

NOTICE OF DECISION

PLANNING DIVISION
555 LIBERTY ST. SE, RM 305
SALEM, OREGON 97301
PHONE: 503-588-6173
FAX: 503-588-6005



*Si necesita ayuda para comprender esta información, por favor llame
503-588-6173*

DECISION OF THE HISTORIC PRESERVATION OFFICER

CLASS 1 MINOR HISTORIC DESIGN REVIEW CASE NO.: HIS22-35

APPLICATION NO.: 22-120683-PLN

NOTICE OF DECISION DATE: December 27, 2022

SUMMARY: A proposal to restore doors and windows and replace exterior lighting on Buildings 24 (the Horse Stadium) and 28 (the Poultry Building) and install a new walkway at the Oregon State Fair.

REQUEST: Class 1 Minor Historic Design Review of a proposal to restore doors and windows and replace exterior lighting on Buildings 24 (the Horse Stadium) and 28 (the Poultry Building) and install a new walkway at the Oregon State Fair within the Oregon State Fairgrounds, individually listed on the National Register of Historic Places, on property zoned PA (Public Amusement), and located at 2330 17th Street NE - 97301 (Marion County Assessor Map and Tax Lot Number: 073W14DA00100).

APPLICANT: Gail Sargent

LOCATION: 2330 17th St NE, Salem OR 97301

CRITERIA: Salem Revised Code (SRC) Chapters 230.065 – General Guidelines for Historic Contributing Resources

FINDINGS: The findings are in the attached Decision dated December 27, 2022.

DECISION: The **Historic Preservation Officer (a Planning Administrator designee)** **APPROVED** Class 1 Minor Historic Design Review Case No. HIS22-35 based upon the application materials deemed complete on December 22, 2022 and the findings as presented in this report.

The rights granted by the attached decision must be exercised, or an extension granted, by December 28, 2024, or this approval shall be null and void.

Application Deemed Complete:	<u>December 22, 2022</u>
Notice of Decision Mailing Date:	<u>December 27, 2022</u>
Decision Effective Date:	<u>December 28, 2022</u>
State Mandate Date:	<u>April 21, 2023</u>

Case Manager: Kimberli Fitzgerald, kfitzgerald@cityofsalem.net, 503-540-2397

This decision is final.

The complete case file, including findings, conclusions and conditions of approval, if any, is available for review by contacting the case manager, or at the Planning Desk in the Permit Application Center, Room 305, City Hall, 555 Liberty Street SE, during regular business hours.

<http://www.cityofsalem.net/planning>

BEFORE THE PLANNING ADMINISTRATOR OF THE CITY OF SALEM

**HISTORIC DESIGN REVIEW CASE NO. HIS22-35
DECISION**

IN THE MATTER OF APPROVAL OF) MINOR HISTORIC DESIGN REVIEW
HISTORIC DESIGN REVIEW)
CASE NO. HIS22-35)
2330 17TH STREET NE) DECEMBER 27, 2022

In the matter of the application for a Minor Historic Design Review submitted by Gail Sargent on behalf of Tim Wood of the Oregon State Fair, the Historic Preservation Officer (a Planning Administrator Designee), having received and reviewed evidence and the application materials, makes the following findings and adopts the following order as set forth herein.

REQUEST

SUMMARY: A proposal to restore doors and windows and replace exterior lighting on Buildings 24 (the Horse Stadium) and 28 (the Poultry Building) and install a new walkway at the Oregon State Fair.

REQUEST: Class 1 Minor Historic Design Review of a proposal to restore doors and windows and replace exterior lighting on Buildings 24 (the Horse Stadium) and 28 (the Poultry Building) and install a new walkway at the Oregon State Fair within the Oregon State Fairgrounds, individually listed on the National Register of Historic Places, on property zoned PA (Public Amusement), and located at 2330 17th Street NE - 97301 (Marion County Assessor Map and Tax Lot Number: 073W14DA00100).

A vicinity map illustrating the location of the property is attached hereto, and made a part of this decision (**Attachment A**).

DECISION

APPROVED based upon the application materials deemed complete on December 22, 2022 and the findings as presented in this report.

FINDINGS

1. Minor Historic Design Review Applicability

SRC230.020(f) requires Historic Design Review approval for any alterations to historic resources as those terms and procedures are defined in SRC 230. The Planning Administrator shall render a decision supported by findings that explain conformance or lack thereof with relevant design standards, state the facts relied upon in rendering the decision, and explain justification for the decision.

SUMMARY OF RECORD

The following items are submitted to the record and are available: 1) all materials and testimony submitted by the applicant, including any applicable professional studies such as traffic impact analysis, geologic assessments, stormwater reports, and; 2) materials, testimony,

and comments from public agencies, City Departments, neighborhood associations, and the public. All application materials are available on the City's online Permit Application Center at <https://permits.cityofsalem.net>. You may use the search function without registering and enter the permit number listed here: 22 120683.

APPLICANT'S STATEMENT

The applicant is proposing the following work:

Building 24- Horse Stadium

1. Brick Masonry Repair; 2. Cast Stone Repair; 3. Doors- restore original paired wood doors and add new overhead doors in two non-original openings to secure the building; 4. Windows- repair or reconstruct all rectangular and arched transom windows per the original configuration; 5. Repair siding, louvers, trim and roof drainage at eaves and clerestory levels; 6. Replace exterior lighting.

Building 28- Poultry Building

1. Repair/restore stucco exterior per the original design; 2. Replace non-original entry doors with glazed doors and sidelights consistent with the original design; 3. Repair/restore all rectangular and arched windows and transoms per original configuration; 4. Repair/restore clay tile roofing; 5. Repair/restore clerestory louvers & windows per original design; 6. Install exterior lighting and new walkway for access to the original main entry (south).

(Attachment B). Staff determined that the following standards from SRC 230.065 *General Guidelines for Contributing Resources* apply to the evaluation of this proposal.

A request for historic design review must be supported by proof that it conforms to all applicable criteria imposed by the Salem Revised Code. The applicants submitted a written statement, which is included as **Attachment B** in this staff report.

Staff utilized the information from the applicant's statements to evaluate the applicant's proposal and to compose the facts and findings within the staff report. Salem Revised Code (SRC) **230.065 General Guidelines for Historic Contributing Resources** are the applicable criteria for evaluation of this proposal.

FACTS & FINDINGS

1. Historic Designation

Under Salem Revised Code (SRC) Chapter 230, no exterior portion of a local historic resource, contributing, non-contributing building or new construction in a historic district shall be erected, altered, restored, moved or demolished until historic design review approval has been granted on the basis of the project's conformity with the applicable criteria in SRC 230. Conditions of approval, if any, shall be limited to project modifications required to meet the applicable criteria.

According to SRC 230.020(f), historic design review approval shall be granted if the application satisfies the applicable standards set forth in Chapter 230. For Class 1 and Class 2 Minor Historic Design Review decisions HLC staff, the Historic Preservation Officer (a designee of the Planning Administrator), shall render their decision supported by findings that explain

conformance or lack thereof with relevant design standards, state the facts relied upon in rendering the decision, and explain justification for the decision.

2. Historic Significance

The Oregon State Fair began in the mid- 1850s in the form of local county fairs and the formation of the Yamhill Agricultural Society. Marion County established their agricultural society in 1854. These groups held small fairs to exhibit livestock, produce and enjoy horse racing. The first Oregon State Fair in Salem was held in the early 1860s. Initially the fairgrounds comprised just 8 acres, and John Minto donated \$1200 to construct a wooden fence to enclose the grounds. The fairgrounds grew with the addition of 80 acres in 1864 and another 70 acres in 1870. A racecourse for horse racing was constructed in 1859 and was located 4 miles north. The Oregon State Fair grew to be an annual week-long outing for many families who came in wagons and later motorcars- to camp near the fairgrounds and enjoy the festivities. In 1867 approximately 3,000 attendees were recorded. By 1885 the State of Oregon formally assumed financial responsibility for the State Fair and an appropriation bill allowed for the construction of several buildings on the grounds. The first phase of the horse barn (stadium) was initially constructed in 1918 and completed in 1919. The stadium's roof truss system, which allowed the center ring to be free of structural supports, was said to be the largest spanned roof on the Pacific Coast. The poultry barn was constructed in 1921. By 1934 attendance had grown to 180,000. Livestock continued to be a major attraction at the fair and in 1939 a stock barn large enough to hold 5,00 animals was constructed.

3. Historic Design Review

(SRC) 230.065 *General Guidelines for Historic Contributing Resources* is the applicable criterion for this modification request. Historic Landmarks Commission staff reviewed the project proposal and has the following findings for the applicable criterion.

FINDINGS:

Criteria 230.065 General Guidelines for Historic Contributing Resources

(a) Except as otherwise provided in this Chapter, the property shall be used for its historic purpose, or for a similar purpose that will not alter street access, landscape design, entrance(s), height, footprint, fenestration, or massing.

Finding: Both the Poultry Building and the Horse Stadium will continue to be used for their historic purposes. No alterations are proposed that will alter either building's height, footprint, fenestration or massing. The proposed work is intended to restore windows, doors and other exterior character defining features. The addition of a new walkway and lighting at the Poultry Building is intended to restore access to the primary entrance to this building on the south façade. Staff finds that this proposed use is compatible with the historic use and that this guideline has been met.

(b) Historic materials, finishes and distinctive features shall, when possible, be preserved and repaired according to historic preservation methods, rather than restored.

Finding: Staff finds that historic materials and features are proposed for preservation where feasible. Where features are too deteriorated to preserve, reconstruction, or restoration will be done in a way that will duplicate to the greatest degree feasible the original material and design of the feature. Staff finds that Guideline 230.065 (b) has been met.

(c) Distinctive stylistic features or examples of skilled craftsmanship significance shall be treated with sensitivity.

Finding: Staff finds that the applicant is treating distinctive stylistic features with sensitivity, and the proposed work will ensure that character defining features throughout the poultry building and the horse stadium will be repaired and preserved to the greatest degree feasible. Staff finds that Guideline 230.065 (c) has been met.

(d) Historic features shall be restored or reconstructed only when supported by physical or photographic evidence.

Finding: Staff finds that historic materials or features will be retained and repaired where feasible. Should it be required to reconstruct or replace any character defining features due to their deteriorated condition, the applicant is proposing to duplicate the material and design of the original features to the greatest degree feasible, thereby meeting Guideline 230.065 (d).

(e) Changes that have taken place to a historic resource over the course of time are evidence of the history and development of a historic resource and its environment, and should be recognized and respected. These changes may have acquired significance in their own right, and this significance should be recognized and respected.

Finding: Staff finds that there are no features on the horse stadium or poultry building that have acquired significance proposed for alteration or removal. The applicant is proposing to treat all character defining features with respect. Staff finds that SRC 230.065(e) has been met.

(f) Additions and alterations to a historic resource shall be designed and constructed to minimize changes to the historic resource.

Finding: The proposed new overhead doors in two non-original openings to secure the Horse Stadium building will result in the loss of original historic material, however this loss is minimal and no character defining features will be adversely impacted by their installation. The installation of a new walkway and lighting at the Poultry Building will not result in the loss of any original materials, and no character defining features will be impacted. Staff finds that SRC 230.065(f) has been met.

(g) Additions and alterations shall be constructed with the least possible loss of historic materials and so that significant features are not obscured, damaged, or destroyed.

Finding: The proposed new overhead doors in two non-original openings to secure the Horse Stadium building will result in the loss of original historic material, however this loss is minimal and no significant features will be obscured by their installation. The installation of a new walkway and lighting at the Poultry Building will not result in the loss of any original materials,

and no significant features will be obscured, damaged or destroyed by their installation. Staff finds that SRC 230.065(g) has been met.

(h) Structural deficiencies in a historic resource shall be corrected without visually changing the composition, design, texture or other visual qualities.

Finding: Staff finds that the proposal does not include any plans to correct structural deficiencies, and that Guideline 230.065 (h) does not apply to the evaluation of this proposal.

(i) Excavation or re-grading shall not be allowed adjacent to or within the site of a historic resource which could cause the foundation to settle, shift, or fail, or have a similar effect on adjacent historic resources.

Finding: Staff finds that the proposal does not include any plans for excavation or regrading, and that Guideline 230.065 (i) does not apply to the evaluation of this proposal.

DECISION

Based upon the application materials deemed complete on December 22, 2022 and the findings as presented in this report, the application for HIS22-35 is **APPROVED**.



Kimberli Fitzgerald, AICP
Historic Preservation Officer
Planning Administrator Designee

Attachments: A. Vicinity Map
B. Applicant's Submittal Materials

Vicinity Map

2330 17th Street NE (073W14DA00100)



Legend

-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools
-  Parks



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South Elevation - looking east



South Elevation - original primary entry



South Elevation - east bays



South Elevation - window detail



East Elevation - south bays



Northeast corner - looking south



North elevation (current primary entrance)



West elevation



West / Primary Facade, looking north



West / Primary Facade, looking south



West / Primary Facade, south RR bays



North Elevation - east bays



North Elevation - west bays



South Elevation - west bays



South Elevation - east bays



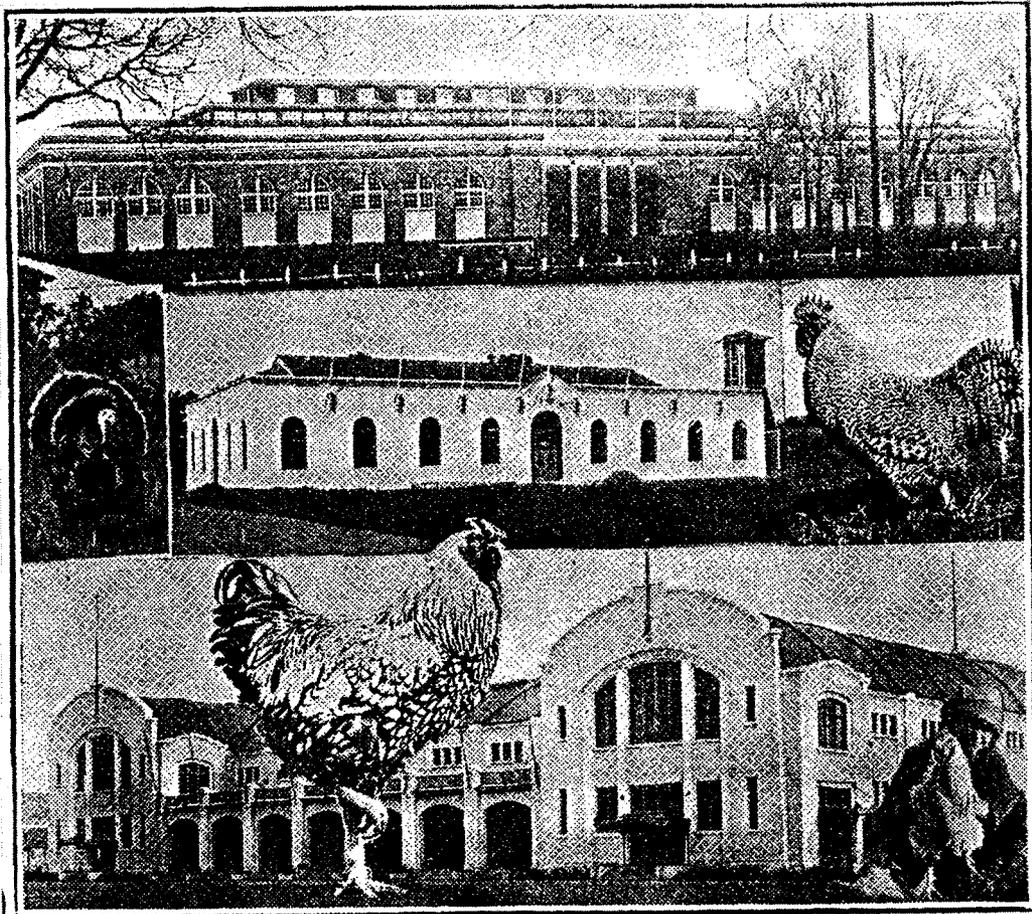
Southeast corner & clerestories



East Livestock opening



Northeast corner & clerestories



Historic photos from NR Nomination, identified as:

" Top: Oregon State Fair Stadium
Middle: Oregon State Fair Poultry Building
From *The Northwest Poultry Journal*, Sept. 1922"



Stadium - Aug 6, 1920

OSFEC - PRESERVATION & CAPITAL IMPROVEMENT PROJECTS - BLDG 24 - HISTORIC HORSE STADIUM

2330 17TH ST NE
SALEM, OR 97301

Construction Documents 100% - 09.09.2022



PROJECT SUMMARY

STREET ADDRESS: 2330 17TH ST NE, BUILDING 24, SALEM, OR 97301
PROJECT DESCRIPTION: HISTORIC PRESERVATION TO THE EXISTING HISTORIC HORSE STADIUM AT THE OREGON STATE FAIRGROUNDS & EXPO CENTER (OSFEC). PRESERVATION AND RESTORATION OF EXTERIOR BRICK, DOORS AND WINDOWS, RELOCATION OF RESTROOMS AND CONCESSION AREAS, AND MECHANICAL, ELECTRICAL & PLUMBING UPGRADES, NEW ROOF ACCESS STAIR, CLERESTORY ROOF LADDER, AND FALL PROTECTION ANCHORS.

DELEGATED DESIGN

- A. ROOF ACCESS STAIR GUARDRAIL & HANDRAIL
- B. ROOF ACCESS LADDERS
- C. FALL PROTECTION ANCHORS
- D. ROOF HATCH GUARDRAIL & GATE

DEFERRED SUBMITTALS

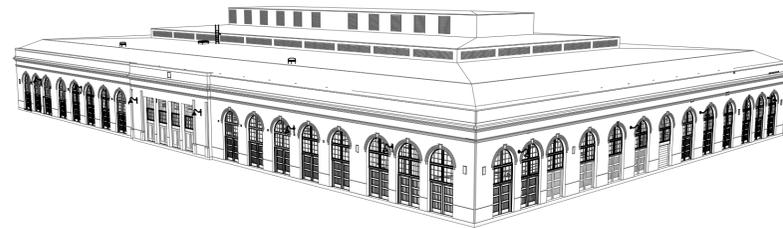
- A. TBD

EXTERIOR FINISH SCHEDULE

OVERALL BUILDING FINISH APPLICATION

1. ALL EXTERIOR PAINT:
REFERENCE 09 9110 HISTORIC TREATMENT PAINTING AND COATING
2. ALL INTERIOR PAINT
HIGHLAND WHITE BENJAMIN MOORE SW 4451
3. ALL BLEACHERS
HIGHLAND WHITE BENJAMIN MOORE SW 4451
4. EXTERIORS DOORS
REFERENCE 09 9110 HISTORIC TREATMENT PAINTING AND COATING

PROJECT NUMBER: 221035



EXTERIOR RENDERING FOR REFERENCE ONLY

PROJECT DIRECTORY

OWNER

OREGON STATE FAIR & EXPO CENTER
2330 17th ST NE
SALEM, OR 97301

CONTACT PERSON:
THOMAS WOOD
TWOOD@OREGONSTATEFAIR.ORG
WWW.OREGONSTATEFAIR.ORG
T: 503.881.2508

STRUCTURAL

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1022 SW SALMON STREET,
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PORTLAND, OR 97205

CONTACT PERSON:
KYLE DILLON, PE
KYLE.D.DILLON@IMEGCCORP.COM
WWW.IMEGCCORP.COM
T: 503.274.1843

ARCHITECT

LRS ARCHITECTS
720 NW DAVIS, SUITE 300
PORTLAND, OR, 97209

CONTACT PERSON:
GAIL SARGENT
GSARGENT@LRSARCHITECTS.COM
WWW.LRSARCHITECTS.COM
T: 971.242.8147

MEP

INTERFACE ENGINEERING, INC
100 SW MAIN STREET,
SUITE 1600
PORTLAND, OR 97204

CONTACT PERSON:
ADAM CARLSON PE, LEED AP
ADAMC@INTERFACEENG.COM
WWW.INTERFACEENGINEERING.COM
T: 503.382.2701

HISTORIC PRESERVATION ARCHITECT

SUSAN L LICHT
1978 NW SHATTOCK PL.
CORVALLIS, OR 97330

CONTACT PERSON:
SUSAN L LICHT
SUE_LICHT@MSN.COM
T: 319.331.2942

HISTORIC PRESERVATION ARCHITECT

ARCHITECTURAL RESOURCES GROUP
720 SW WASHINGTON STREET
SUITE 605
PORTLAND, OR 97205

CONTACT PERSON:
MAYA FOTY
M.FOTY@ARGCREATE.COM
T: 971.256.5321

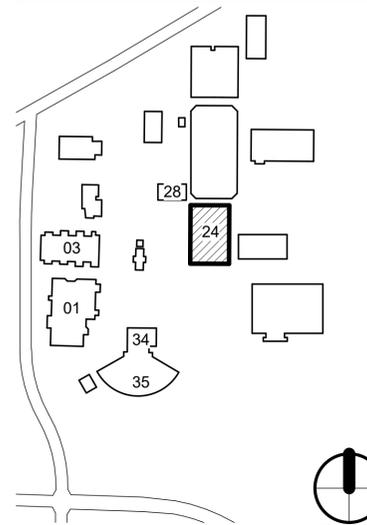


VICINITY MAP

NOT TO SCALE



KEY PLAN



BUILDING NUMBER:

24

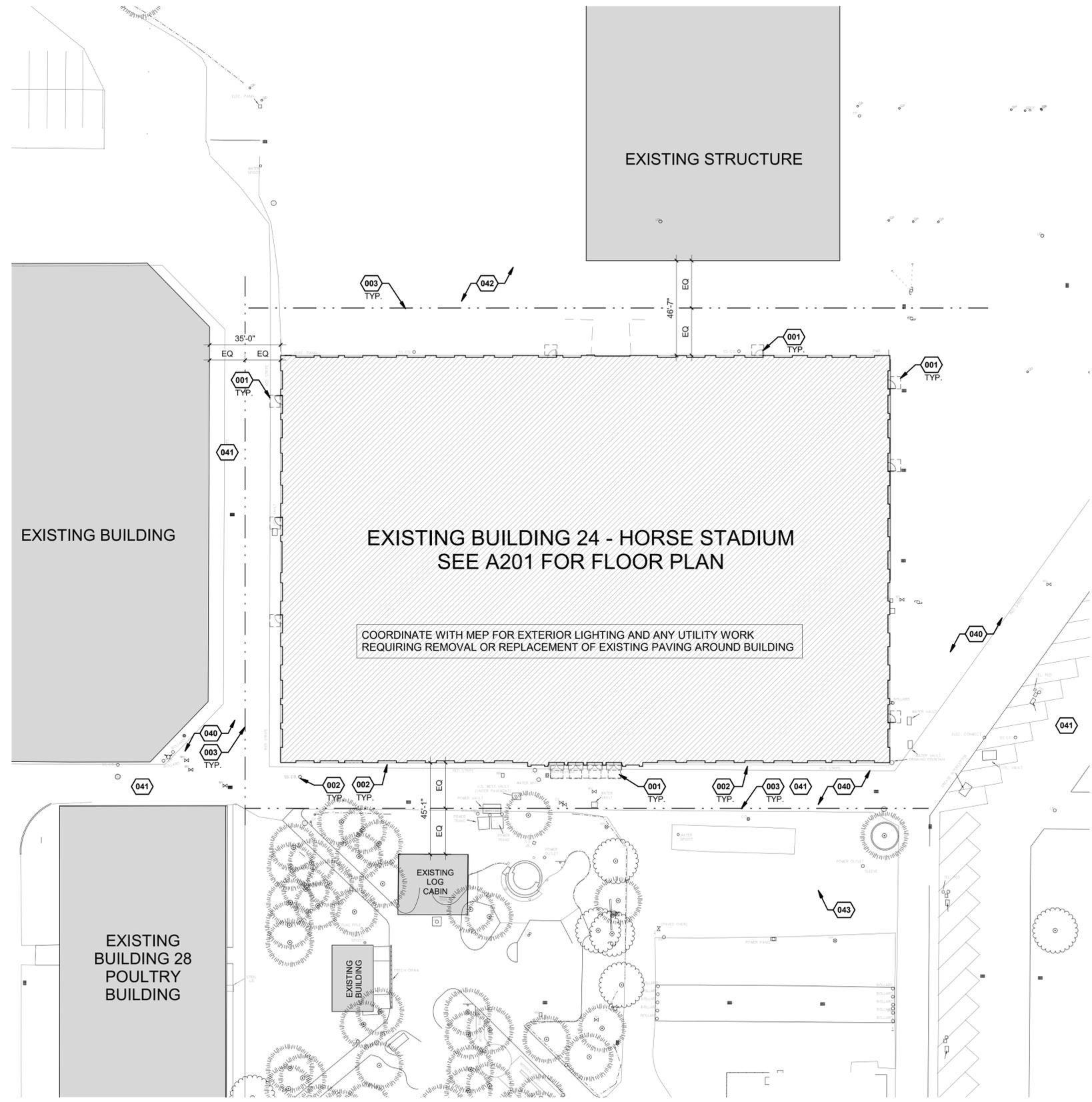
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TITLE SHEET

DRAWN BY: CDG
DATE CREATED: 09.09.22

SHEET:
A000
Construction Documents 100%
09.09.2022

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LEGEND

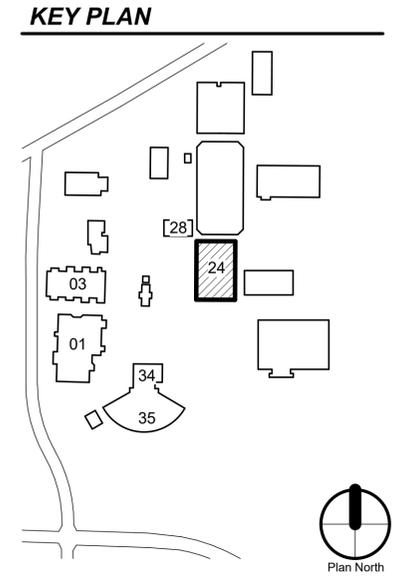
- SITE EASEMENTS
- IMAGINARY PROPERTY LINE
- SITE PROPERTY BOUNDARY
- EXISTING BUILDING
- ADJACENT EXISTING BUILDING - NOT IN SCOPE
- PROPOSED AREAS OF AC PAVING. NEW PAVING TO MATCH EXISTING
- PROPOSED CONCRETE SIDEWALK
- EXISTING CONCRETE SIDEWALK
- BOLLARD LIGHTING
- SITE POLE LIGHTING
- FIRE HYDRANT
- EXISTING FIRE HYDRANT
- EXISTING SITE LIGHTING
- FIRE DEPARTMENT CONNECTION
- SPOT GRADE ELEVATION
- FINISH FLOOR ELEVATION

GENERAL NOTES

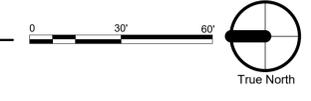
- A. SITE PLANS ARE BASED ON OVERALL FAIR GROUND SITE AS-BUILT SURVEY DRAWINGS PROVIDED BY OWNER FOR THE BLDG #40 PAVILION BUILDING DATED 04.14.2004
- B. ALL SURVEY INFORMATION FOR EXISTING CONDITIONS ARE FOR REFERENCE ONLY.
- C. SITE CONDITIONS AND UTILITIES INDICATED ON SITE PLAN ARE EXISTING CONDITIONS UNLESS NOTED OTHERWISE. ALL EXISTING CONDITIONS AND UTILITIES RELATED TO OR AFFECTED BY PROPOSED SCOPE OF WORK NEEDS TO BE FIELD VERIFIED BEFORE PROCEEDING WITH WORK.
- D. PROVIDE MINIMUM 5' X 5' CONCRETE OR ASPHALT PAVING LANDING AT ALL EXIT DOORS. SEE CODE PLAN.

