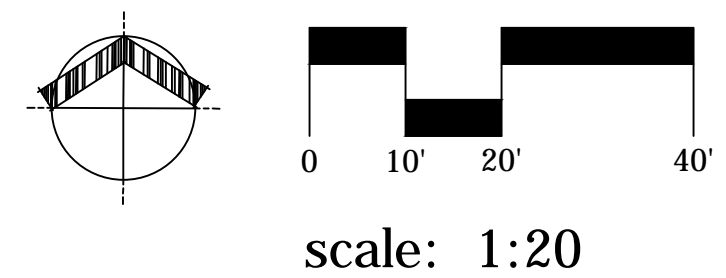
overall plant units proposed 225 PU *
* Proposed 225 PU shall exceed 116 PU required.

At 90 PU, proposed number of trees shall meet percentage of overall total number of plant units (40% required).
90 PU / 225 PU equals 40%

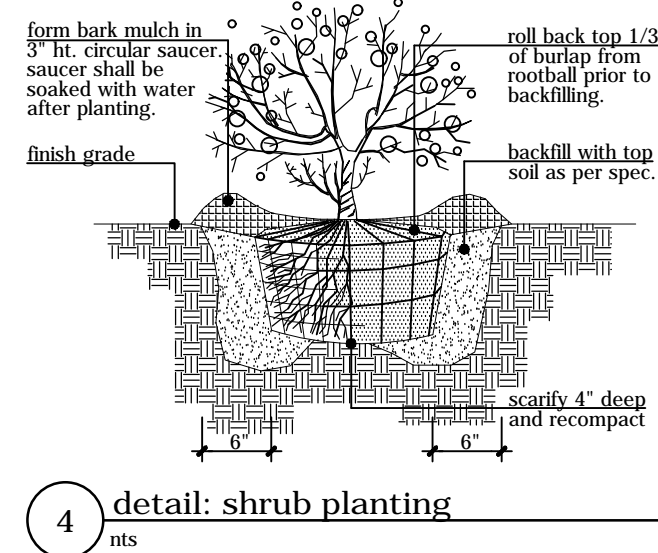
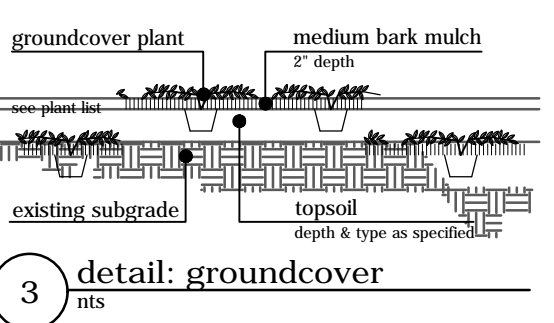
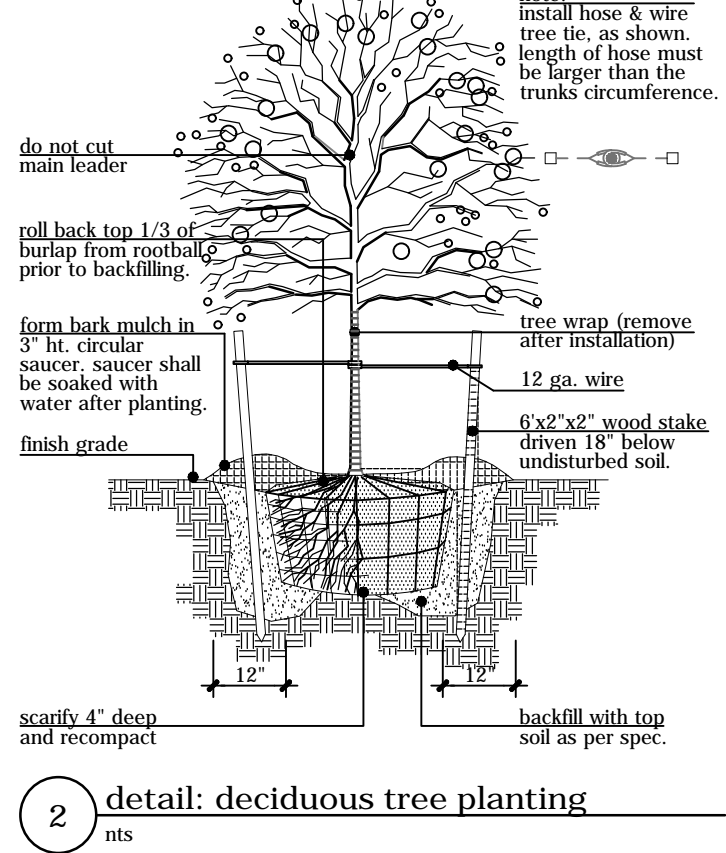
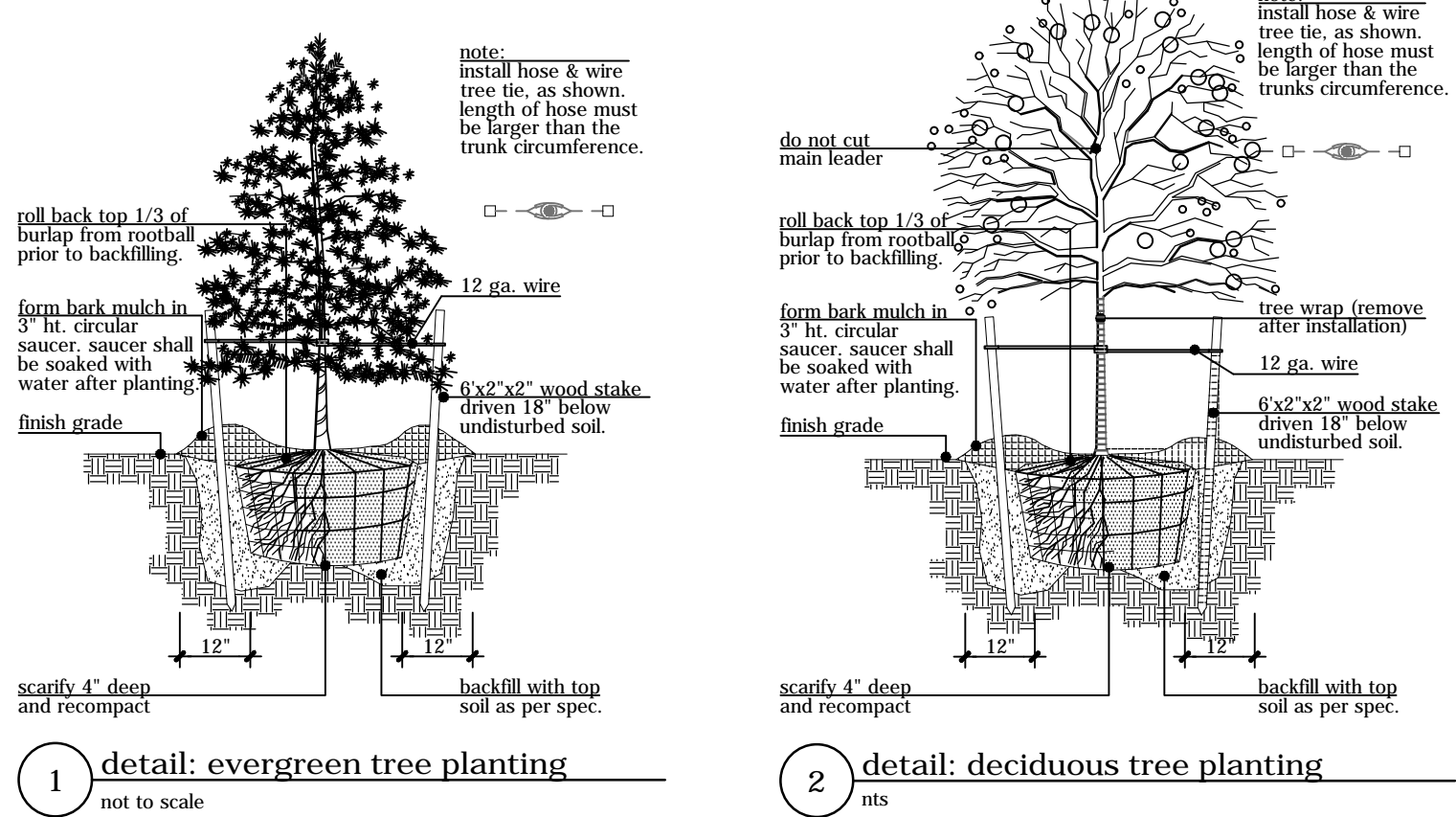
note:
all landscaped areas shall be irrigated with an automatically controlled irrigation system with an approved backflow prevention device.



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REVISIONS

REV	DATE	DESCRIPTION

REGISTERED
349
Jeffrey K. Simpson
JEFFREY K. SIMPSON
03/31/23
OREGON
LANDSCAPE ARCHITECT

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CONSTRUCTION DOCUMENTS
LANDSCAPE PLAN
LANCASTER DEVELOPMENT COMPANY
SE 1/4 S19 T7S R2W WML5400
MARION COUNTY, OR

PROJECT 2322.14877.01
DATE 03/18/2022
DESIGNED BY:
CHECKED BY:
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