KEYNOTES

- 001 SEE GENERAL NOTES & CODE PLAN FOR REQUIRED LANDINGS AT ALL EXIT DOORS.
- 002 COORDINATE NEW CONNECTIONS TO EXISTING UTILITIES WITH MEP. VERIFY EXISTING UTILITIES IN FIELD. TYP.
- 003 IMAGINARY PROPERTY LINE
- 040 (E) AC PAVING
- 041 (E) FIRE LANE
- 042 (E) DIRT & AC PAVING
- 043 (E) PLAZA & ART SCULPTURE



1. BUILDING 24 - SITE PLAN
A002 SCALE: 1" = 30'-0"



CONSULTANT:

PROJECT NUMBER: 221035

OSFEC - PRESERVATION & CAPITAL IMPROVEMENT PROJECTS - BLDG 24 - HISTORIC HORSE STADIUM

2330 17TH ST NE
SALEM, OR 97301

BUILDING NUMBER:

24

SHEET TITLE:
ARCHITECTURAL SITE PLAN

DRAWN BY: CDG
DATE CREATED: 09.09.22



SHEET:
A002
Construction Documents 100%
09.09.2022

KEYNOTES

- 235 EXISTING RAILING & RAMP TO REMAIN
236 REMOVE EXISTING RAILING
237 REMOVE FINISHES AS REQUIRED TO PREPARE FOR NEW WORK
239 EXISTING AV EQUIPMENT
240 REMOVE AREA OF EXISTING CONCRETE SLAB ON GRADE AND PREPARE AREA FOR NEW WORK.
241 REMOVE EXISTING RESTROOMS. REMOVE WALLS, CEILING, PLUMBING AND LIGHTING FIXTURES, AND ACCESSORIES. REMOVE EXISTING FLOOR/SLAB ON GRADE AS REQUIRED TO REMOVE PLUMBING AND PROVIDE CLEAR ADA COMPLIANT WALKING SURFACE. SEE FLOOR PLAN FOR EXTENT OF PROPOSED NEW SLAB. COORDINATE WITH MEP.
242 REMOVE (E) RAMP & RAILINGS
243 REMOVE EXISTING RAISED FLOOR AREA.
244 REMOVE EXISTING STAIR AND RAILINGS
245 REMOVE EXISTING ROOM. REMOVE INTERIOR WALL, CEILING, AND LIGHTING WHERE OCCURS.

KEYNOTES

- 246 EXISTING STRUCTURAL WOOD COLUMN TO REMAIN, TYP.
247 REMOVE & RELOCATE (E) EYE WASH. COORDINATE WITH NEW WORK
248 REMOVE (E) RAMP AT EDGE OF (E) LANDING. VERIFY IN FIELD
249 REMOVE & RELOCATE (E) ELECTRICAL PANEL. SEE ELECTRICAL. COORDINATE WITH NEW WORK
250 REMOVE (E) WATER HEATER. SEE PLUMBING. COORDINATE WITH NEW WORK
251 REMOVE & RELOCATE (E) FIRE ALARM PANEL. SEE ELECTRICAL. COORDINATE WITH NEW WORK
252 REMOVE (E) DOOR & WALLS AT (E) ELECTRICAL ROOM
254 EXISTING CRAWL SPACE ACCESS
255 EXISTING AIR COMPRESSOR
256 LINE OF (E) AWNING ABOVE
257 LINE OF (E) PLATFORM ABOVE
258 REMOVE (E) CONCESSIONS SNACK WINDOW & AWNING. COORDINATE WITH NEW WORK

KEYNOTES

- 259 EXISTING 6" CONCRETE STEP AT BASE OF STAIRS TO REMAIN
260 REMOVE NON-ORIGINAL EXT & INT WD COVERINGS & ASSOCIATED NON-ORIGINAL INFILL COMPONENTS AT ALL M.O.S. (E) WD DOOR FRAMES TO REMAIN. DISMANTLE, DOCUMENT & SALVAGE (E) WD PANELED DOORS FOR REPAIR & REINSTALLATION, WHERE (E) DOORS REMAIN. TYP. AT ALL EXT. DOOR OPENINGS UNO.
261 REMOVE NON-ORIGINAL EXT & INT WD COVERINGS, ASSOCIATED NON-ORIGINAL INFILL COMPONENTS, & METAL DOORS. (E) WD DOOR FRAMES TO REMAIN.
262 (E) OVERHEAD DOOR TO REMAIN
263 REMOVE OVERHEAD COLLING DOOR
264 (E) HM DOORS TO REMAIN, TYP. AT 4 OPENINGS.
266 EXISTING TELECOM PANELS TO REMAIN - SEE ELECTRICAL
440 REMOVE (E) EXIT SIGNS AT (E) OPENING. SEE ELECTRICAL
441 REMOVE (E) EXIT SIGN. SEE ELECTRICAL

KEYNOTES

- 442 REMOVE & RELOCATE (E) HIGH BAY INDUSTRIAL FIXTURE. COORDINATE WITH NEW WORK. SEE ELECTRICAL
443 REMOVE & RELOCATE (E) LOW BAY INDUSTRIAL FIXTURE. COORDINATE WITH NEW WORK. SEE ELECTRICAL
444 REMOVE (E) LIGHT FIXTURE. SEE ELECTRICAL

GENERAL NOTES

- A. EXISTING FLOOR PLAN IS BASED ON EXISTING OWNERS' DRAWINGS, WHERE AVAILABLE, AND INCLUDES ON-SITE OBSERVATIONS.
B. THIS DRAWING REFERENCES EXISTING CONDITIONS FOR REFERENCE ONLY. VERIFY IN FIELD.
C. SEE FLOOR PLANS FOR EXISTING AND PROPOSED WALL RATING WHERE APPLICABLE.
D. LRS & ARCHITECTURAL RESOURCES GROUP ASSUME NO RESPONSIBILITY FOR THE MANAGEMENT OF HAZARDOUS MATERIALS THAT MAY BE ON THIS SITE.

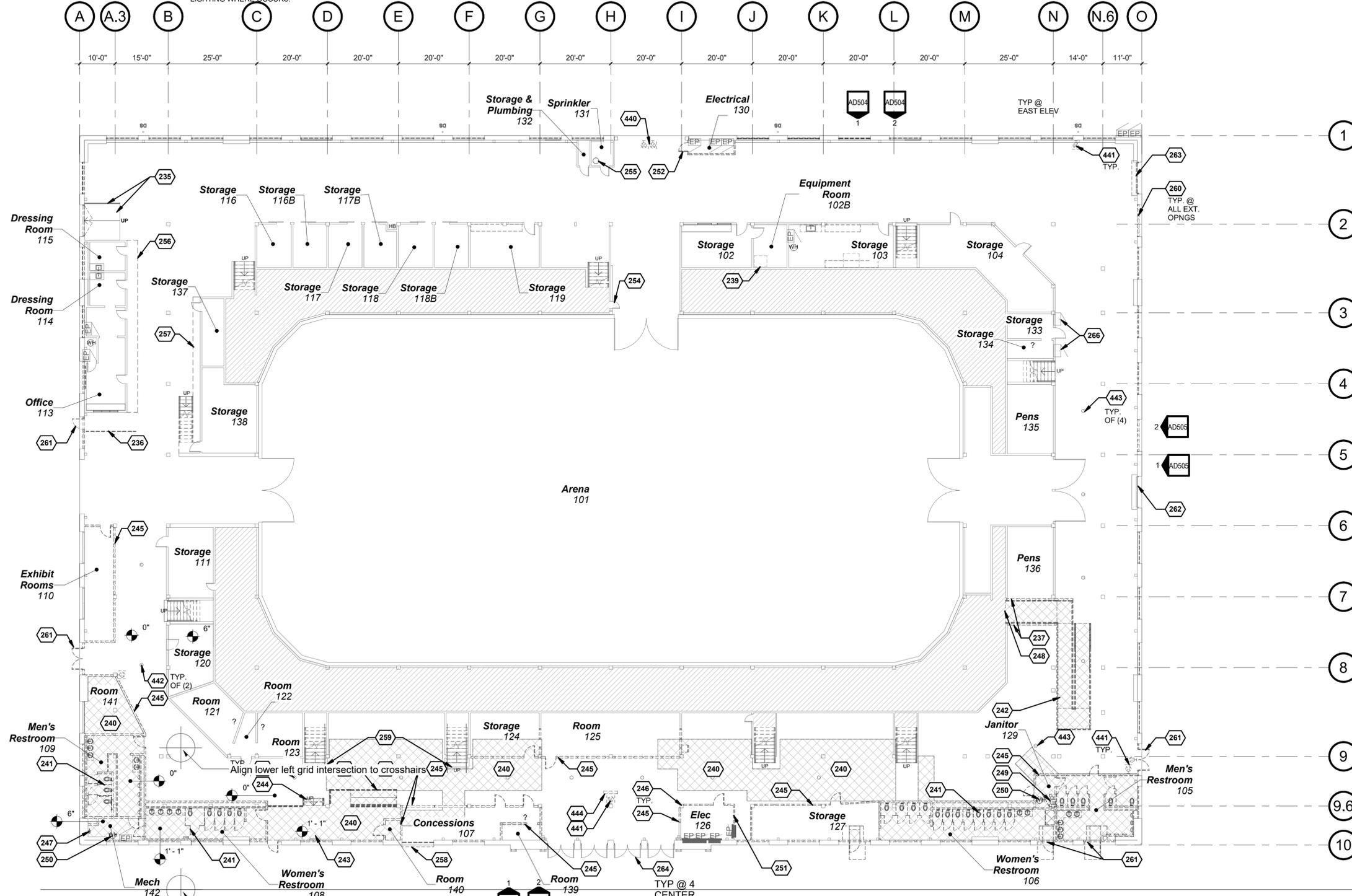
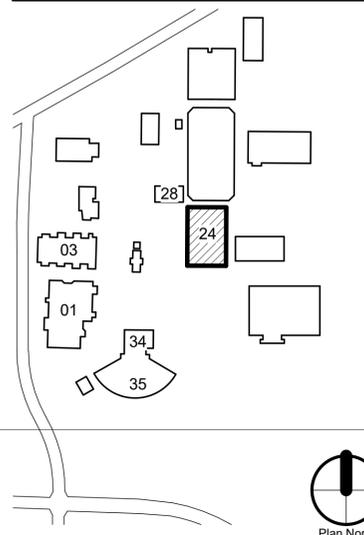
DEMO PLAN NOTES

- A. SEE KEYNOTES & DOOR SCHEDULE FOR LOCATIONS OF (E) DOORS TO BE SALVAGED, REPAIRED & REINSTALLED, & (N) DOORS.
B. WOOD COVERINGS OBSCURE LOCATIONS OF SOME OPENINGS. ANY ADDITIONAL ORIGINAL DOORS UNCOVERED DURING REMOVAL WORK ARE TO BE SALVAGED FOR REINSTALLATION, & NOTED IN AN UPDATED DOOR REPAIR SCHEDULE BY THE CONTRACTOR.
C. EXISTING MATERIALS TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE, INCLUDING ROOFING, MASONRY, DOORS, & WINDOWS. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.
D. THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING DURING THE COURSE OF THE WORK. OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.
E. CONTRACTOR SHALL VERIFY THAT (E) CONDITIONS ARE AS INDICATED ON THE DRAWINGS. NOTIFY THE ARCHITECT IMMEDIATELY OF VARIATIONS OR DISCREPANCIES. DO NOT PROCEED WITH AFFECTED WORK UNTIL THE VARIATIONS OR DISCREPANCIES ARE RESOLVED BY THE ARCHITECT.
F. SEE KEYED NOTES FOR RCP ITEMS TO BE DEMOLISHED OR RELOCATED. REFERENCE A401 FOR NEW RCP SCOPE OF WORK.

LEGEND

- DS EXISTING DOWNSPOUT
0'-0" FINISH FLOOR SPOT ELEVATION, VERIFY IN FIELD
EXISTING TO REMAIN, UNO (REFER TO KEYED NOTES FOR MORE INFORMATION)
DEMOLISHED OR TO BE RELOCATED (REFER TO KEYED NOTES FOR MORE INFORMATION)
REMOVE NON-ORIGINAL WD COVERINGS & INFILL COMPONENTS TO (E) WD FRAME TO REMAIN. SALVAGE ORIG. WD DOORS FOR REINSTALLATION (SEE KEYNOTES)
REMOVE NON-ORIGINAL WD COVERINGS & ASSOCIATED INFILL COMPONENTS TO (E) WD FRAME TO REMAIN (SEE KEYNOTES)
(E) UNOCCUPIED SPACE BELOW STADIUM SEATING

KEY PLAN



1. EXISTING / DEMO FLOOR PLAN

AD201 SCALE: 1/16" = 1'-0"



LRS ARCHITECTS
720 NW Davis 503.221.1121
Suite 300 503.221.2077
Portland OR 97209 www.lrsarchitects.com



CONSULTANT:
Architectural Resources Group

PROJECT NUMBER: 221035

OSFEC - PRESERVATION & CAPITAL IMPROVEMENT PROJECTS - BLDG 24 - HISTORIC HORSE STADIUM

2330 17TH ST NE SALEM, OR 97301

BUILDING NUMBER:

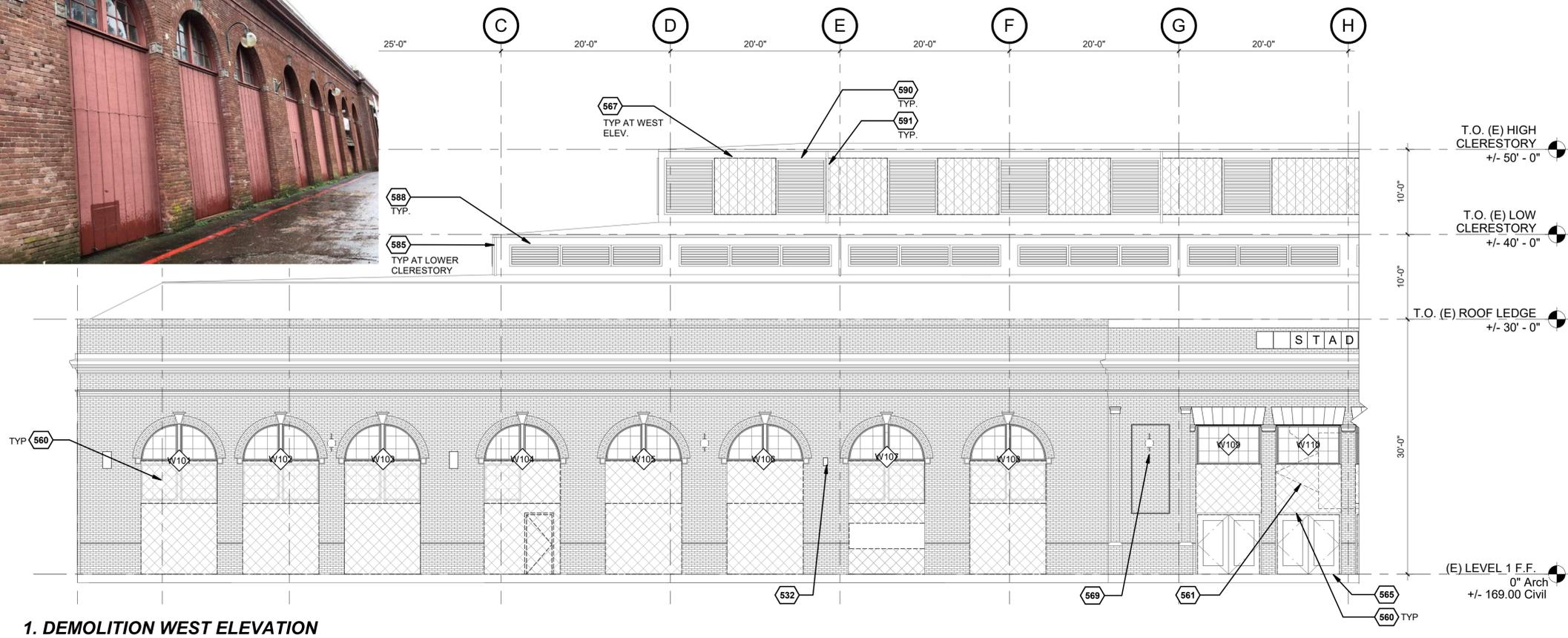
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SHEET TITLE: EXISTING / DEMO FLOOR PLAN

DRAWN BY: CDG/09.ARG
DATE CREATED:

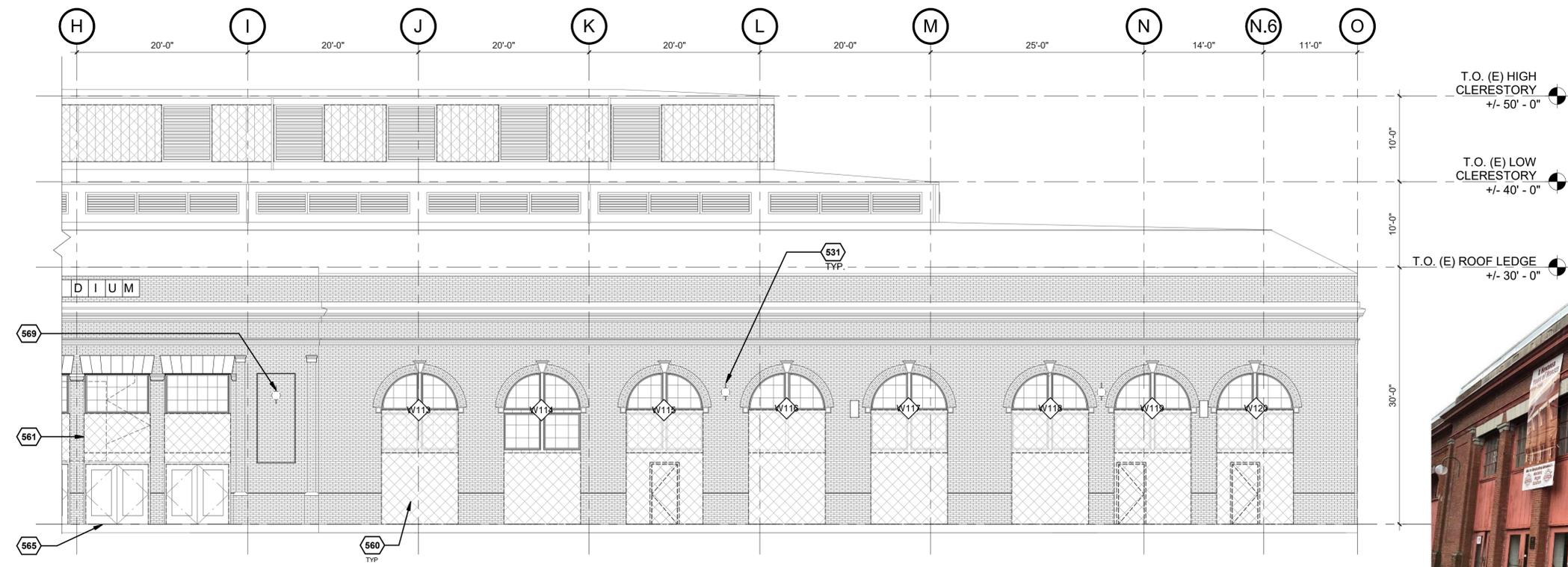
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1. DEMOLITION WEST ELEVATION

NOT TO SCALE



2. DEMOLITION WEST ELEVATION CONT'D

AD502 SCALE: 1/8" = 1'-0"

GENERAL NOTES

- A. EXISTING DRAWINGS ARE BASED ON EXISTING OWNERS' DRAWINGS, WHERE AVAILABLE, AND INCLUDES ON-SITE OBSERVATIONS.
- B. THIS DRAWING REFERENCES EXISTING CONDITIONS FOR REFERENCE ONLY. VERIFY IN FIELD.
- C. SEE ALSO DEMO PLAN NOTES ON DWG AD201.
- D. EXISTING MATERIALS TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE, INCLUDING ROOFING, MASONRY, DOORS, & WINDOWS. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.

KEYNOTES

- 531 REMOVE AND REPLACE EXISTING EXTERIOR ROUND BULB LIGHT. SEE ELECTRICAL & COORDINATE WITH NEW WORK
- 532 REMOVE NON-ORIGINAL FLAGPOLE HOLDERS AND ASSOCIATED ANCHORS.
- 560 REMOVE NON-ORIGINAL EXT & INT WD COVERINGS AND ASSOCIATED INFILL COMPONENTS. (E) WD DOOR & WINDOW FRAMES & TRIM TO REMAIN IN PLACE UNO. DISMANTLE, DOCUMENT & SALVAGE (E) WD paneled doors & window sash for REPAIR & REINSTALLATION, WHERE (E) DOORS & SASH REMAIN. TYP. AT ALL M.O.S UNO. REFER TO DOOR & WINDOW SCHEDULES FOR ADDITIONAL INFORMATION
- 561 EXISTING CABLE / ARMATURE SYSTEM FOR WEST ENTRY BANNERS, INCLUDING ANCHORS, TO BE REMOVED
- 565 (E) HM DOORS TO REMAIN, TYP. AT 4 OPENINGS
- 567 REMOVE (E) T111 CLADDING AT UPPER CLERESTORY WEST & SOUTH ELEVATIONS. PROTECT ADJ (E) MATERIALS TO REMAIN, INCLUDING WD LOUVERS, WD CORNICE, GUTTERS / LEADERS, & ROOFING
- 569 REMOVE (E) LIGHT FIXTURES, SEE ALSO ELEC DWGS
- 585 (E) LEADERS TO REMAIN
- 588 (E) MTL LOUVERS TO REMAIN AT LOWER CLERESTORY, TYP.
- 590 (E) WD LOUVERS TO REMAIN AT UPPER CLERESTORY, TYP.
- 591 (E) LEADERS TO REMAIN AT UPPER CLERESTORY, DISMANTLE & SALVAGE (E) LEADERS FOR REINSTALLATION WHERE REQUIRED DUE TO REPLACEMENT OF CLADDING.

(E) MATERIALS LEGEND

SEE KEYNOTES FOR SCOPE OF WORK

- (E) CLERESTORY LOUVERS
- (E) BRICK MASONRY
- REMOVE SELECTED AREA, REFERENCE KEYNOTES FOR DEMOLITION SCOPE.
- (E) SASH BEHIND COVERING TO BE SALVAGED FOR REHABILITATION AND REINSTALLATION.
- REMOVE (E) DOORS AND WINDOWS, REF. KEYNOTES FOR SCOPE OF WORK
- (E) HISTORIC DOOR BEHIND COVERING TO BE SALVAGED FOR REHABILITATION AND REINSTALLATION



CONSULTANT:



PROJECT NUMBER: 221035

OSFEC - PRESERVATION & CAPITAL IMPROVEMENT PROJECTS - BLDG 24 - HISTORIC HORSE STADIUM

2330 17TH ST NE
SALEM, OR 97301

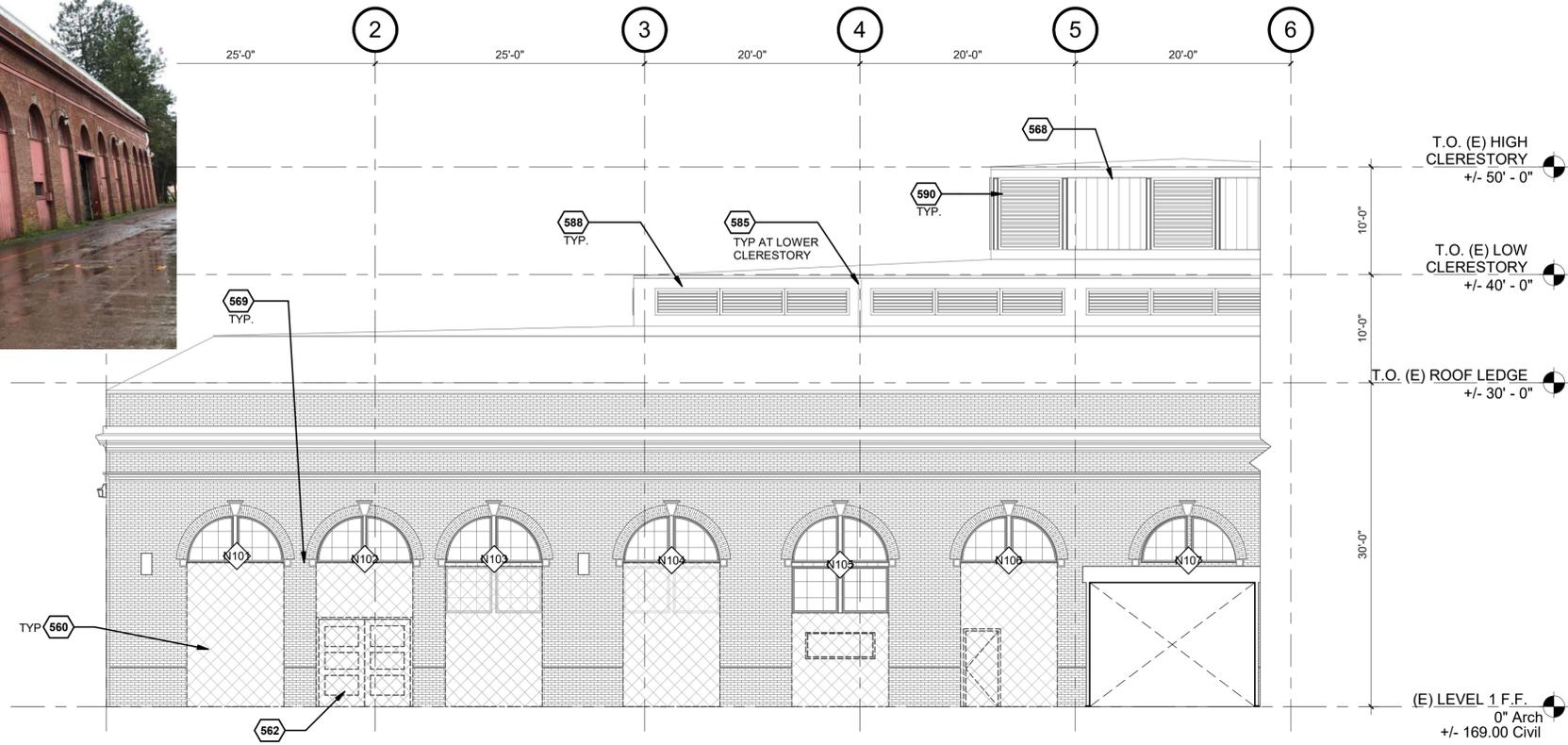
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24

SHEET TITLE:
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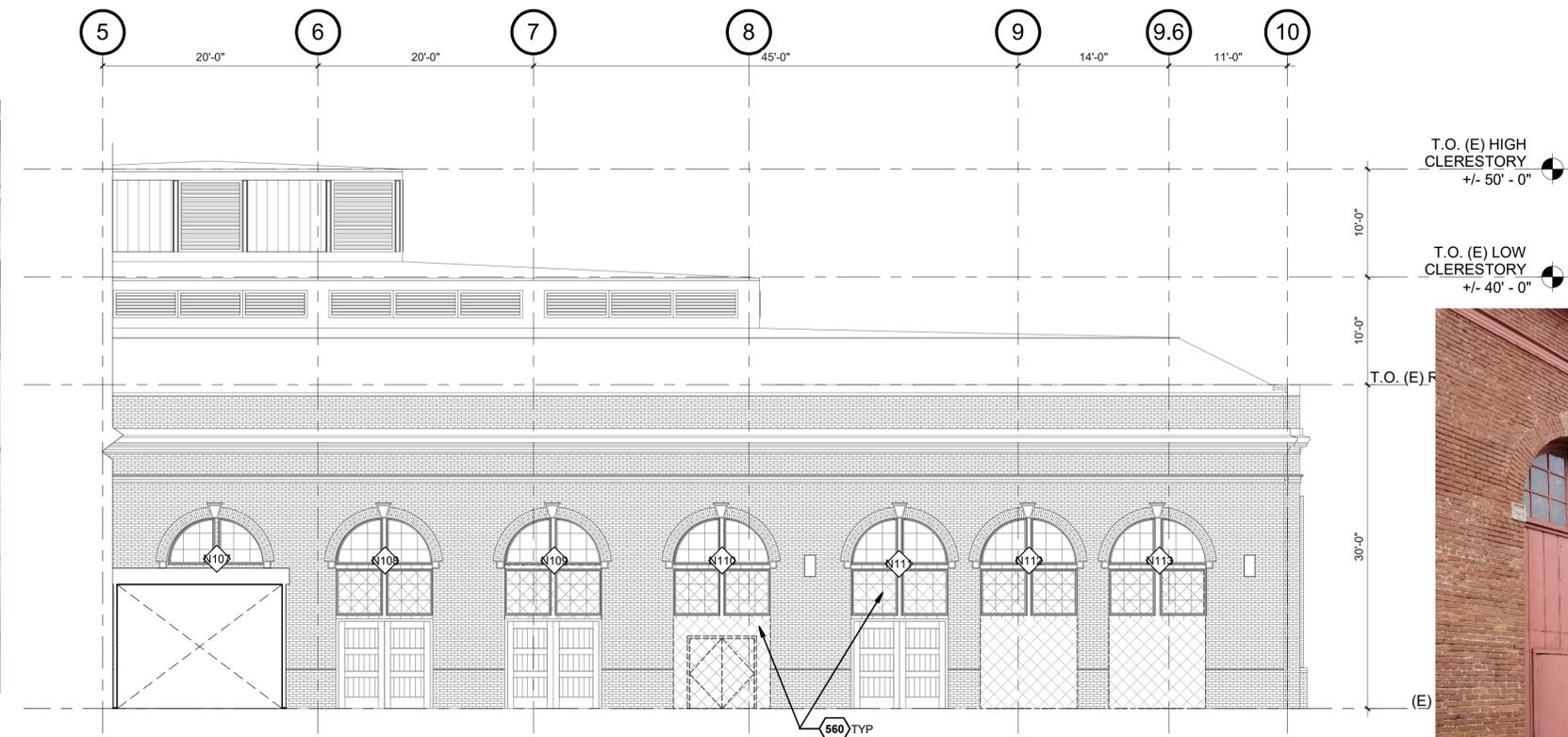
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DATE CREATED: 06.17.22

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Construction Documents 100%
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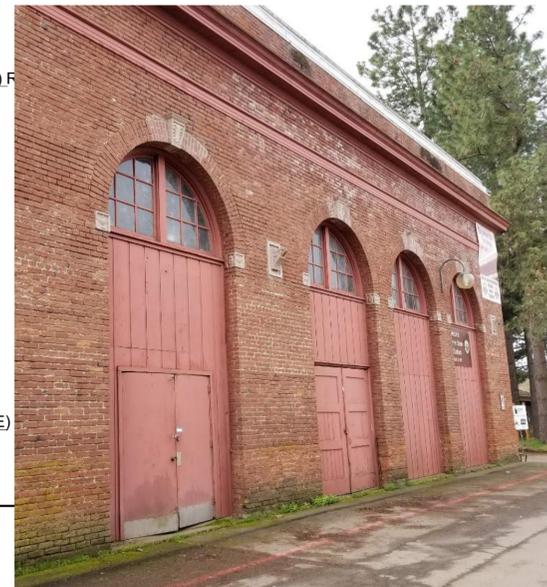
1. DEMOLITION NORTH ELEVATION

AD503 SCALE: 1/8" = 1'-0"



2. DEMOLITION NORTH ELEVATION CONT'D

AD503 SCALE: 1/8" = 1'-0"



GENERAL NOTES

- A. EXISTING DRAWINGS ARE BASED ON EXISTING OWNERS' DRAWINGS, WHERE AVAILABLE, AND INCLUDES ON-SITE OBSERVATIONS.
- B. THIS DRAWING REFERENCES EXISTING CONDITIONS FOR REFERENCE ONLY. VERIFY IN FIELD.
- C. SEE ALSO DEMO PLAN NOTES ON DWG AD201.
- D. EXISTING MATERIALS TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE, INCLUDING ROOFING, MASONRY, DOORS, & WINDOWS. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.

KEYNOTES

- 560 REMOVE NON-ORIGINAL EXT & INT WD COVERINGS AND ASSOCIATED INFILL COMPONENTS. (E) WD DOOR & WINDOW FRAMES & TRIM TO REMAIN IN PLACE UNO. DISMANTLE, DOCUMENT & SALVAGE (E) WD PANELED DOORS & WINDOW SASH FOR REPAIR & REINSTALLATION, WHERE (E) DOORS & SASH REMAIN. TYP. AT ALL M.O.S UNO. REFER TO DOOR & WINDOW SCHEDULES FOR ADDITIONAL INFORMATION.
- 562 REMOVE (E) DOOR, TOO DAMAGED TO RETAIN. (E) DOOR FRAME TO BE SALVAGED FOR REINSTALLATION. (E) WINDOW FRAME TO REMAIN IN PLACE.
- 568 COORDINATE REMOVAL OF DAMAGED AREAS OF (E) T111 CLADDING AT UPPER CLERESTORY NORTH & EAST ELEVATIONS W/ LOCATIONS TO BE REPLACED PER CLERESTORY REPAIR DWG. PROTECT ADJ (E) MATERIALS TO REMAIN, INCLUDING WD LOUVERS, WD CORNICE, GUTTERS / LEADERS, & ROOFING. ORIGINAL WD PANELED JAMBS AT LOUVERS TO REMAIN.
- 569 REMOVE (E) LIGHT FIXTURES, SEE ALSO ELEC DWGS
- 585 (E) LEADERS TO REMAIN
- 588 (E) MTL LOUVERS TO REMAIN AT LOWER CLERESTORY, TYP.
- 590 (E) WD LOUVERS TO REMAIN AT UPPER CLERESTORY, TYP.

(E) MATERIALS LEGEND

SEE KEYNOTES FOR SCOPE OF WORK

- (E) CLERESTORY LOUVERS
- (E) BRICK MASONRY
- REMOVE SELECTED AREA, REFERENCE KEYNOTES FOR DEMOLITION SCOPE.
- (E) SASH BEHIND COVERING TO BE SALVAGED FOR REHABILITATION AND REINSTALLATION.
- REMOVE (E) DOORS AND WINDOWS, REF. KEYNOTES FOR SCOPE OF WORK
- (E) HISTORIC DOOR BEHIND COVERING TO BE SALVAGED FOR REHABILITATION AND REINSTALLATION



PROJECT NUMBER: 221035

OSFEC - PRESERVATION & CAPITAL IMPROVEMENT PROJECTS - BLDG 24 - HISTORIC HORSE STADIUM

2330 17TH ST NE
SALEM, OR 97301

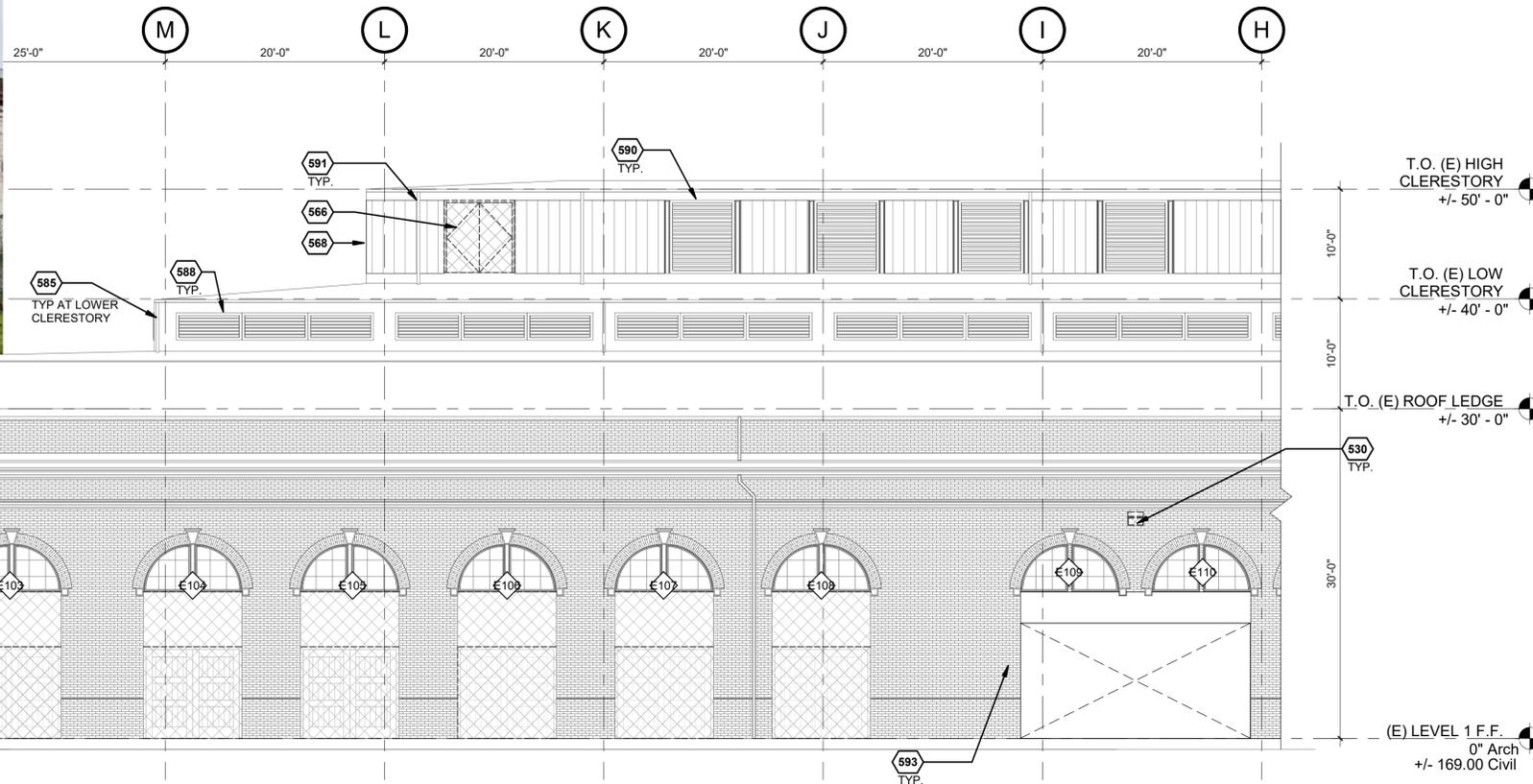
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SHEET TITLE:
DEMOLITION NORTH ELEVATION

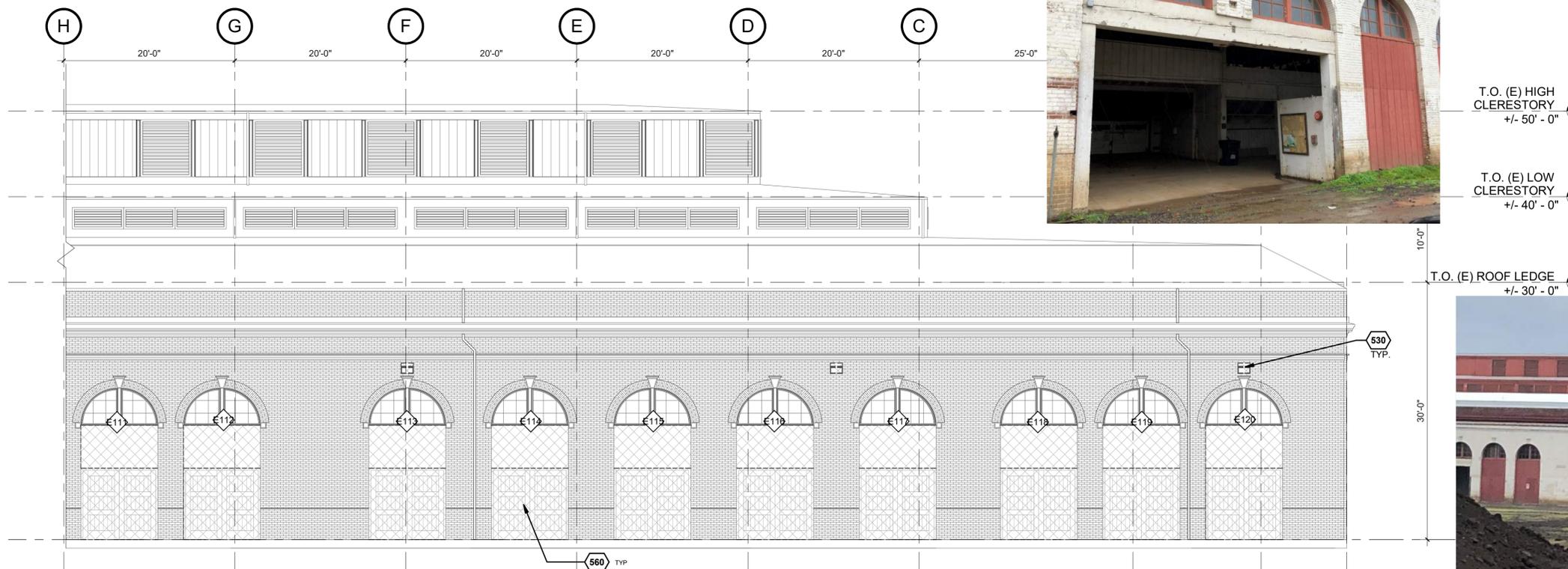
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DATE CREATED: 06.17.22

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Construction Documents 100%
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1. DEMOLITION EAST ELEVATION

AD504 SCALE: 1/8" = 1'-0"



2. DEMOLITION EAST ELEVATION CONT'D

NOT TO SCALE

GENERAL NOTES

- A. EXISTING DRAWINGS ARE BASED ON EXISTING OWNERS' DRAWINGS, WHERE AVAILABLE, AND INCLUDES ON-SITE OBSERVATIONS.
- B. THIS DRAWING REFERENCES EXISTING CONDITIONS FOR REFERENCE ONLY. VERIFY IN FIELD.
- C. SEE ALSO DEMO PLAN NOTES ON DWG AD201.
- D. EXISTING MATERIALS TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE, INCLUDING ROOFING, MASONRY, DOORS, & WINDOWS. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.

KEYNOTES

- 530 REMOVE EXISTING WALL PACKS LIGHTING & SURFACE CONDUIT. SEE ELECTRICAL DWGS & COORDINATE WITH NEW WORK.
- 560 REMOVE NON-ORIGINAL EXT & INT WD COVERINGS AND ASSOCIATED INFILL COMPONENTS. (E) WD DOOR & WINDOW FRAMES & TRIM TO REMAIN IN PLACE UNO. DISMANTLE, DOCUMENT & SALVAGE (E) WD paneled doors & window sash for repair & reinstallation, where (E) doors & sash remain. TYP. AT ALL M.O.S UNO. REFER TO DOOR & WINDOW SCHEDULES FOR ADDITIONAL INFORMATION
- 566 REMOVE (E) DOOR AT UPPER CLERESTORY
- 568 COORDINATE REMOVAL OF DAMAGED AREAS OF (E) T111 CLADDING AT UPPER CLERESTORY NORTH & EAST ELEVATIONS W/ LOCATIONS TO BE REPLACED PER CLERESTORY REPAIR DWG. PROTECT ADJ (E) MATERIALS TO REMAIN, INCLUDING WD LOUVERS, WD CORNICE, GUTTERS / LEADERS, & ROOFING. ORIGINAL WD paneled JAMBS AT LOUVERS TO REMAIN.
- 585 (E) LEADERS TO REMAIN
- 588 (E) MTL LOUVERS TO REMAIN AT LOWER CLERESTORY, TYP.
- 590 (E) WD LOUVERS TO REMAIN AT UPPER CLERESTORY, TYP.
- 591 (E) LEADERS TO REMAIN AT UPPER CLERESTORY. DISMANTLE & SALVAGE (E) LEADERS FOR REINSTALLATION WHERE REQUIRED DUE TO REPLACEMENT OF CLADDING.
- 593 REMOVE ALL ABANDONED METAL PIPES, ANCHORS AND OTHER OBJECTS ATTACHED TO THE EXTERIOR OF THE BUILDING. REPAIR AS SPECIFIED.
- 594 SEE ELECTRICAL DWGS FOR REMOVAL & RELOCATION OF ALL ACTIVE AND INACTIVE EXTERIOR ELECTRICAL, PHONE, AND OTHER UTILITIES.

(E) MATERIALS LEGEND

SEE KEYNOTES FOR SCOPE OF WORK

- (E) CLERESTORY LOUVERS
- (E) BRICK MASONRY
- REMOVE SELECTED AREA, REFERENCE KEYNOTES FOR DEMOLITION SCOPE.
- (E) SASH BEHIND COVERING TO BE SALVAGED FOR REHABILITATION AND REINSTALLATION.
- REMOVE (E) DOORS AND WINDOWS. REF. KEYNOTES FOR SCOPE OF WORK
- (E) HISTORIC DOOR BEHIND COVERING TO BE SALVAGED FOR REHABILITATION AND REINSTALLATION



T.O. (E) HIGH CLERESTORY +/- 50'-0"

T.O. (E) LOW CLERESTORY +/- 40'-0"

T.O. (E) ROOF LEDGE +/- 30'-0"

530 TYP.

560 TYP.



CONSULTANT:
Architectural Resources Group

PROJECT NUMBER: 221035

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SALEM, OR 97301

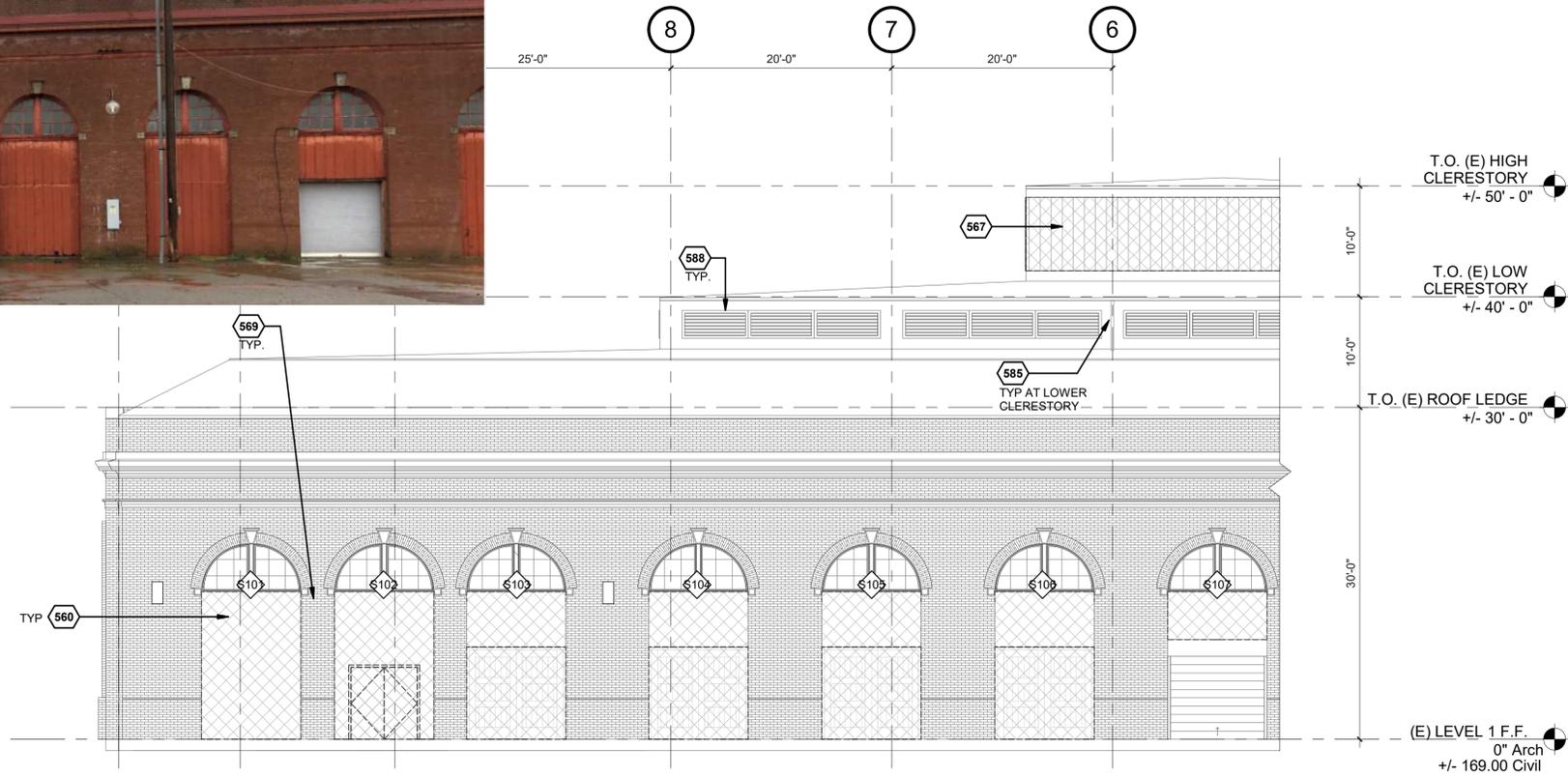
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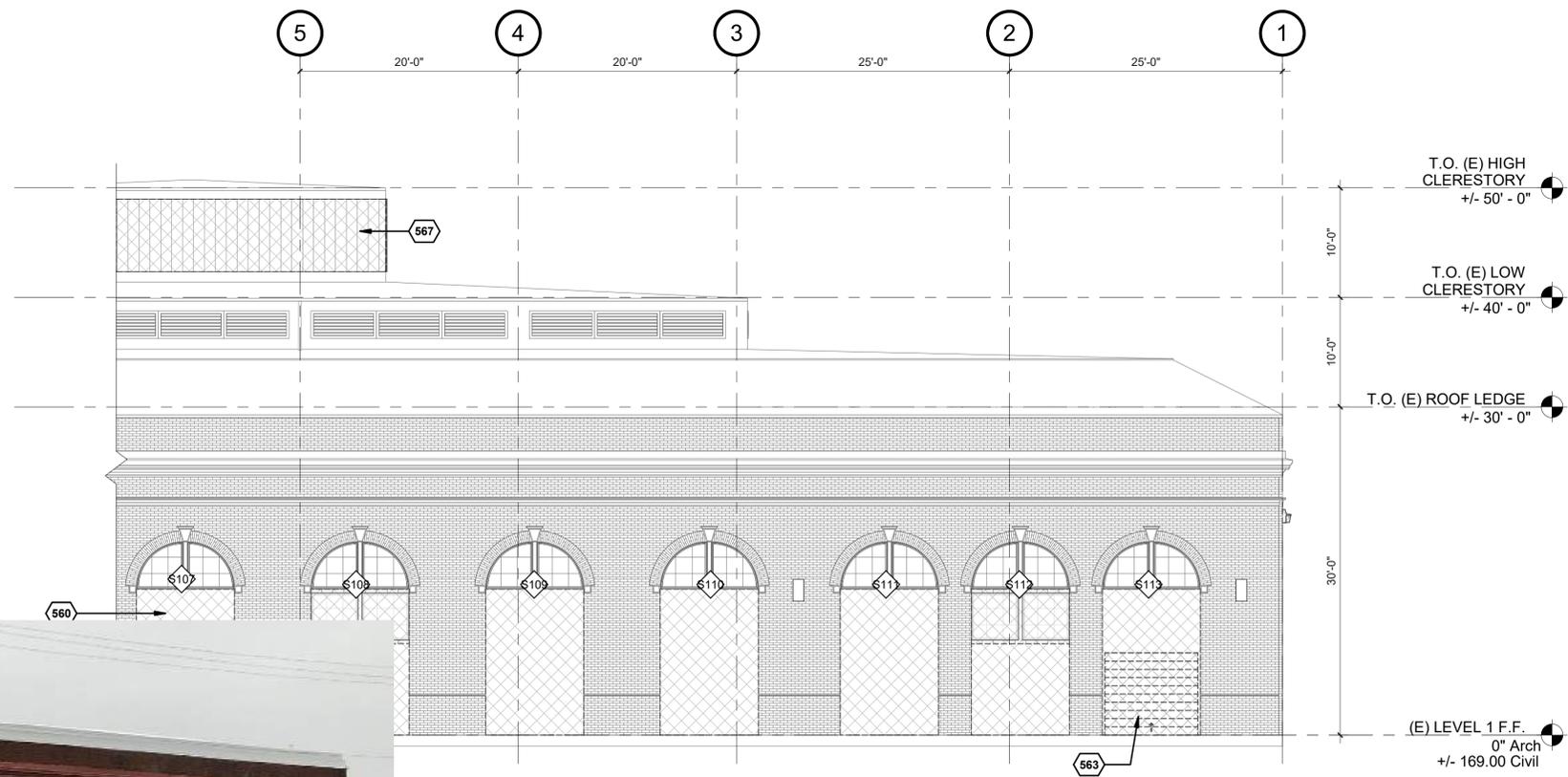
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AD504
Construction Documents 100%
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1. DEMOLITION SOUTH ELEVATION

AD505 SCALE: 1/8" = 1'-0"



ONT'D

GENERAL NOTES

- A. EXISTING DRAWINGS ARE BASED ON EXISTING OWNERS' DRAWINGS, WHERE AVAILABLE, AND INCLUDES ON-SITE OBSERVATIONS.
- B. THIS DRAWING REFERENCES EXISTING CONDITIONS FOR REFERENCE ONLY. VERIFY IN FIELD.
- C. SEE ALSO DEMO PLAN NOTES ON DWG AD201.
- D. EXISTING MATERIALS TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE, INCLUDING ROOFING, MASONRY, DOORS, & WINDOWS. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.

KEYNOTES

- 560 REMOVE NON-ORIGINAL EXT & INT WD COVERINGS AND ASSOCIATED INFILL COMPONENTS. (E) WD DOOR & WINDOW FRAMES & TRIM TO REMAIN IN PLACE UNO. DISMANTLE, DOCUMENT & SALVAGE (E) WD paneled doors & window sash for repair & reinstallation, where (E) doors & sash remain. TYP. AT ALL M.O.S UNO. REFER TO DOOR & WINDOW SCHEDULES FOR ADDITIONAL INFORMATION
- 563 REMOVE OVERHEAD COILING DOOR & FRAME, & WD DOOR JAMBS
- 564 (E) OVERHEAD COILING DOOR TO REMAIN
- 567 REMOVE (E) T11 CLADDING AT UPPER CLERESTORY WEST & SOUTH ELEVATIONS. PROTECT ADJ (E) MATERIALS TO REMAIN, INCLUDING WD LOUVERS, WD CORNICE, GUTTERS / LEADERS, & ROOFING
- 569 REMOVE (E) LIGHT FIXTURES, SEE ALSO ELEC DWGS
- 585 (E) LEADERS TO REMAIN
- 588 (E) MTL LOUVERS TO REMAIN AT LOWER CLERESTORY, TYP.

(E) MATERIALS LEGEND

SEE KEYNOTES FOR SCOPE OF WORK

- (E) CLERESTORY LOUVERS
- (E) BRICK MASONRY
- REMOVE SELECTED AREA, REFERENCE KEYNOTES FOR DEMOLITION SCOPE.
- (E) SASH BEHIND COVERING TO BE SALVAGED FOR REHABILITATION AND REINSTALLATION.
- REMOVE (E) DOORS AND WINDOWS, REF. KEYNOTES FOR SCOPE OF WORK
- (E) HISTORIC DOOR BEHIND COVERING TO BE SALVAGED FOR REHABILITATION AND REINSTALLATION



PROJECT NUMBER: 221035

OSFEC - PRESERVATION & CAPITAL IMPROVEMENT PROJECTS - BLDG 24 - HISTORIC HORSE STADIUM

2330 17TH ST NE
SALEM, OR 97301

BUILDING NUMBER:

24

SHEET TITLE:
DEMOLITION SOUTH ELEVATION

DRAWN BY: ARG
DATE CREATED: 06.17.22

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AD505
Construction Documents 100%
09.09.2022

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GENERAL NOTES

- CLEAN 100% OF EXISTING MASONRY, INCLUDING BRICK, CAST STONE, & CONCRETE, WITH ADDITIONAL CLEANING LOCATIONS & PAINT REMOVAL AS NOTED ON ELEVATIONS & DWG A703. SUBMIT REPAIR SCHEDULE FOR ARCHITECT'S REVIEW PRIOR TO THE START OF WORK, SHOWING FINAL LOCATIONS, CONDITIONS, QUANTITIES, AND TREATMENTS INTENDED FOR BRICK, CAST STONE, CONCRETE, & WOOD. SEE DWGS A703 THROUGH A707 FOR TYPICAL CONDITIONS, REPAIRS & ESTIMATED QUANTITIES.
- REPAIR/REPLACEMENT LOCATIONS SHOWN IN THE DRAWINGS ARE DIAGRAMMATIC. QUANTITIES OF WORK MAY BE APPLIED ELSEWHERE ON THE BUILDING AT LOCATIONS VERIFIED BY CONTRACTOR DURING SURVEY AND SUBMITTED IN REPAIR SCHEDULE.
- PREP, PRIME & PAINT ALL EXTERIOR WD & METAL SURFACES INCLUDING DOORS, WINDOWS, DOOR & WINDOW FRAMES, LOUVERS AND TRIM, UNO.
- REPAIR CONDITIONS INDICATED ON ELEVATIONS SHOW REPRESENTATIVE LOCATIONS FOR TYPICAL REPAIRS & DO NOT INDICATE ALL REPAIR LOCATIONS; SEE TYP. CONDITIONS AND REPAIRS DRAWINGS FOR BID QUANTITIES.
- MASONRY CLEANING **MC-1**: TYP AT ALL ELEVATIONS
- JOINT REPAIR **JR-1**: TYP AT ALL ELEVATIONS

KEYNOTES

- ADD FALL PROTECTION ANCHORS TO (E) CLERESTORY WALL - DELEGATED DESIGN, ALIGN WITH BOTTOM OF LOUVER. SEE STRUCTURAL FOR MOUNTING DETAIL
- SIDE-STEP LADDER MOUNTED TO (E) CLERESTORY COLUMN / WALL ASSEMBLY - SEE A610
- REPAIR (E) WD FRAME, PROVIDE WD SASH TO MATCH ORIGINAL CONFIGURATION
- REPAIR (E) WD FRAME, ASSUME SASH IS MISSING, PROVIDE (N) WITHIN (E) FRAME. IF ORIGINAL IS INTACT, DISMANTLE, SALVAGE, REPAIR, AND REINSTALL (E) WD SASH
- REPAIR (E) WD FRAME, DISMANTLE, SALVAGE, REPAIR, AND REINSTALL (E) WD SASH AT ARCHED WINDOWS (TYP) AND RECTANGULAR SASH UNLESS OTHERWISE NOTED. REFER TO WINDOW SCHEDULE FOR ADDITIONAL INFORMATION
- REPAIR (E) WD LOUVERS, SEE TYPICAL CLERESTORY CONDITIONS FOR ADDITIONAL INFORMATION
- REPLACE T111 CLADDING IN KIND AT UPPER CLERESTORY; 100 PERCENT AT WEST & SOUTH ELEVATIONS; ALLOW FOR 30 PERCENT REPLACEMENT OF DAMAGED AREAS AT EAST & NORTH ELEVATIONS (LOCATIONS TO BE CONFIRMED BY CONTRACTOR & INDICATED IN REPAIR SCHEDULE)
- (E) MTL LOUVERS TO REMAIN AT LOWER CLERESTORY, TYP.
- (E) MTL LEADERS TO REMAIN AT CLERESTORIES, TYP. REINSTALL (E) SALVAGED LEADERS WHERE REQUIRED DUE TO REPLACEMENT OF CLADDING AT UPPER CLERESTORY
- REMOVE ALL ABANDONED METAL PIPES, ANCHORS AND OTHER OBJECTS ATTACHED TO THE EXTERIOR OF THE BUILDING. REPAIR AS SPECIFIED.
- SEE ELECTRICAL DWGS FOR REMOVAL & RELOCATION OF ALL ACTIVE AND INACTIVE EXTERIOR ELECTRICAL, PHONE, AND OTHER UTILITIES.

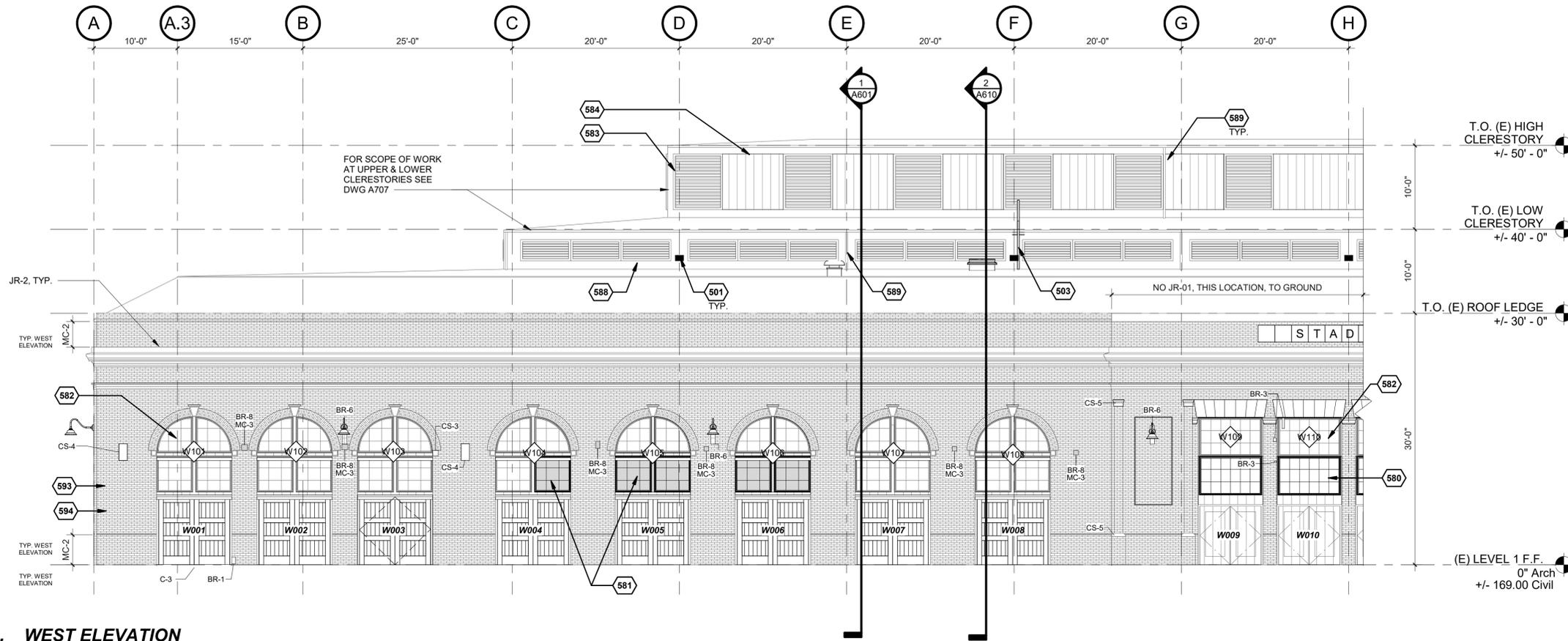
MATERIALS LEGEND

- SEE KEYNOTES FOR SCOPE OF WORK
- (E) CLERESTORY LOUVERS
 - (E) BRICK MASONRY
 - (E) WINDOWS TO BE REPAIRED, REF. KEYNOTES
 - NEW WINDOWS TO BE PROVIDED, REF. KEYNOTES
 - UNCLEAR IF (E) SASH REMAINS BEHIND WD COVERING

TYP CONDITIONS LEGEND
 SEE DWGS A703 THROUGH A706 FOR ADDITIONAL INFORMATION ON REPAIR

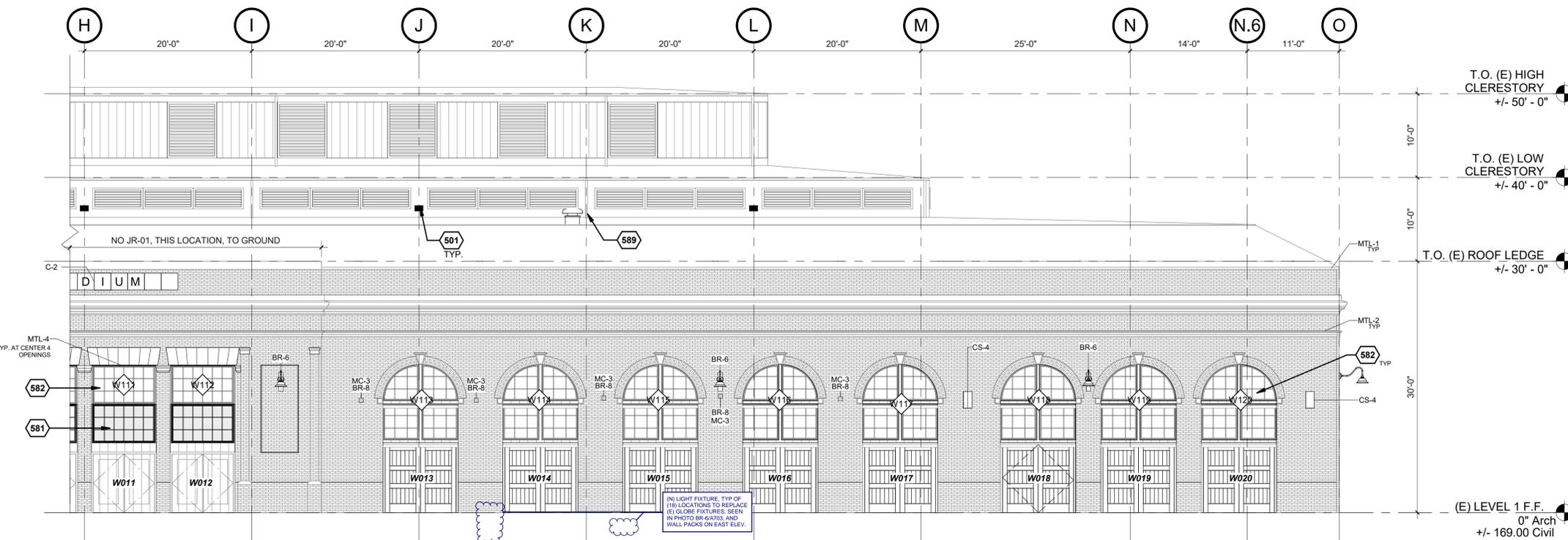
- BR BRICK
- JR JOINT REPAIR
- MC MASONRY CLEANING
- CS CAST STONE REPAIR
- C CONCRETE REPAIR
- MTL METAL REPAIR
- WD WOOD
- DR DOOR
- W WINDOW

SEE KEYNOTES FOR SCOPE OF WORK



1. WEST ELEVATION

A502 SCALE: 1/8" = 1'-0"

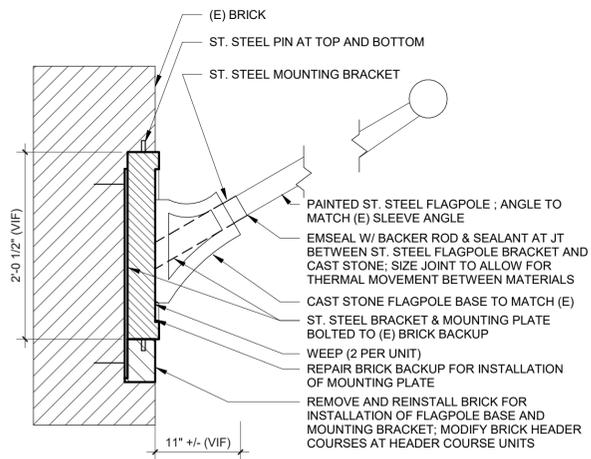


2. WEST ELEVATION CONT'D

A502 SCALE: 1/8" = 1'-0"

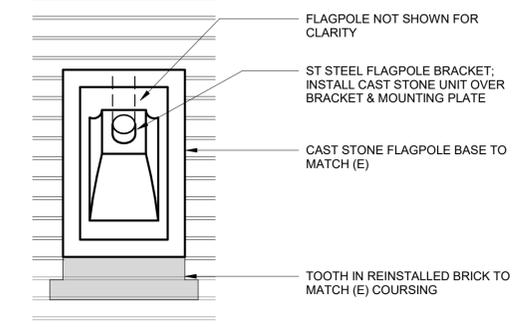
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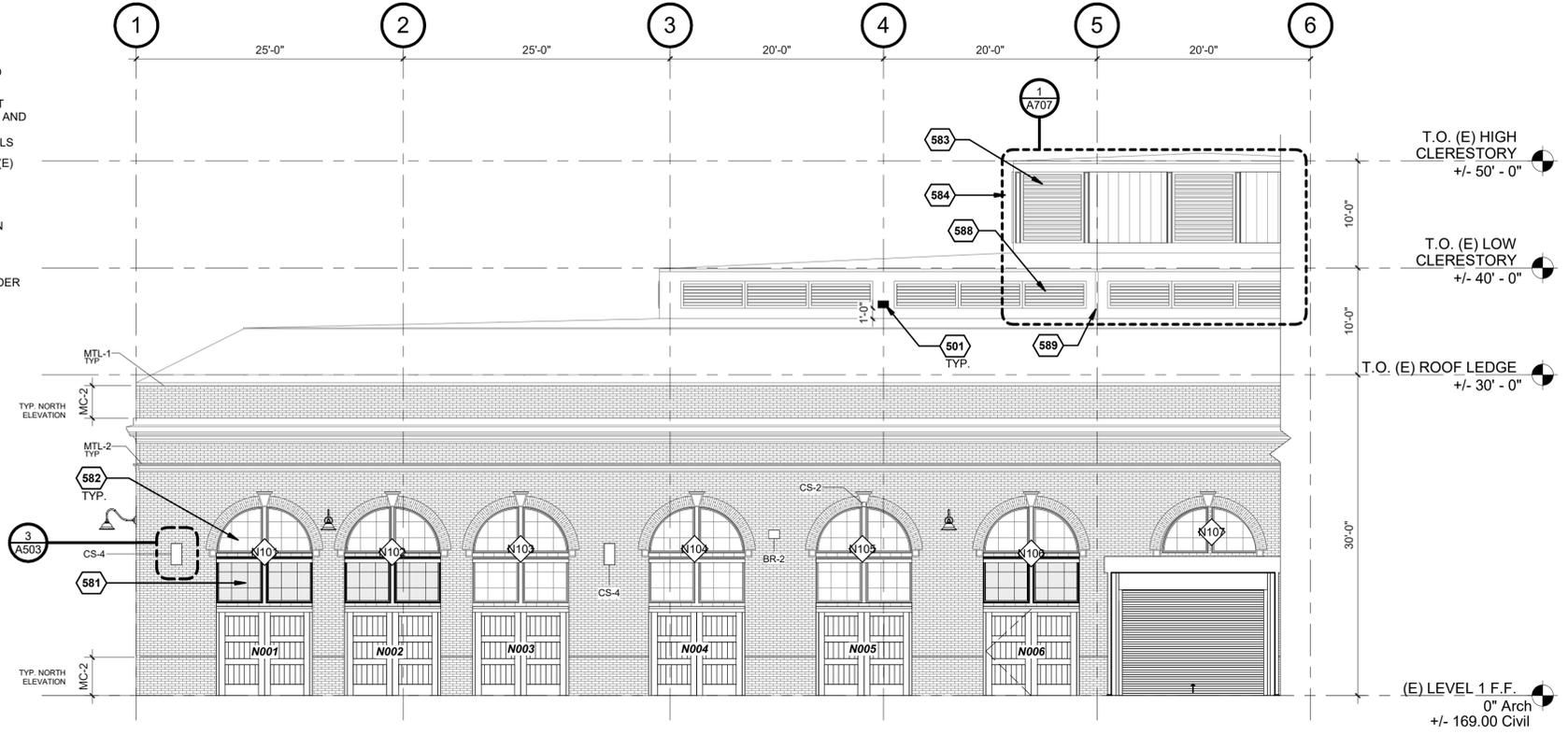
4. FLAGPOLE SECTION

A503 SCALE: 1" = 1'-0"



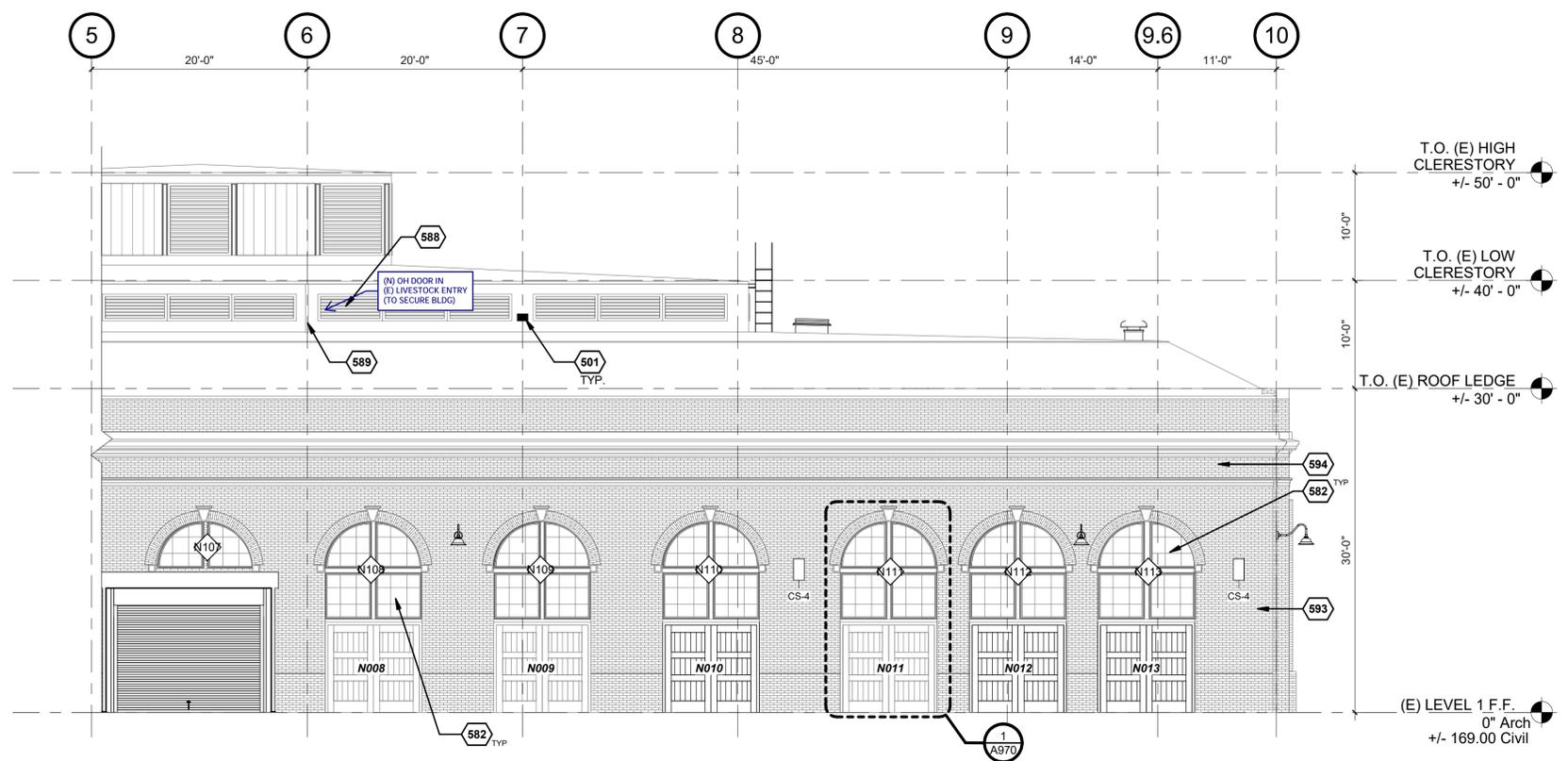
3. FLAGPOLE ELEVATION

A503 SCALE: 1" = 1'-0"



1. NORTH ELEVATION

A503 SCALE: 1/8" = 1'-0"



2. NORTH ELEVATION CONT'D

A503 SCALE: 1/8" = 1'-0"

GENERAL NOTES

- CLEAN 100% OF EXISTING MASONRY, INCLUDING BRICK, CAST STONE, & CONCRETE, WITH ADDITIONAL CLEANING LOCATIONS & PAINT REMOVAL AS NOTED ON ELEVATIONS & DWG A703.
- SUBMIT REPAIR SCHEDULE FOR ARCHITECT'S REVIEW PRIOR TO THE START OF WORK, SHOWING FINAL LOCATIONS, CONDITIONS, QUANTITIES, AND TREATMENTS INTENDED FOR BRICK, CAST STONE, CONCRETE, & WOOD. SEE DWGS A703 THROUGH A707 FOR TYPICAL CONDITIONS, REPAIRS & ESTIMATED QUANTITIES.
- REPAIR/REPLACEMENT LOCATIONS SHOWN IN THE DRAWINGS ARE DIAGRAMMATIC. QUANTITIES OF WORK MAY BE APPLIED ELSEWHERE ON THE BUILDING AT LOCATIONS VERIFIED BY CONTRACTOR DURING SURVEY AND SUBMITTED IN REPAIR SCHEDULE.
- PREP, PRIME & PAINT ALL EXTERIOR WD & METAL SURFACES SURFACES INCLUDING DOORS, WINDOWS, DOOR & WINDOW FRAMES, LOUVERS AND TRIM, UNO.
- REPAIR CONDITIONS INDICATED ON ELEVATIONS SHOW REPRESENTATIVE LOCATIONS FOR TYPICAL REPAIRS & DO NOT INDICATE ALL REPAIR LOCATIONS; SEE TYP. CONDITIONS AND REPAIRS DRAWINGS FOR BID QUANTITIES.
- MASONRY CLEANING **MC-1**: TYP AT ALL ELEVATIONS
- JOINT REPAIR **JR-1**: TYP AT ALL ELEVATIONS

KEYNOTES

- ADD FALL PROTECTION ANCHORS TO (E) CLERESTORY WALL - DELEGATED DESIGN, ALIGN WITH BOTTOM OF LOUVER. SEE STRUCTURAL FOR MOUNTING DETAIL
- REPAIR (E) WD FRAME. ASSUME SASH IS MISSING. PROVIDE (N) WITHIN (E) FRAME. IF ORIGINAL IS INTACT, DISMANTLE, SALVAGE, REPAIR, AND REINSTALL (E) WD SASH
- REPAIR (E) WD FRAME, DISMANTLE, SALVAGE, REPAIR, AND REINSTALL (E) WD SASH AT ARCHED WINDOWS (TYP) AND RECTANGULAR SASH UNLESS OTHERWISE NOTED. REFER TO WINDOW SCHEDULE FOR ADDITIONAL INFORMATION
- REPAIR (E) WD LOUVERS. SEE TYPICAL CLERESTORY CONDITIONS FOR ADDITIONAL INFORMATION
- REPLACE T111 CLADDING IN KIND AT UPPER CLERESTORY; 100 PERCENT AT WEST & SOUTH ELEVATIONS; ALLOW FOR 30 PERCENT REPLACEMENT OF DAMAGED AREAS AT EAST & NORTH ELEVATIONS (LOCATIONS TO BE CONFIRMED BY CONTRACTOR & INDICATED IN REPAIR SCHEDULE)
- (E) MTL LOUVERS TO REMAIN AT LOWER CLERESTORY, TYP.
- (E) MTL LEADERS TO REMAIN AT CLERESTORIES, TYP. REINSTALL (E) SALVAGED LEADERS WHERE REQUIRED DUE TO REPLACEMENT OF CLADDING AT UPPER CLERESTORY
- REMOVE ALL ABANDONED METAL PIPES, ANCHORS AND OTHER OBJECTS ATTACHED TO THE EXTERIOR OF THE BUILDING. REPAIR AS SPECIFIED.
- SEE ELECTRICAL DWGS FOR REMOVAL & RELOCATION OF ALL ACTIVE AND INACTIVE EXTERIOR ELECTRICAL, PHONE, AND OTHER UTILITIES.

MATERIALS LEGEND

- SEE KEYNOTES FOR SCOPE OF WORK
- (E) CLERESTORY LOUVERS
 - (E) BRICK MASONRY
 - (E) WINDOWS TO BE REPAIRED, REF. KEYNOTES
 - NEW WINDOWS TO BE PROVIDED, REF. KEYNOTES
 - UNCLER IF (E) SASH REMAINS BEHIND WD COVERING

TYP CONDITIONS LEGEND
SEE DWGS A703 THROUGH A706 FOR ADDITIONAL INFORMATION ON REPAIR

- BR BRICK
- JR JOINT REPAIR
- MC MASONRY CLEANING
- CS CAST STONE REPAIR
- C CONCRETE REPAIR
- MTL METAL REPAIR
- WD WOOD
- DR DOOR
- W WINDOW

SEE KEYNOTES FOR SCOPE OF WORK



CONSULTANT:
 Architectural Resources Group

PROJECT NUMBER: 221035

OSFEC - PRESERVATION & CAPITAL IMPROVEMENT PROJECTS - BLDG 24 - HISTORIC HORSE STADIUM

2330 17TH ST NE
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BUILDING NUMBER:

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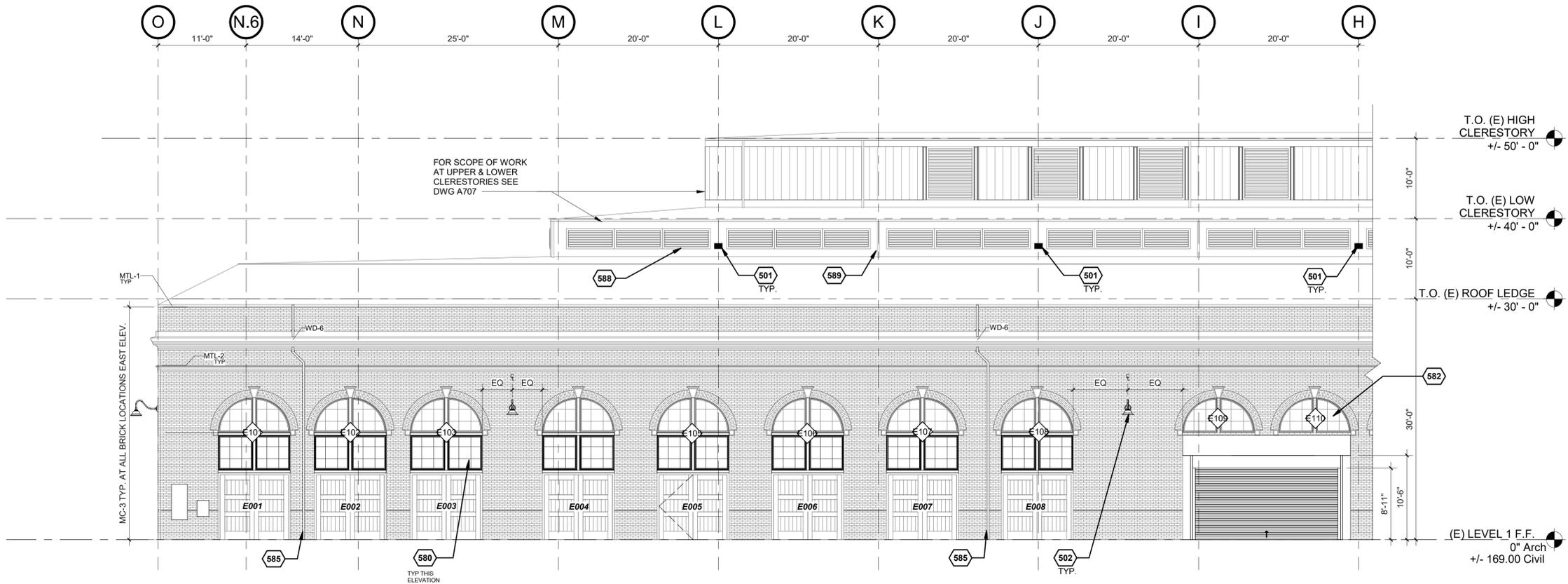
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NORTH ELEVATION

DRAWN BY: ARG
DATE CREATED: 06.17.22

SHEET:
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Construction Documents 100%
09.09.2022

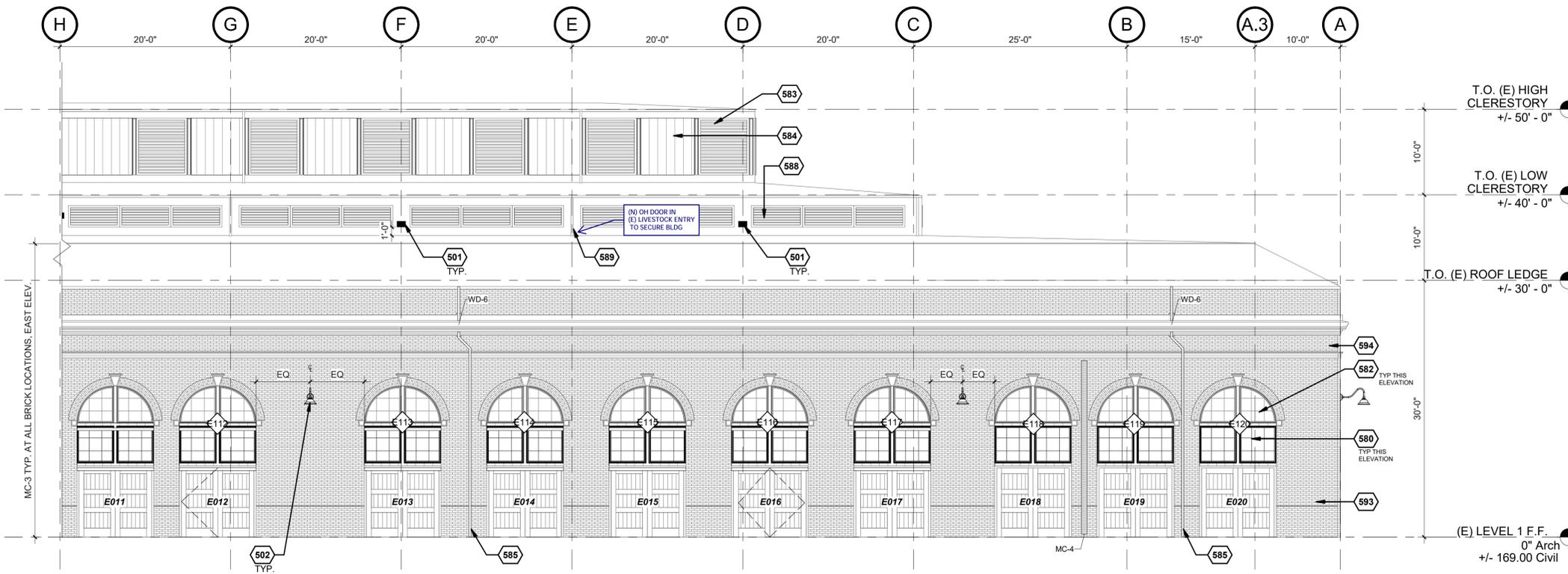
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1. EAST ELEVATION

A504 SCALE: 1/8" = 1'-0"



2. EAST ELEVATION CONT'D

A504 SCALE: 1/8" = 1'-0"

GENERAL NOTES

- CLEAN 100% OF EXISTING MASONRY, INCLUDING BRICK, CAST STONE, & CONCRETE, WITH ADDITIONAL CLEANING LOCATIONS & PAINT REMOVAL AS NOTED ON ELEVATIONS & DWG A703.
- SUBMIT REPAIR SCHEDULE FOR ARCHITECT'S REVIEW PRIOR TO THE START OF WORK, SHOWING FINAL LOCATIONS, CONDITIONS, QUANTITIES, AND TREATMENTS INTENDED FOR BRICK, CAST STONE, CONCRETE, & WOOD. SEE DWGS A703 THROUGH A707 FOR TYPICAL CONDITIONS, REPAIRS & ESTIMATED QUANTITIES.
- REPAIR/REPLACEMENT LOCATIONS SHOWN IN THE DRAWINGS ARE DIAGRAMMATIC. QUANTITIES OF WORK MAY BE APPLIED ELSEWHERE ON THE BUILDING AT LOCATIONS VERIFIED BY CONTRACTOR DURING SURVEY AND SUBMITTED IN REPAIR SCHEDULE.
- PREP, PRIME & PAINT ALL EXTERIOR WD & METAL SURFACES INCLUDING DOORS, WINDOWS, DOOR & WINDOW FRAMES, LOUVERS AND TRIM, UNO.
- REPAIR CONDITIONS INDICATED ON ELEVATIONS SHOW REPRESENTATIVE LOCATIONS FOR TYPICAL REPAIRS & DO NOT INDICATE ALL REPAIR LOCATIONS; SEE TYP. CONDITIONS AND REPAIRS DRAWINGS FOR BID QUANTITIES.
- MASONRY CLEANING **MC-1**: TYP AT ALL ELEVATIONS
- JOINT REPAIR **JR-1**: TYP AT ALL ELEVATIONS

KEYNOTES

- ADD FALL PROTECTION ANCHORS TO (E) CLERESTORY WALL - DELEGATED DESIGN, ALIGN WITH BOTTOM OF LOUVER. SEE STRUCTURAL FOR MOUNTING DETAIL.
- ADD GOOSENECK LIGHTING FIXTURES TO EAST ELEVATION, CENTER ON (E) MASONRY AS SHOWN. MOUNTING HEIGHT TO MATCH GOOSENECK FIXTURES ON OTHER ELEVATIONS, VIF. SEE ELECTRICAL.
- REPAIR (E) WD FRAME, PROVIDE WD SASH TO MATCH ORIGINAL CONFIGURATION.
- REPAIR (E) WD FRAME, DISMANTLE, SALVAGE, REPAIR, AND REINSTALL (E) WD SASH AT ARCHED WINDOWS (TYP) AND RECTANGULAR SASH UNLESS OTHERWISE NOTED. REFER TO WINDOW SCHEDULE FOR ADDITIONAL INFORMATION.
- REPAIR (E) WD LOUVERS, SEE TYPICAL CLERESTORY CONDITIONS FOR ADDITIONAL INFORMATION.
- REPLACE T111 CLADDING IN KIND AT UPPER CLERESTORY; 100 PERCENT AT WEST & SOUTH ELEVATIONS; ALLOW FOR 30 PERCENT REPLACEMENT OF DAMAGED AREAS AT EAST & NORTH ELEVATIONS (LOCATIONS TO BE CONFIRMED BY CONTRACTOR & INDICATED IN REPAIR SCHEDULE).
- (E) LEADERS TO REMAIN
- (E) MTL LOUVERS TO REMAIN AT LOWER CLERESTORY, TYP.
- (E) MTL LEADERS TO REMAIN AT CLERESTORIES, TYP. REINSTALL (E) SALVAGED LEADERS WHERE REQUIRED DUE TO REPLACEMENT OF CLADDING AT UPPER CLERESTORY.
- REMOVE ALL ABANDONED METAL PIPES, ANCHORS AND OTHER OBJECTS ATTACHED TO THE EXTERIOR OF THE BUILDING. REPAIR AS SPECIFIED.
- SEE ELECTRICAL DWGS FOR REMOVAL & RELOCATION OF ALL ACTIVE AND INACTIVE EXTERIOR ELECTRICAL, PHONE, AND OTHER UTILITIES.

MATERIALS LEGEND

- SEE KEYNOTES FOR SCOPE OF WORK
- (E) CLERESTORY LOUVERS
 - (E) BRICK MASONRY
 - (E) WINDOWS TO BE REPAIRED, REF. KEYNOTES
 - NEW WINDOWS TO BE PROVIDED, REF. KEYNOTES
 - UNCLEAR IF (E) SASH REMAINS BEHIND WD COVERING

TYP CONDITIONS LEGEND
SEE DWGS A703 THROUGH A706 FOR ADDITIONAL INFORMATION ON REPAIR

- BR BRICK
- JR JOINT REPAIR
- MC MASONRY CLEANING
- CS CAST STONE REPAIR
- C CONCRETE REPAIR
- MTL METAL REPAIR
- WD WOOD
- DR DOOR
- W WINDOW

SEE KEYNOTES FOR SCOPE OF WORK



CONSULTANT:



PROJECT NUMBER: 221035

OSFEC - PRESERVATION & CAPITAL IMPROVEMENT PROJECTS - BLDG 24 - HISTORIC HORSE STADIUM

2330 17TH ST NE
SALEM, OR 97301

BUILDING NUMBER:

24

SHEET TITLE:

EAST ELEVATION

DRAWN BY: ARG
DATE CREATED: 06.17.22

SHEET:

A504
Construction Documents 100%
09.09.2022



GENERAL NOTES

- CLEAN 100% OF EXISTING MASONRY, INCLUDING BRICK, CAST STONE, & CONCRETE, WITH ADDITIONAL CLEANING LOCATIONS & PAINT REMOVAL AS NOTED ON ELEVATIONS & DWG A703.
- SUBMIT REPAIR SCHEDULE FOR ARCHITECT'S REVIEW PRIOR TO THE START OF WORK, SHOWING FINAL LOCATIONS, CONDITIONS, QUANTITIES, AND TREATMENTS INTENDED FOR BRICK, CAST STONE, CONCRETE, & WOOD. SEE DWGS A703 THROUGH A707 FOR TYPICAL CONDITIONS, REPAIRS & ESTIMATED QUANTITIES.
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- PREP, PRIME & PAINT ALL EXTERIOR WD & METAL SURFACES INCLUDING DOORS, WINDOWS, WINDOW FRAMES, LOUVERS AND TRIM, UNO.
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- MASONRY CLEANING **MC-1**: TYP AT ALL ELEVATIONS
- JOINT REPAIR **JR-1**: TYP AT ALL ELEVATIONS

KEYNOTES

- ADD FALL PROTECTION ANCHORS TO (E) CLERESTORY WALL - DELEGATED DESIGN, ALIGN WITH BOTTOM OF LOUVER. SEE STRUCTURAL FOR MOUNTING DETAIL
- REPAIR (E) WD FRAME, PROVIDE WD SASH TO MATCH ORIGINAL CONFIGURATION
- REPAIR (E) WD FRAME, ASSUME SASH IS MISSING, PROVIDE (N) WITHIN (E) FRAME. IF ORIGINAL IS INTACT, DISMANTLE, SALVAGE, REPAIR, AND REINSTALL (E) WD SASH
- REPAIR (E) WD FRAME, DISMANTLE, SALVAGE, REPAIR, AND REINSTALL (E) WD SASH AT ARCHED WINDOWS (TYP) AND RECTANGULAR SASH UNLESS OTHERWISE NOTED. REFER TO WINDOW SCHEDULE FOR ADDITIONAL INFORMATION
- REPAIR (E) WD LOUVERS. SEE TYPICAL CLERESTORY CONDITIONS FOR ADDITIONAL INFORMATION
- REPLACE T111 CLADDING IN KIND AT UPPER CLERESTORY: 100 PERCENT AT WEST & SOUTH ELEVATIONS; ALLOW FOR 30 PERCENT REPLACEMENT OF DAMAGED AREAS AT EAST & NORTH ELEVATIONS (LOCATIONS TO BE CONFIRMED BY CONTRACTOR & INDICATED IN REPAIR SCHEDULE)
- (E) MTL LOUVERS TO REMAIN AT LOWER CLERESTORY, TYP.
- (E) MTL LEADERS TO REMAIN AT CLERESTORIES, TYP. REINSTALL (E) SALVAGED LEADERS WHERE REQUIRED DUE TO REPLACEMENT OF CLADDING AT UPPER CLERESTORY
- REMOVE ALL ABANDONED METAL PIPES, ANCHORS AND OTHER OBJECTS ATTACHED TO THE EXTERIOR OF THE BUILDING. REPAIR AS SPECIFIED.
- SEE ELECTRICAL DWGS FOR REMOVAL & RELOCATION OF ALL ACTIVE AND INACTIVE EXTERIOR ELECTRICAL, PHONE, AND OTHER UTILITIES.

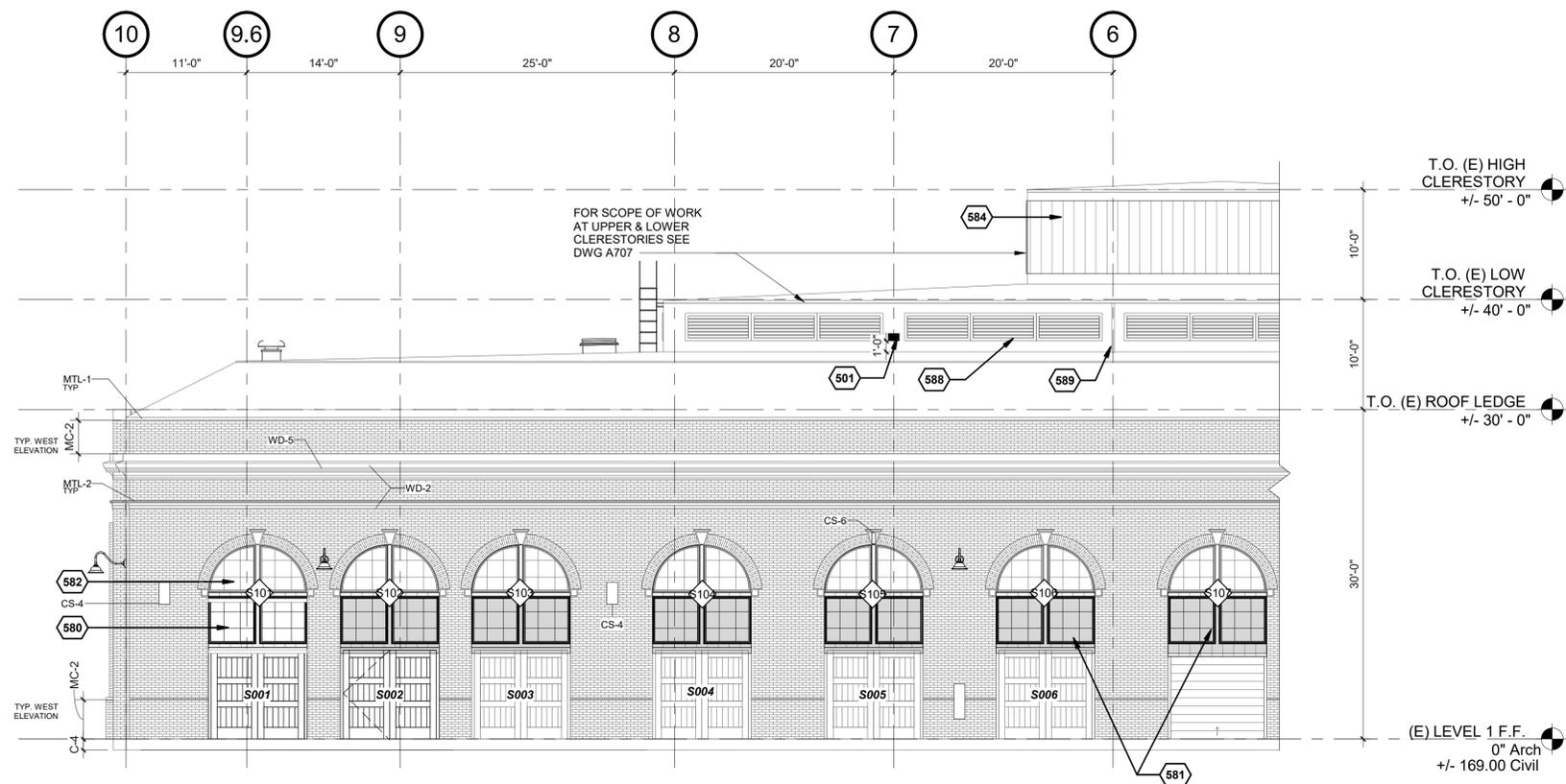
MATERIALS LEGEND

- SEE KEYNOTES FOR SCOPE OF WORK
- (E) CLERESTORY LOUVERS
 - (E) BRICK MASONRY
 - (E) WINDOWS TO BE REPAIRED, REF. KEYNOTES
 - NEW WINDOWS TO BE PROVIDED, REF. KEYNOTES
 - UNCLEAR IF (E) SASH REMAINS BEHIND WD COVERING

TYP CONDITIONS LEGEND
SEE DWGS A703 THROUGH A706 FOR ADDITIONAL INFORMATION ON REPAIR

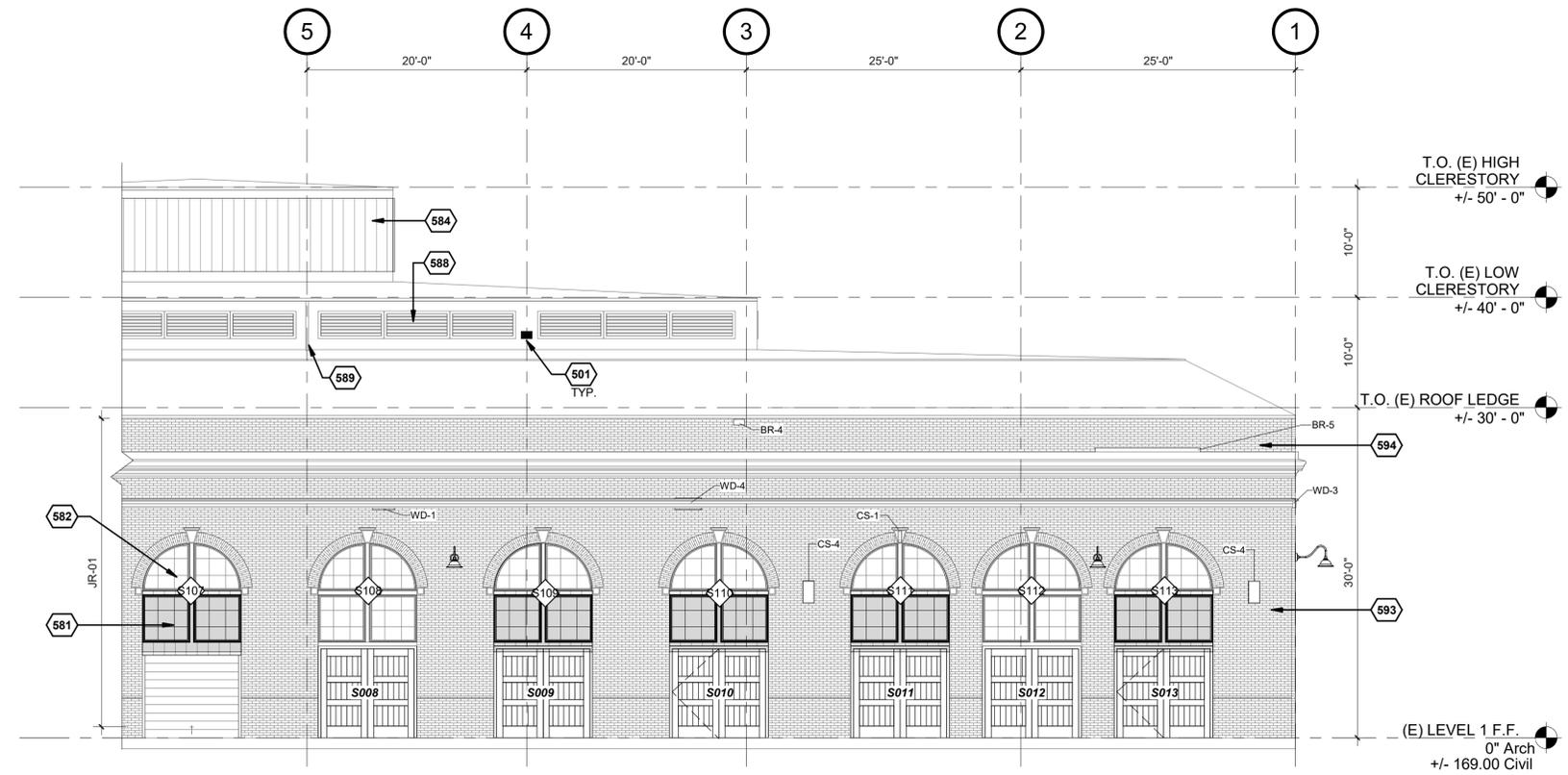
- BR BRICK
- JR JOINT REPAIR
- MC MASONRY CLEANING
- CS CAST STONE REPAIR
- C CONCRETE REPAIR
- MTL METAL REPAIR
- WD WOOD
- DR DOOR
- W WINDOW

SEE KEYNOTES FOR SCOPE OF WORK



1. SOUTH ELEVATION

A505 SCALE: 1/8" = 1'-0"



2. SOUTH ELEVATION CONT'D

A505 SCALE: 1/8" = 1'-0"

(E) OH DOOR TO REMAIN FOR LIVESTOCK USE (NOT ORIG TO BLDG)

BIM 360/221035 - OSFEC Renovations/221035_OSFEC PC/IF_BLDG24_ARCH_R20_B360.rvt

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EXTERIOR DOOR SCHEDULE

DOOR IDENTITY MARK	(E) TO BE REPAIRED	(N) NEW	NOT ACCESSIBLE FOR SURVEY	DOOR PROPERTIES					FRAME PROPERTIES		Replace Brick Mould	DOOR OPERATION			COMMENTS		
				WIDTH	HEIGHT	THICKNESS	DOOR TYPE	DOOR MATERIAL	DOOR FINISH	DOOR GLAZING		FRAME TYPE	FRAME FINISH	OPERABLE		FIXED	HARDWARE GROUP
W001		X	X	8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01A	
W002		X	X	8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01A	
W003		X	X	8'-6"	8'-1"	1 3/4"	2	WD	PT	-	A	PT	X	X		24-04	
W004		X	X	8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01A	
W005		X	X	8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01A	
W006		X	X	8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01A	
W007		X	X	8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01A	
W008		X	X	8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01A	
W009	X			7'-4"	7'-0"	1 3/4"	4	HM	PT	E	B	PT	X	X		24-03	KEYNOTE G
W010	X			7'-4"	7'-0"	1 3/4"	4	HM	PT	E	B	PT	X	X		24-03	KEYNOTE G
W011	X			7'-4"	7'-0"	1 3/4"	4	HM	PT	E	B	PT	X	X		24-03	KEYNOTE G
W012	X			7'-4"	7'-0"	1 3/4"	4	HM	PT	E	B	PT	X	X		24-03	KEYNOTE G
W013		X	X	8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01A	
W014		X	X	8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01A	
W015		X	X	8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01A	
W016		X	X	8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01A	
W017		X	X	8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01A	
W018		X	X	8'-6"	8'-1"	1 3/4"	2	WD	PT	-	A	PT	X	X		24-04	
W019		X	X	8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01A	
W020		X	X	8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01A	PROVIDE CONC. INFILL WALL AT TOP OF (E) FOUNDATION WALL TO MATCH ADJACENT (E) AT SOUTH PORTION OF OPNG
N001		X	X	8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01A	
N002		X	X	8'-6"	8'-1"	1 3/4"	3	WD	PT	-	A	PT	X	X		24-02	KEYNOTES E, F
N003		X	X	8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01A	
N004		X	X	8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01A	
N005		X	X	8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01A	
N006		X	X	8'-6"	8'-1"	1 3/4"	3	WD	PT	-	A	PT	X	X		24-02	KEYNOTE F
N008	X			8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01B	KEYNOTES B, C
N009	X			8'-6"	8'-1"	1 3/4"	3	WD	PT	-	A	PT	X	X		24-02	KEYNOTES A, C, F
N010		X	X	8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01A	
N011	X			8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01B	KEYNOTE C
N012		X	X	8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01A	
N013		X	X	8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01A	
E001	X			8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01B	
E002	X			8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01B	
E003	X			8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01B	
E004	X			8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01B	
E005	X			8'-6"	8'-1"	1 3/4"	3	WD	PT	-	A	PT	X	X		24-02	KEYNOTES A, F
E006	X			8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01B	
E007	X			8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01B	
E008	X			8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01B	
E011		X	X	8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01A	
E012	X			8'-6"	8'-1"	1 3/4"	3	WD	PT	-	A	PT	X		X	24-02	KEYNOTES A, F
E013	X			8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01B	
E014	X			8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01B	
E015	X			8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01B	
E016	X			8'-6"	8'-1"	1 3/4"	2	WD	PT	-	A	PT	X		X	24-04	
E017	X			8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01B	
E018	X			8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01B	
E019	X			8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01B	
E020	X			8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01B	
S001		X	X	8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01A	
S002		X	X	8'-6"	8'-1"	1 3/4"	3	WD	PT	-	A	PT	X	X		24-02	KEYNOTE F
S003	X			8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01B	
S004	X			8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01B	
S005	X			8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01B	
S006	X			8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01B	
S007	X			8'-6"	7'-6"	2"	-	STL	PT	-	A, SIM	PT	X	X			KEYNOTES D, F
S008		X	X	8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01A	
S009		X	X	8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01A	
S010		X	X	8'-6"	8'-1"	1 3/4"	3	WD	PT	-	A	PT	X	X		24-02	KEYNOTE F
S011		X	X	8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01A	
S012		X	X	8'-6"	8'-1"	1 3/4"	1	WD	PT	-	A	PT	X		X	24-01A	
S013		X	X	8'-6"	8'-1"	1 3/4"	3	WD	PT	-	A	PT	X	X		24-02	KEYNOTES E, F

DOOR GENERAL NOTES

GENERAL EXTERIOR DOOR NOTES

- SEE A201 FOR DOOR TAGS.
- CONTRACTOR TO VERIFY IN FIELD ALL DIMENSIONS. APPROXIMATE DIMENSIONS ARE PROVIDED FOR REFERENCE ONLY.
- PROTECT ALL BRICK ELEMENTS FROM DOOR REPAIR WORK.
- REMOVE (E) WOOD SIDING AND BOARDS COVERING DOORS. TO RETURN FRAME TO ORIGINAL CONFIGURATION (EXTERIOR AND INTERIOR LOCATIONS, VARIES). REMOVALS INCLUDE NON-ORIGINAL WD INFILL FRAMING, & HM DOORS.
- COORDINATE ABATEMENT WORK WITH THE RECOMMENDATIONS FOR THE HAZARDOUS MATERIALS DOCUMENTS.
- AFTER REMOVAL OF COVERINGS OBTAINING DOORS. CONTRACTOR TO CONFIRM REPAIR SCHEDULE FOR ALL DOORS AND SUBMIT FOR ARCHITECT'S REVIEW PRIOR TO START OF WORK.
- DISMANTLE, DOCUMENT, & SALVAGE ALL ORIGINAL WD DOORS FOR REINSTALLATION. RETAIN ALL (E) DOOR HARDWARE.
- REPAIR LOCATIONS ARE DIAGRAMMATIC. QUANTITIES OF WORK SHOWN IN THE DOOR REPAIR SCHEDULE MAY BE APPLIED ELSEWHERE AT LOCATIONS VERIFIED BY CONTRACTOR. TOTAL REPAIR QUANTITIES ARE LISTED ON SHEETS A703-A707.
- SUBMIT DOOR REPAIR SCHEDULE FOR APPROVAL PRIOR TO START OF WORK, DELINEATING THE SCOPE OF PROPOSED REPAIR, RESTORATION AND REPLACEMENT WORK AT EACH DOOR OPENING.
- REMOVE PAINT AND SEALANT RESIDUE AT ADJACENT EXISTING MASONRY (ENTIRE PERIMETER).
- ALL EXISTING EXTERIOR UNITS, COMPONENTS, & INFILL REPAIRS (DUTCHMAN) TO MATCH ORIGINAL WOOD SPECIES, GRADE, GRAIN, JOINERY, PROFILES & CONFIGURATION.

TYPICAL EXTERIOR DOOR REPAIR NOTES

APPLY THE FOLLOWING REPAIRS TO ALL DOORS & FRAMES:

- REMOVE NAILS, FASTENERS, AND OTHER OBSOLETE HARDWARE.
- FILL ALL HOLES IN FRAMES AND DOOR LEAFS.
- PROVIDE TYPICAL MAINTENANCE REPAIRS FOR ALL DOORS. REFURBISH (E) HARDWARE TO REMAIN TO PROPER WORKING ORDER FOR OPERABLE DOORS. STRIP PAINT AT ALL (E) HARDWARE TO BE REUSED. PREPARE DOOR FOR FINISH.
- FOR EXISTING EXTERIOR DOORS TO REMAIN, PROVIDE WOOD DUTCHMAN REPAIRS AND MODIFY ELEMENTS AS NECESSARY FOR ALL HARDWARE/ DEVICE CUTOUTS.
- ALL REPLACEMENT COMPONENTS TO MATCH ORIGINAL PROFILES.
- DOORS MUST HAVE WORKING LOCKING FUNCTION.
- PREP, PRIME, AND PAINT ALL NEW AND EXISTING DOORS INCLUDING FRAMES, TRIM, BRICK MOULD, STRAP HINGES, AND DOOR PULLS. INCLUDE PREP, PRIME AND PAINT OF UNEXPOSED SURFACES OF NEW COMPONENTS.
- CLEAN OVERPAINT AND TAPE OF GLAZING.
- 100% SEALANT REPLACEMENT AROUND DOOR FRAMES.
- REMOVE ALL (E) WEATHERSTRIPPING.

NOT ALL DOOR LOCATIONS WERE ACCESSIBLE DURING THE SURVEY. ADDITIONAL REPAIRS AT (E) DOORS TO REMAIN ARE TO BE CONFIRMED AFTER WD INFILL COVERINGS HAVE BEEN REMOVED & NOTED IN THE DOOR REPAIR SCHEDULE.

EXTERIOR DOOR KEYNOTES

- MODIFY EXISTING DOORS & RELOCATE TO EXTERIOR SIDE OF FRAME STOP TO SWING IN DIRECTION OF EGRESS.
- MODIFY EXISTING DOORS AND RELOCATE TO INTERIOR SIDE OF FRAME.
- REMOVE PADLOCKS & ASSOCIATED ANCHORS & PROVIDE WOOD PLUG REPAIRS.
- EXISTING OVERHEAD DOOR & FRAME TO REMAIN. DISMANTLE & REINSTALL IF REQUIRED FOR WORK AT TRANSOM WINDOWS ABOVE.
- REPLACE WOOD FRAME TO MATCH ORIGINAL.
- PROVIDE ASPHALT TOPPING TO SLOPE FROM (E) CONCRETE DOOR THRESHOLD TO PROVIDE CODE-COMPLIANT PATH FOR EGRESS. SEE 2/A970.
- REPLACE EXT. WOOD TRIM AT JAMB W/ NEW WOOD TRIM TO MATCH, SCRIBED AT BOTTOM TO CAST STONE BASE PROFILE.



CONSULTANT:



PROJECT NUMBER: 221035

OSFEC - PRESERVATION & CAPITAL IMPROVEMENT PROJECTS - BLDG 24 - HISTORIC HORSE STADIUM

2330 17TH ST NE SALEM, OR 97301

BUILDING NUMBER:

24

SHEET TITLE:
DOOR TYPES AND SCHEDULE

DRAWN BY: ARG
DATE CREATED: 06.17.22

SHEET:
A701.1
Construction Documents 100%
09.09.2022

GENERAL NOTES

WINDOW SCHEDULE GENERAL NOTES

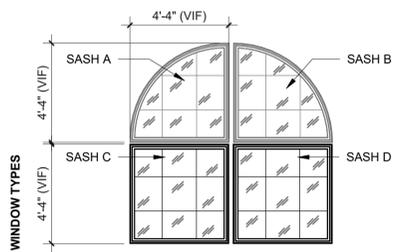
- SEE REPAIR ELEVATIONS FOR WINDOW TAGS.
- CONTRACTOR TO VERIFY IN FIELD DIMENSIONS. APPROXIMATE DIMENSIONS ARE PROVIDED FOR REFERENCE ONLY.
- PROTECT ALL MASONRY ELEMENTS FROM WINDOW REPAIR WORK.
- SOME (E) CONDITIONS ARE HIDDEN AT LOCATIONS WHERE (E) WOOD SIDING AND BOARDS COVER WINDOWS.
- REMOVE (E) WOOD SIDING AND BOARDS COVERING WINDOWS, TO RETURN FRAME TO ORIGINAL CONFIGURATION (EXT. AND INT. LOCATIONS, VARIES).
- AFTER REMOVAL OF COVERINGS OBSCURING WINDOWS, CONTRACTOR TO CONFIRM REPAIR SCHEDULE FOR ALL WINDOWS AND SUBMIT FOR ARCHITECT'S REVIEW PRIOR TO START OF WORK.
- REMOVE PAINT AND SEALANT RESIDUE AT ADJACENT EXISTING MASONRY (ENTIRE PERIMETER).
- ALL REPLACEMENT UNITS AND COMPONENTS TO MATCH ORIGINAL WOOD SPECIES, GRADE, GRAIN, JOINERY AND PROFILES.
- COORDINATE ABATEMENT WORK WITH THE RECOMMENDATIONS FOR THE HAZARDOUS MATERIALS DOCUMENTS.
- FOR RELOCATED OR NEW FRAMES, PROVIDE ANCHORAGE APPROPRIATE TO SUBSTRATE CONFIGURATION.
- REPAIR LOCATIONS ARE DIAGRAMMATIC. QUANTITIES OF WORK SHOWN IN THE WINDOW REPAIR SCHEDULE MAY BE APPLIED ELSEWHERE AT LOCATIONS VERIFIED BY CONTRACTOR. TOTAL REPAIR QUANTITIES ARE LISTED ON SHEETS A703-A707.
- SUBMIT WINDOW REPAIR SCHEDULE FOR APPROVAL PRIOR TO START OF WORK, DELINEATING THE SCOPE OF PROPOSED REPAIR, RESTORATION AND REPLACEMENT WORK AT EACH WINDOW.

TYPICAL REPAIRS

- AT ALL RECTANGULAR WINDOWS (TYPE 1) PROVIDE WOOD BRICK MOULD AT JAMBS & HEAD OF SASH C & D. PROFILE TO MATCH (E) BRICK MOULD PROFILE AT SASH A & B.
- AT ALL RECTANGULAR WINDOWS (TYPE 2) PROVIDE WOOD BRICK MOULD AT JAMBS & HEAD OF SASH F. PROFILE TO MATCH (E) BRICK MOULD PROFILE AT SASH E.
- REMOVE NAILS, FASTENERS, AND OTHER OBSOLETE HARDWARE.
- REPAIR (E) WINDOWS.
- WHERE EXISTING GLASS IS NOT DAMAGED, GLAZING TO BE REMOVED, SALVAGED, AND REINSTALLED. STRIP PAINT FROM (E) GLASS, CLEAN, AND RESURFACE, TYP.
- PROVIDE NEW GLASS WHERE DAMAGED OR MISSING. TYP.
- FILL ALL HOLES IN WINDOW FRAMES, SASHES, AND SILLS.
- REPLACE GLAZING PUTTY AT ALL EXISTING WINDOWS.
- PREP, PRIME, AND PAINT ALL NEW AND EXISTING WINDOWS INCLUDING SASH, FRAME, SILL, STOOL, AND BRICK MOULD. INCLUDE PREP, PRIME, AND PAINT OF UNEXPOSED SURFACES OF NEW COMPONENTS.

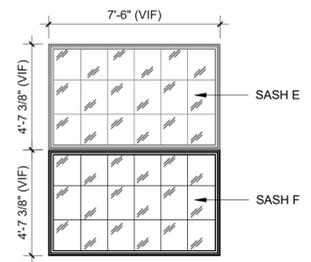
NOT ALL WINDOW LOCATIONS WERE ACCESSIBLE DURING THE SURVEY. ADDITIONAL REPAIRS AT WINDOWS TO REMAIN ARE TO BE CONFIRMED AFTER WD INFILL COVERINGS HAVE BEEN REMOVED & NOTED IN THE WINDOW REPAIR SCHEDULE.

WINDOW REPAIR SCHEDULE														Remarks
Mark	Window Type	Existing Windows		Window Repair Types										
		Existing Sash	New Sash	Broken Glazing unit count (W-1)	Repair Full WD Sill (W-2)	Repair Half WD Sill (W-3)	WD Sill Replacement unit count (W-4)	Frame Repair percentage of frame (W-5)	Dutchman Repair at Brick Mould (W-6)	Sash Repair percentage of sash (W-7)	Dutchman Repair @ stile and rail joint (W-8)	Perimeter of WD Frame at M.O. percentage of frame (W-9)		
FIRST FLOOR														
W101	1	A, B, C, D	-	1		1	1			1				1 HOLE THAT NEEDS PLUG @ FRAME
W102	1	A, B, C, D	-	1		1	1	50		50				
W103	1	A, B, C, D	-	1		1	1					25		
W104	1	A, B, C	D			1	1					25		
W105	1	A, B	C, D			1	1							
W106	1	A, B	C, D			1	1							
W107	1	A, B, C, D	-	3		1	1			1				
W108	1	A, B, C, D	-	1		1	1	50		50				REMOVE FLAGPOLE BRACKET, PROVIDE PLUGS AT FRAME
W109	2	E	F				1	50		50				
W110	2	E	F				1	50		50				
W111	2	E	F			1	1	50		50				
W112	2	E	F			1	1	50		50	2			
W113	1	A, B, C, D	-				1							REMOVE FLAGPOLE BRACKET, PROVIDE PLUGS AT FRAME
W114	1	A, B, C, D	-				1							
W115	1	A, B, C, D	-			1	1							
W116	1	A, B, C, D	-	1		1	1							
W117	1	A, B, C, D	-	1		1	1							
W118	1	A, B, C, D	-		1		1							
W119	1	A, B, C, D	-	1		1	1							
W120	1	A, B, C, D	-	3		1	1	50						1 HOLE THAT NEEDS PLUG @ SASH, REMOVE HARDWARE AT FRAME AND PROVIDE WOOD PLUG
N101	1	A, B	C, D	1		1	1	50						1 HOLE THAT NEEDS PLUG @ FRAME
N102	1	A, B	C, D	4		1	1							
N103	1	A, B, C, D	-				1							
N104	1	A, B, C, D	-	1		1	1							
N105	1	A, B, C, D	-				1							1 HOLE THAT NEEDS PLUG @ FRAME
N106	1	A, B	C, D			1	1	50		100				2 HOLES THAT NEED PLUG @ SASH, 1 @ FRAME
N107	1	A, B	-					50						OPENING PREVIOUSLY CONFIGURED FOR LARGER DOOR OPENING / 1 HOLE THAT NEEDS PLUG @ FRAME
N108	1	A, B, C, D	-											
N109	1	A, B, C, D	-	1										
N110	1	A, B, C, D	-	1			1							
N111	1	A, B, C, D	-	1										
N112	1	A, B, C, D	-				1							
N113	1	A, B, C, D	-	4		1	1	50						1 HOLE THAT NEEDS PLUG @ FRAME
E101	1	A, B	C, D											EAST ELEVATION WINDOWS NOT SURVEYED BY LIFT
E102	1	A, B	C, D											EAST ELEVATION WINDOWS NOT SURVEYED BY LIFT
E103	1	A, B	C, D											EAST ELEVATION WINDOWS NOT SURVEYED BY LIFT
E104	1	A, B	C, D											EAST ELEVATION WINDOWS NOT SURVEYED BY LIFT
E105	1	A, B	C, D											EAST ELEVATION WINDOWS NOT SURVEYED BY LIFT
E106	1	A, B	C, D	3										EAST ELEVATION WINDOWS NOT SURVEYED BY LIFT
E107	1	A, B	C, D											EAST ELEVATION WINDOWS NOT SURVEYED BY LIFT
E108	1	A, B	C, D											EAST ELEVATION WINDOWS NOT SURVEYED BY LIFT
E109	1	A, B	-											OPENING PREVIOUSLY CONFIGURED FOR LARGER DOOR OPENING / EAST ELEVATION WINDOWS NOT SURVEYED BY LIFT
E110	1	A, B	-											OPENING PREVIOUSLY CONFIGURED FOR LARGER DOOR OPENING
E111	1	A, B	C, D											EAST ELEVATION WINDOWS NOT SURVEYED BY LIFT
E112	1	A, B	C, D											EAST ELEVATION WINDOWS NOT SURVEYED BY LIFT
E113	1	A, B	C, D											EAST ELEVATION WINDOWS NOT SURVEYED BY LIFT
E114	1	A, B	C, D											EAST ELEVATION WINDOWS NOT SURVEYED BY LIFT
E115	1	A, B	C, D											EAST ELEVATION WINDOWS NOT SURVEYED BY LIFT
E116	1	A, B	C, D											EAST ELEVATION WINDOWS NOT SURVEYED BY LIFT
E117	1	A, B	C, D											EAST ELEVATION WINDOWS NOT SURVEYED BY LIFT
E118	1	A, B	C, D	1										EAST ELEVATION WINDOWS NOT SURVEYED BY LIFT
E119	1	A, B	C, D											EAST ELEVATION WINDOWS NOT SURVEYED BY LIFT
E120	1	A, B	C, D											EAST ELEVATION WINDOWS NOT SURVEYED BY LIFT
S101	1	A, B	C, D			1	1	100	1	2	25			2 HOLES THAT NEED TO BE PLUGGED @ FRAME
S102	1	A, B	C, D		1		1	50		1				1 HOLE THAT NEEDS PLUG @ FRAME
S103	1	A, B	C, D	2		1	1	50		50	2			
S104	1	A, B	C, D		1		1	100		100	2			
S105	1	A, B	C, D	1	1		1	100		50		25		
S106	1	A, B	C, D	1		1	1	50		50				
S107	1	A, B	C, D	3		1	1	100		100		25		3 HOLES THAT NEED PLUG @ FRAME
S108	1	A, B, C, D	-	1		1	1	50		50				
S109	1	A, B	C, D	1	1		1	50		100				
S110	1	A, B	C, D				2	100		100				
S111	1	A, B	C, D	2	1		1	50	1	50	2			
S112	1	A, B, C, D	-	1		1	1	50	1	50				
S113	1	A, B	C, D	3	1		1	50	1	50				



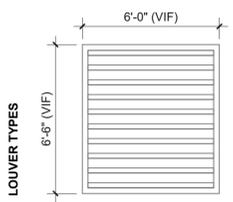
FIXED - TYPE 1
REFERENCE WINDOW SCHEDULE FOR REPAIR/ NEW TYPES

FOR WINDOW TYPE 1 DETAILS, SEE DETAIL 1/A970 FOR ADDITIONAL INFO

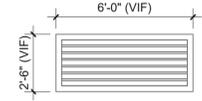


FIXED - TYPE 2
REFERENCE WINDOW SCHEDULE FOR REPAIR/ NEW TYPES

FOR WINDOW TYPE 2 DETAILS, SEE DETAIL 1/A973 FOR ADDITIONAL INFO



LOUVER - TYPE 3L
REPAIR EXISTING WD LOUVERS IN PLACE



LOUVER - TYPE 4L
EXISTING MTL LOUVERS TO REMAIN IN PLACE

SEE ELEVATIONS FOR LOCATIONS AND QUANTITIES OF LOUVERS



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BUILDING NUMBER:

24

SHEET TITLE:
WINDOW TYPES & SCHEDULE

DRAWN BY: ARG
DATE CREATED: 06.17.22

SHEET:
A702
Construction Documents 100% 09.09.2022

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BRICK CONDITIONS

BR-1 - BRICK REPAIR 1

- CONDITION: CRACKED OR SPALLED BRICK UNITS.
- REPAIR: SAWCUT AND REMOVE DAMAGED BRICK UNIT, AND REPLACE WITH IN-KIND BRICK UNIT. TOOTH-IN REPAIR.
- REPOINT MORTAR JOINTS.
- SCHEDULE QUANTITY BY UNIT COUNT

ESTIMATED QUANTITY: 12 PER ELEVATION



BR-2 - BRICK REPAIR 2

- CONDITION: HEAVILY DAMAGED OR MISSING BRICK, PREVIOUSLY REPLACED BRICK USING NON-ORIGINAL MATERIALS.
- REPAIR: SAWCUT AND REMOVE DAMAGED OR OTHER MATERIALS FROM REPAIR AREA, AND REPLACE WITH IN-KIND BRICK UNIT.
- REPOINT MORTAR JOINTS
- SCHEDULE QUANTITY BY UNIT COUNT

ESTIMATED QUANTITY: 12 PER ELEVATION



BR-3 - BRICK REPAIR 3

- CONDITION: CABLES FOR BANNERS & ASSOCIATED ANCHORS AT BRICK & CAST STONE
- REPAIR: REMOVE CABLES, ARMATURE, & UNUSED ANCHORS & PROVIDE MORTAR TO MATCH ADJACENT SURFACE
- SCHEDULE QUANTITY BY UNIT COUNT

ESTIMATED QUANTITY: 6 PER ELEVATION



BR-4 - BRICK REPAIR 4

- CONDITION: DISPLACED BRICK UNIT.
- REPAIR: SAWCUT AND REMOVE DISPLACED UNIT(S) AND REINSTALL SALVAGED UNIT(S). REPLACE WITH IN-KIND BRICK IF DAMAGED.
- SCHEDULE QUANTITY BY UNIT COUNT

ESTIMATED QUANTITY: 6 PER ELEVATION



BR-5 - BRICK REPAIR 5

- CONDITION: CHIPPED BRICK UNITS AT EDGE OF REGLET FLASHING.

ESTIMATED QUANTITY: FOR INFORMATION ONLY



BR-6 - BRICK REPAIR 6

- CONDITION: LIGHT FIXTURE MOUNTED TO BRICK.
- REPAIR: REMOVE LIGHT FIXTURE, ANCHORS, & CONDUIT. PROVIDE REPAIR MORTAR AT ANCHOR AND CONDUIT HOLES.
- SCHEDULE QUANTITY BY UNIT (1 UNIT)

ESTIMATED QUANTITY: 14 LT FIXTURES, ALLOW 4 ANCHORS & 1 CONDUIT HOLE PER FIXTURE; COORDINATE W/ NEW LIGHT FIXTURE LOCATIONS



BR-7 - GENERAL CONDITION

- CONDITION: LOSS OF FIRED CLAY OUTER LAYER, LIKELY FROM PREVIOUS SANDBLASTING TO REMOVE PAINT.

ESTIMATED QUANTITY: FOR INFORMATION ONLY



BR-8 - BRICK REPAIR 8

- CONDITION: ANCHOR AT BRICK OR PREV. REMOVED ANCHOR AT FORMER MOUNTING PLATE.
- REPAIR: REMOVE ANY REMAINING UNUSED ANCHORS & PROVIDE MORTAR TO MATCH ADJACENT SURFACE; SEE ALSO MC-3 FOR PAINT REMOVAL.
- SCHEDULE QUANTITY BY SQUARE FOOT (SF).

ESTIMATED QUANTITY: 11 (ALLOW 4 ANCHORS PER LOCATION)



JR-1 - BRICK JOINT REPAIR 1

- CONDITION: CRACKED, ERODED, CRUMBLING OR SPALLING, DE-BONDED OR MISSING MORTAR JOINTS AT BRICK MASONRY UNITS. MAY ALSO INCLUDE JOINTS PREVIOUSLY REPOINTED WITH NON-COMPATIBLE MORTAR.
- REPAIR: SAW-CUT AND RAKE OUT EXISTING DETERIORATED MORTAR, AND REPOINT WITH NEW MORTAR AS SPECIFIED.
- SCHEDULE QUANTITY BY LINEAR FOOT (LF)

ESTIMATED QUANTITY: 100% AT ALL BRICK AND CAST STONE ELEMENTS EXCEPT AS NOTED ON ELEVATIONS.



JR-2 - BRICK JOINT REPAIR 2

- CONDITION: FAILED SEALANT AND BACKER ROD.
- REPAIR: REMOVE SEALANT & BACKER ROD, PROVIDE NEW SEALANT AND BACKER ROD PER SPECIFICATIONS.
- SCHEDULE QUANTITY BY LINEAR FOOT (LF)

ESTIMATED QUANTITY: 100% AT ALL SHEET METAL TO STONE LOCATIONS



MC-1 - MASONRY CLEANING 1 (OVERALL)

- CONDITION: LIGHT TO MODERATE ATMOSPHERIC SOILING AND OTHER DEPOSITS ON BRICK SURFACES.
- REPAIR: CLEAN BRICK MASONRY SURFACES AS SPECIFIED.
- SCHEDULE QUANTITY BY SQUARE FOOT (SF)

ESTIMATED QUANTITY: 100% AT ALL BRICK AND CAST STONE ELEMENTS EXCEPT AS NOTED ON EXTERIOR ELEVATIONS.



MC-2 - MASONRY CLEANING 2, LOCALIZED

- CONDITION: LOCALIZED MODERATE TO HEAVY SOILING THAT COMPRISES MATERIAL REQUIRING SPECIALIZED REMOVAL, SUCH AS BIOLOGICAL GROWTH, MASTIC, EFFLORESCENCE, OR GRAFFITI.
- REPAIR: CLEAN BRICK MASONRY SURFACES AS SPECIFIED.
- SCHEDULE QUANTITY BY SQUARE FOOT (SF)

ESTIMATED QUANTITY: SEE LOCATIONS ON EXTERIOR ELEVATIONS



MC-3 - MASONRY CLEANING 3

- CONDITION: PAINTED SURFACES AT BRICK AND CAST STONE.
- REPAIR: REMOVE PAINT FROM BRICK AND CAST STONE, CLEAN SURFACES.
- SCHEDULE QUANTITY BY SQUARE FOOT (SF)

ESTIMATED QUANTITY: ALL BRICK AT EAST ELEVATION; ALL CAST STONE AT ALL ELEVATIONS; & ASSUME 20 SF AT OTHER LOCATIONS.



MC-4 - MASONRY CLEANING 4

- REPAIR: REMOVE MASTIC DRIPS FROM BRICK AND CAST STONE ELEMENTS.
- SCHEDULE QUANTITY BY SQUARE FOOT (SF)

ESTIMATED QUANTITY: ASSUME 20 SF ON EACH ELEVATION



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BUILDING NUMBER:

24

SHEET TITLE:

TYPICAL CONDITIONS AND REPAIRS

DRAWN BY: ARG
DATE CREATED: 06.17.22

SHEET:

A703

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CAST STONE CONDITIONS

CS-1 - CAST STONE REPAIR 1

- CONDITION: KEYSTONE WITH SPALL.
- REPAIR: REPAIR MEDIUM AND LARGE SPALLS WITH REPAIR MORTAR TO MATCH CAST STONE; NO ACTION AT SMALL SPALLS.
- SCHEDULE QUANTITY BY SQUARE INCHES (SI)

ESTIMATED QUANTITY: 24 SI PER ELEVATION



CS-2 - CAST STONE REPAIR 2

- CONDITION: KEYSTONE WITH SIGNIFICANT SURFACE EROSION, LOSS OF PROFILE.
- REPAIR: REPLACE WITH CAST STONE UNIT TO MATCH ORIGINAL IN PROFILE, COLOR, AND TEXTURE AND FINISH.
- SCHEDULE QUANTITY BY UNIT (1 UNIT).

ESTIMATED QUANTITY: 4 PER ELEVATION



CS-3 - CAST STONE REPAIR 3

- CONDITION: IMPOST BLOCK WITH SURFACE EROSION CONDITION AND LOSS OF PROFILE.
- REPAIR: REPLACE WITH CAST STONE UNIT TO MATCH ORIGINAL IN PROFILE, COLOR, TEXTURE, AND FINISH.
- SCHEDULE QUANTITY BY UNIT (1 UNIT)

ESTIMATED QUANTITY: 8 PER ELEVATION



CS-4 - CAST STONE REPAIR 4

- CONDITION: CAST STONE FLAGPOLE BASE WITH SPALLING PROJECTING SURFACES.
- REPAIR: REPLACE WITH CAST STONE FINISH TO MATCH ORIGINAL IN PROFILE, COLOR, TEXTURE, AND FINISH.
- SCHEDULE QUANTITY BY UNIT (1 UNIT). SEE A503.

ESTIMATED QUANTITY: 12 UNITS



CS-5 - CAST STONE REPAIR 5

- CONDITION: PILASTER CAPITALS/ BASES WITH SIGNIFICANT SURFACE EROSION, LOSS OF PROFILE.
- REPAIR: REPLACE WITH CAST STONE UNIT TO MATCH ORIGINAL IN PROFILE, COLOR, TEXTURE, AND FINISH.
- SCHEDULE QUANTITY BY UNIT (1)

ESTIMATED QUANTITY: 8 PER ELEVATION



CS-6 - CAST STONE REPAIR 6

- CONDITION: HAIRLINE CRACK; KEYSTONE W/ HAIRLINE CRACKING SHOWN.
- REPAIR: NO ACTION AT SOUND HAIRLINE CRACKS.



CONCRETE CONDITIONS

C-1 - CONCRETE CLEANING

- CONDITION: SOILING AND BIOLOGICAL GROWTH, CHIPPED EDGES OF EXPOSED CONCRETE FOUNDATION AT PERIMETER OF BUILDING.
- REPAIR: REMOVE BIOGROWTH, CLEAN CONCRETE SURFACES.
- SCHEDULE QUANTITY BY SQUARE FOOT (SF)

ESTIMATED QUANTITY: 100% AT ALL ELEVATIONS.



C-2 - CONCRETE REPAIR 2

- CONDITION: HAIRLINE CRACKING AND CHIPPED EDGES AT CONCRETE.
- REPAIR: REMOVE ANY LOOSE OR UNSOUND MATERIAL; NO ACTION WHERE SOUND. WHERE UNSOUND, PATCH W/ NEW CEMENTITIOUS PATCH MATERIAL
- SCHEDULE QUANTITY BY SQUARE INCHES (SI)

ESTIMATED QUANTITY: 48 SI



C-3 - CONCRETE REPAIR 3

- CONDITION: CONCRETE LOSS/ SPALLS.
- REPAIR: PROVIDE CONCRETE REPAIR PATCH AT LOCATION OF LOSS/ SPALL.
- SCHEDULE QUANTITY BY SQUARE FOOT (SF)

ESTIMATED QUANTITY: 48 SI



C-4 - CONCRETE REPAIR 4

- CONDITION: T.O. CONCRETE FOUNDATION WALL MISSING
- REPAIR: PROVIDE REIN. CONCRETE CURB INFILL AT MISSING PORTION OF OPNG, MATCH ADJ. EXISTING.
- SCHEDULE QUANTITY BY SQUARE FOOT (SF)

ESTIMATED QUANTITY: ASSUME 2 SF AT EGRESS OF THE (9) EGRESS LOCATIONS



METAL CONDITIONS

MTL-1 - METAL REPAIR 1

- CONDITION: BIOLOGICAL GROWTH AT SHEET METAL AT TOP OF CORNICE.
- REPAIR: CLEAN AND REMOVE BIO GROWTH; REPLACE SEALANT AT TOP OF FLASHING.
- SCHEDULE QUANTITY:

ESTIMATED QUANTITY: 100% AT ALL ELEVATIONS



MTL-2 - METAL REPAIR 2

- CONDITION: MISSING METAL FLASHING OVER TOP OF STRING COURSE.
- REPAIR: REPLACE WITH PAINTED METAL FLASHING.
- SCHEDULE QUANTITY:

ESTIMATED QUANTITY: 100% AT ALL ELEVATIONS



MTL-3 - METAL REPAIR 3

- CONDITION: STANDING WATER AT BUILT-IN GUTTER.
- REPAIR: UNCLOG DRAINS AND CLEAN GUTTERS



MTL-4 - METAL REPAIR 4

- CONDITION: CORRODED STEEL ANGLE, AND OTHER FERRIS ELEMENTS
- REPAIR: REMOVE RUST, PREP SURFACES, PRIME AND PAINT.
- SCHEDULE QUANTITY BY LINEAR FOOT (LF).

ESTIMATED QUANTITY: AT ALL EXPOSED STEEL LINTEL LOCATIONS



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TYPICAL CONDITIONS AND REPAIRS

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DATE CREATED: 06.17.22

SHEET:

A704
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WOOD CONDITIONS

WD-1 - WOOD REPAIR 1

- CONDITION: SPLIT WOOD
- REPAIR: PROVIDE WD DUTCHMAN AT DAMAGED LOCATION
- SCHEDULE QUANTITY BY SQUARE FEET (SF)

ESTIMATED QUANTITY: 20 SF PER ELEVATION



WD-2 - WOOD REPAIR 2

- CONDITION: MISSING SECTION OF WOOD WHERE MAJORITY OF UNIT IS SOUND.
- REPAIR: PROVIDE WD DUTCHMAN AT DAMAGED LOCATION
- SCHEDULE QUANTITY BY SQUARE FEET (SF)

ESTIMATED QUANTITY: 20 SF PER ELEVATION



WD-3 - WOOD REPAIR 3

- CONDITION: MISSING WOOD COMPONENT.
- REPAIR: REPLACE WITH WD COMPONENT TO MATCH ORIGINAL, IN PROFILE, WOOD SPECIES, GRAIN, AND FINISH.
- SCHEDULE QUANTITY BY SQUARE FEET (SF)

ESTIMATED QUANTITY: 24 SF



WD-4 - WOOD REPAIR 4

- CONDITION: DISLOCATED WD STRING COURSE.
- REPAIR: RE-ATTACH EXISTING WD STRING COURSE.

SEE GENERAL NOTES



WD-5 - WOOD REPAIR 5

- CONDITION: DISPLACED WD SOFFIT AND MOULDINGS AT CORNICE.
- REPAIR: RE-ATTACH FASTENERS AND SECURE COMPONENTS AT CORNICE.

SEE GENERAL NOTES



WD-6 - WOOD REPAIR 6

- CONDITION: TOP MEMBER OF WD STRING COURSE REMOVED FOR LEADER.
- REPAIR: PROVIDE WD STRING COURSE TOP ELEMENT MODIFIED DETAIL FOR LEADER LOCATIONS.
- SCHEDULE QUANTITY:

ESTIMATED QUANTITY: ASSUME REPLACEMENT AT ENTIRE LENGTH OF EAST ELEVATION.



WD-7 - WOOD REPAIR 7

- CONDITION: INSECT NEST
- REPAIR: REMOVE INSECT NESTS
- SCHEDULE QUANTITY BY UNIT (1)

ESTIMATED QUANTITY: 1 LOCATION



WD DOOR CONDITIONS

TYPICAL GENERAL CONDITION:

- CONDITION: MISSING OR DETERIORATED WD BRICK MOULD (PHOTO SHOWS ORIGINAL BRICK MOULD TO REMAIN)
- REPAIR: REPLACE W/ WOOD BRICK MOULD TO MATCH ORIGINAL, IN PROFILE, WOOD SPECIES, GRAIN, & FINISH
- SCHEDULE QUANTITY BY LINEAR FEET (LF)

ESTIMATED QUANTITY: SEE DOOR SCHEDULE



DR-1 - DOOR REPAIR 1

- CONDITION: CRACKS/SPLIT PANEL IN EXISTING DOOR PANELS
- REPAIR: PROVIDE EPOXY REPAIR
- SCHEDULE QUANTITY BY LINEAR FEET (LF)

ESTIMATED QUANTITY: 60



DR-2 - DOOR REPAIR 2

- CONDITION: MISSING SECTION OF WOOD WHERE MAJORITY OF UNIT IS SOUND.
- REPAIR: PROVIDE WD DUTCHMAN REPAIR AT DAMAGED LOCATION, TO MATCH ORIGINAL, IN PROFILE, WOOD SPECIES, GRAIN, AND FINISH.
- SCHEDULE QUANTITY BY SQUARE FEET (SF)

ESTIMATED QUANTITY: 8



DR-3 - DOOR REPAIR 3

- CONDITION: DETERIORATED / DAMAGED HORIZONTAL WOOD DOOR RAILS.
- REPAIR: REPLACE WITH WD RAIL TO MATCH ORIGINAL IN PROFILE, WOOD SPECIES, GRAIN, AND FINISH.
- SCHEDULE QUANTITY BY UNIT (1)

ESTIMATED QUANTITY: 30



DR-4 - DOOR REPAIR 4

- CONDITION: DETERIORATED OR SPLIT DOOR STILE
- REPAIR: REPLACE WITH WD STILE TO MATCH ORIGINAL, IN PROFILE, WOOD SPECIES, GRAIN, AND FINISH
- SCHEDULE QUANTITY BY UNIT (1)

ESTIMATED QUANTITY: 14



DR-5 - DOOR REPAIR 5

- CONDITION: PREVIOUSLY ADDED REPAIR STRAP FOR DOOR REINFORCEMENT
- REPAIR: REMOVE REPAIR STRAP, REPLACE STILE / RAIL PER SCHEDULED REPAIRS, & REBUILD DOOR / TIGHTEN LOOSE JOINTS. WHERE (E) STILE / RAIL IS TO REMAIN, PROVIDE WOOD PLUGS AT REMOVED STRAP ANCHORS.
- SCHEDULE QUANTITY BY UNIT (1)

ESTIMATED QUANTITY: 62



DR-6 - DOOR REPAIR 6

- CONDITION: DAMAGED OR MISSING DOOR PANEL
- REPAIR: REPLACE WITH WD BEAD BOARD PANEL TO MATCH ORIGINAL, IN PROFILE, WOOD SPECIES, GRAIN, AND FINISH.
- SCHEDULE QUANTITY BY UNIT (1)

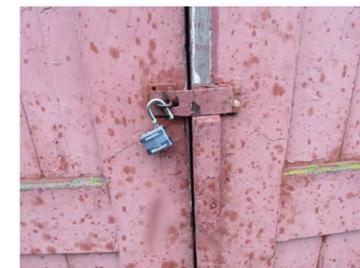
ESTIMATED QUANTITY: 35



DR-7 - DOOR REPAIR 7

- CONDITION: MISSING OR DAMAGED WD DOOR ASTRAGAL
- REPAIR: REPLACE WITH WD COMPONENT TO MATCH ORIGINAL, IN PROFILE, WOOD SPECIES, GRAIN, AND FINISH.
- SCHEDULE QUANTITY BY UNIT (1)

ESTIMATED QUANTITY: REPLACE ALL AT (E) DOORS TO REMAIN UNO



GENERAL NOTES

- PREP, PRIME, AND PAINT ALL WOOD ELEMENTS INCLUDING CORNICE AND STRING COURSE, WOOD CLERESTORIES, WINDOWS & DOORS.
- PREP, PRIME AND PAINT ALL METAL LOUVERS AT LOWER CLERESTORY, & EXT LEADERS AT UPPER AND LOWER CLERESTORIES.
- REMOVE INSECT, BIRD NESTS.
- REFASTEN LOOSE OR DISPLACED CORNICE AND STRING COURSE ELEMENTS.
- REPAIR HOLES AT ANY CONDUIT OR OTHER EQUIPMENT REMOVALS.
- SEE WINDOW & DOOR SCHEDULES FOR ADDITIONAL INFORMATION.

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WINDOW CONDITIONS

GENERAL NOTE: PAINTED GLAZING

- REPAIR: REMOVE PAINT FROM WINDOW GLASS.
- SCHEDULE UNIT = (1) SASH

ESTIMATED QUANTITY: 100 PERCENT OF ALL RECTANGULAR SASH



GENERAL NOTE: GLAZING PUTTY REPLACEMENT

- REPAIR: REPLACE 100% OF GLAZING PUTTY AND GLAZING POINTS.



GENERAL NOTE: MISSING SASH

- REPAIR: REPLACE WITH WD SASH TO MATCH ORIGINAL
- SCHEDULE UNIT = (1) SASH

ESTIMATED QUANTITY: SEE DWG A702 FOR QUANTITIES



W-1 - BROKEN GLAZING

- REPAIR: REPLACE BROKEN PANE AND FULL PERIMETER GLAZING PUTTY. MATCH (E) GLAZING TYPE.
- SCHEDULE UNIT = 1 PANE

ESTIMATED QUANTITY: 46 PANES



W-2 - WOOD SILL REPAIR (1/2 OF WD SILL)

- REPAIR: APPLY CONSOLIDANT TO HALF OF SILL, SAND, AND PROVIDE SMOOTH FINISH.
- SCHEDULE UNIT = (1/2) SILL

ESTIMATED QUANTITY: 13



W-3 - WOOD SILL REPAIR (FULL WD SILL)

- REPAIR: APPLY CONSOLIDANT TO FULL SILL, SAND, AND PROVIDE SMOOTH FINISH.
- SCHEDULE UNIT = (1) SILL

ESTIMATED QUANTITY: 15



W-4 - WOOD SILL REPLACEMENT

- REPAIR: REPLACE WOOD SILL WHERE SEVERELY DETERIORATED, OR W/ SIGNIFICANT THROUGH UNIT CRACKS.
- SCHEDULE QUANTITY: (1) SILL

ESTIMATED QUANTITY: 30 SILLS



W-5 - FRAME REPAIR

- REPAIR: CONSOLIDANT REPAIR AT BRICK MOULD OR FRAME, SAND AND PROVIDE SMOOTH FINISH.
- SCHEDULE UNIT = PERCENTAGE OF FRAME & BRICK MOULD (SQUARE FEET)

ESTIMATED QUANTITY: 50 PERCENT OF ALL FRAME & BRICK MOULD



W-6 - DUTCHMAN REPAIR AT CURVED BRICK MOULD

- REPAIR: DUTCHMAN REPAIR
- SCHEDULE UNIT = BOTTOM 1'-0" OF BOTH SIDES OF FRAME

ESTIMATED QUANTITY:

- SOUTH ELEVATION: ALL CURVED SASH
- WEST, EAST & NORTH ELEVATIONS: ALLOW FOR 10% OF ALL WINDOWS



W-7 - SASH REPAIR

- REPAIR: REPAIR SASH WITH CONSOLIDANT, SAND, AND PROVIDE SMOOTH FINISH.
- SCHEDULE UNIT = PERCENTAGE OF SASH

ESTIMATED QUANTITY: 50 PERCENT OF EACH EXISTING SASH



W-8 - DUTCHMAN REPAIR

- REPAIR: REPLACE BOTTOM RAIL & PROVIDE WOOD DUTCHMAN REPAIR AT BOTTOM 6" OF EACH STILE. MATCH (E) SPECIES, GRADE, GRAIN, JOINERY, AND PROFILE.
- SCHEDULE QUANTITY BY UNIT (1 UNIT)

ESTIMATED QUANTITY: 15 SASH (30 TOTAL)



W-9 - PERIMETER OF WOOD FRAME AT M.O.

- CONDITION: NO SEALANT TYP. AT PERIMETER OF WOOD FRAMES BETWEEN WOOD & MASONRY.
- REPAIR: NO ACTION. REMOVE PREVIOUS SEALANT REPAIRS WHERE ADDED AT PERIMETER OF FRAME.



CONSULTANT:



PROJECT NUMBER: 221035

OSFEC - PRESERVATION & CAPITAL IMPROVEMENT PROJECTS - BLDG 24 - HISTORIC HORSE STADIUM

2330 17TH ST NE SALEM, OR 97301

BUILDING NUMBER:

24

SHEET TITLE:

TYPICAL CONDITIONS AND REPAIRS

DRAWN BY: ARG
DATE CREATED: 06.17.22

SHEET:

A706
Construction Documents 100%
09.09.2022

TYPICAL CLERESTORY CONDITIONS

CL-1 - WOOD CLADDING REPAIR

- REPAIR: REPLACE CLADDING W/ WOOD CLADDING TO MATCH EXISTING
- INCLUDES ALL CLADDING COMPONENTS AT JAMBS TO MATCH (E) CONFIGURATION.
- SCHEDULE QUANTITY BY SQUARE FOOT (SF)

BID QUANTITY: UPPER CLERESTORY:
100% AT WEST & SOUTH ELEVATIONS
30% AT EAST & NORTH ELEVATIONS



CL-2 - TYP. JAMB CONDITION @ WEST AND SOUTH

- REPAIR: REPLACE CLADDING W/ WOOD CLADDING TO MATCH (E) AT LOUVER JAMB RETURNS
- SCHEDULE QUANTITY BY SQUARE FOOT (SF)

BID QUANTITY: UPPER CLERESTORY:
100% AT W & S ELEVATIONS



CL-3 - WOOD CLADDING REPAIR

- REPAIR: REMOVE ACCESS DOOR AT SE CORNER, PROVIDE WD FRAMING AT OPNG, & WOOD CLADDING TO MATCH EXISTING
- SCHEDULE QUANTITY BY UNIT (1)

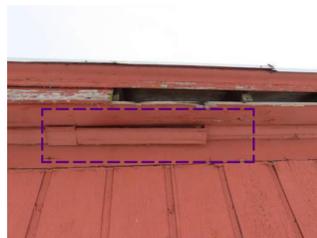
BID QUANTITY: 1 UNIT



CL-4 - DISPLACED WOOD ELEMENT

- REPAIR: RE-ATTACH SOUND WOOD ELEMENT AND SECURE IN PLACE
- PHOTO: DISPLACE MOULDING BELOW CORNICE; DISPLACED ELEMENT TYPES VARY

SEE GENERAL NOTES



CL-5 - WOOD CONSOLIDANT REPAIR

- REPAIR: PROVIDE CONSOLIDANT REPAIR AT DAMAGED WOOD ELEMENTS. SAND AND PROVIDE SMOOTH FINISH.
- SCHEDULE QUANTITY = (1) SILL

BID QUANTITY:

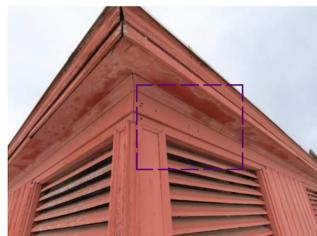
- ALL (E) WOOD SILLS AT UPPER CLERESTORY LOUVERS
- ALLOW 5% CONSOLIDANT REPAIR AT EACH ELEVATION



CL-6 - HOLES IN WOOD

- REPAIR: PROVIDE WOOD PLUGS OR DUTCHMAN AT HOLES; (PANELED WD JAMBS TO REMAIN)
- SCHEDULE QUANTITY BY UNIT (1 UNIT)

BID QUANTITY: 20 LOCATIONS



CL-7 - DUTCHMAN REPAIR

- REPAIR: REPLACE DETERIORATED WOOD & PROVIDE WOOD DUTCHMAN REPAIR. MATCH (E) SPECIES, GRADE, GRAIN, JOINERY, AND PROFILE.
- LOWER CLERESTORY SHOWN
- SCHEDULE QUANTITY BY UNIT (1 UNIT)

BID QUANTITY: 4 PER ELEVATION



CL-8 - MISSING WOOD ELEMENT

- REPAIR: REPLACE W/ WOOD TO MATCH ORIGINAL IN PROFILE, SPECIES, GRAIN & FINISH
- PHOTO: MISSING CORNICE FASCIA SHOWN
- SCHEDULE QUANTITY BY SQUARE FOOT (SF)

BID QUANTITY: 50 SF



CL-9 - LEADER REPAIR

- REPAIR: REATTACH DISLOCATED LEADER TO GUTTER OUTLET
- PHOTOS: TOP OVERALL VIEW; BTM DETAIL AT GUTTER OUTLET
- SCHEDULE QUANTITY BY UNIT (1 UNIT)

BID QUANTITY: 2



PHOTO: NORTH ELEVATION UPPER & LOWER CLERESTORIES EXISTING CONDITION



PHOTO: UPPER CLERESTORY ORIGINAL WOOD LOUVERS TO REMAIN TYP, EXISTING CONDITION



PHOTO: WEST ELEVATION UPPER & LOWER CLERESTORIES EXISTING CONDITION



GENERAL NOTES:

- PREP, PRIME & PAINT ALL EXTERIOR WOOD SURFACES, & MTL LOUVERS & LEADERS AT UPPER & LOWER CLERESTORIES. SEE GENERAL NOTES ON DWG A706 FOR ADDITIONAL INFORMATION.
- PROTECT (E) ROOFING & GUTTERS TO REMAIN.

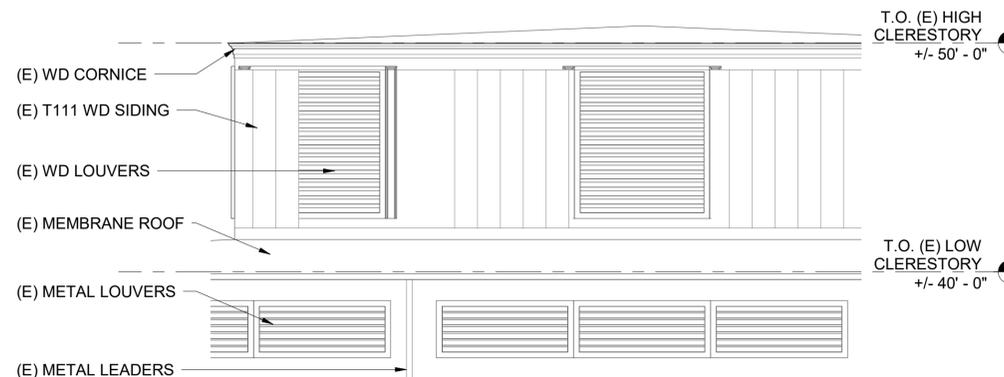
TYPICAL REPAIRS

UPPER CLERESTORY

- CONDITION: NON-ORIGINAL T111 SIDING TYP. COVERS ORIGINAL WINDOW LOCATIONS AT UPPER CLERESTORY. ORIGINAL WOOD LOUVERS REMAIN AT MOST LOCATIONS. ORIGINAL WOOD PANELED JAMBS REMAIN AT MOST LOUVER JAMBS AT NORTH & EAST ELEVATIONS
- REPAIR: REPAIR OR REPLACE IN KIND, T111 WOOD SIDING. RESTORE WOOD TRIM ELEMENTS & CORNICE.
- (E) WD LOUVERS TO REMAIN IN PLACE. SEE REPAIR CONDITIONS FOR ADDITIONAL INFORMATION
- (E) PANELED WOOD JAMBS TO REMAIN, TYP.

LOWER CLERESTORY

- CONDITION: NON-ORIGINAL METAL LOUVERS TO REMAIN. MTL LOUVERS ARE AT ORIGINAL LOCATIONS OF WINDOWS PREVIOUSLY REMOVED.



1. ENLARGED ELEV AT UPPER & LOWER CLERESTORIES

A707 SCALE: 1/4" = 1'-0"



CONSULTANT:



PROJECT NUMBER: 221035

OSFEC - PRESERVATION & CAPITAL IMPROVEMENT PROJECTS - BLDG 24 - HISTORIC HORSE STADIUM

2330 17TH ST NE
SALEM, OR 97301

BUILDING NUMBER:

24

SHEET TITLE:

TYPICAL CLERESTORY CONDITIONS

DRAWN BY: ARG
DATE CREATED: 06.17.22

SHEET:

A707
Construction Documents 100%
09.09.2022



CONSULTANT:
 Architectural Resources Group

PROJECT NUMBER: 221035

OSFEC - PRESERVATION & CAPITAL IMPROVEMENT PROJECTS - BLDG 24 - HISTORIC HORSE STADIUM

2330 17TH ST NE
SALEM, OR 97301

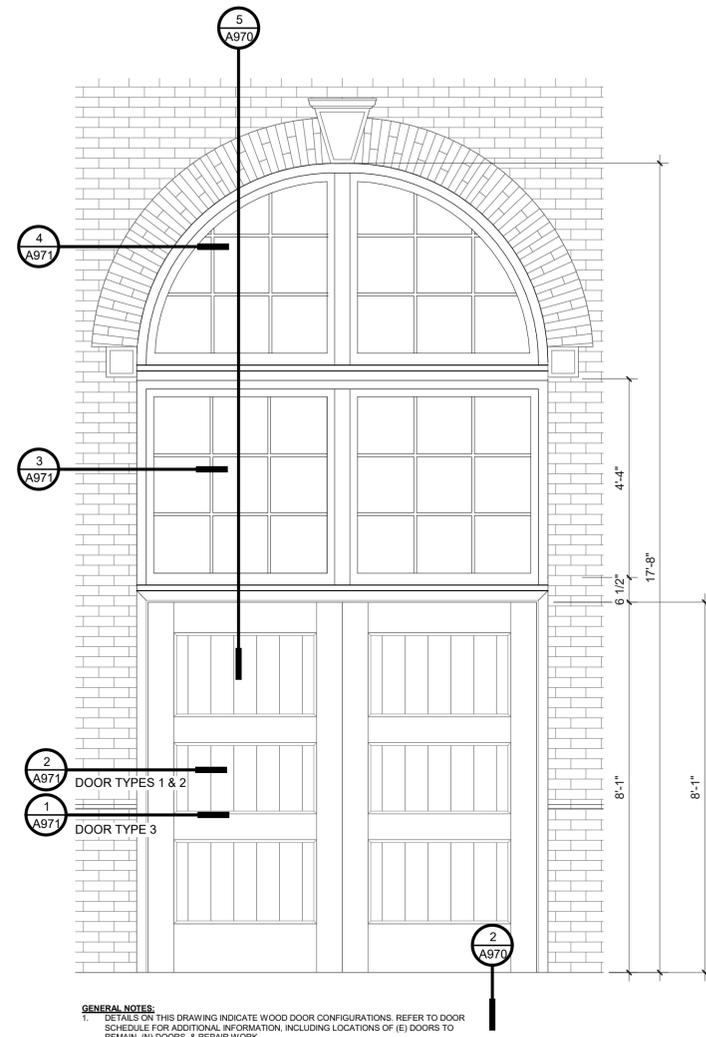
BUILDING NUMBER:

24

SHEET TITLE:
DOOR & WINDOW DETAILS

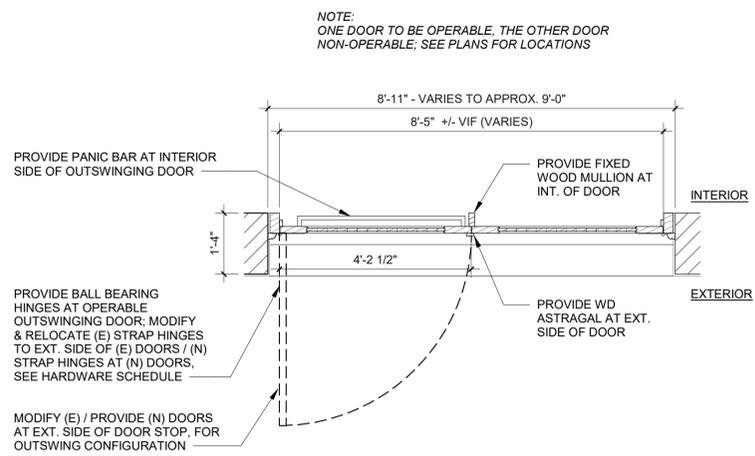
DRAWN BY: ARG
DATE CREATED: 06.17.22

SHEET:
A970
Construction Documents 100%
09.09.2022



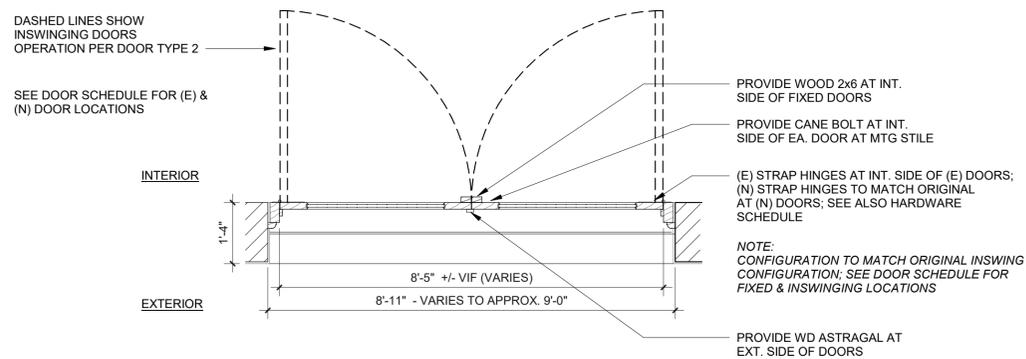
1. ENLARGED ELEV AT TYP DOOR AND WINDOW

A970 SCALE: 1/2" = 1'-0"



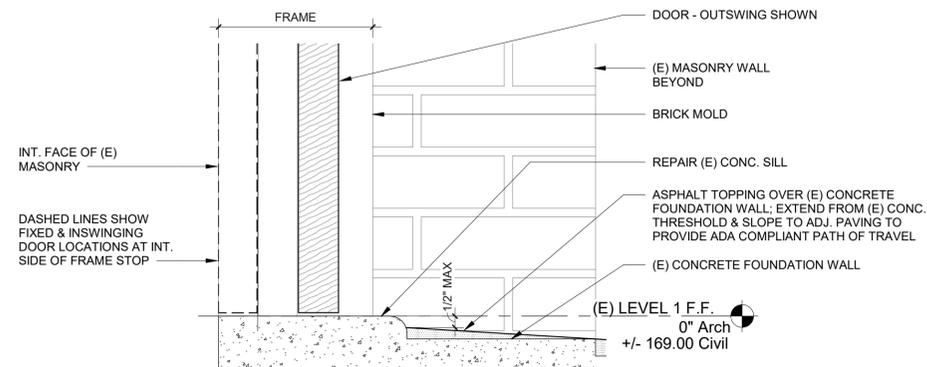
4. ENLARGED PLAN AT DOOR TYPE 3

A970 SCALE: 1/2" = 1'-0"



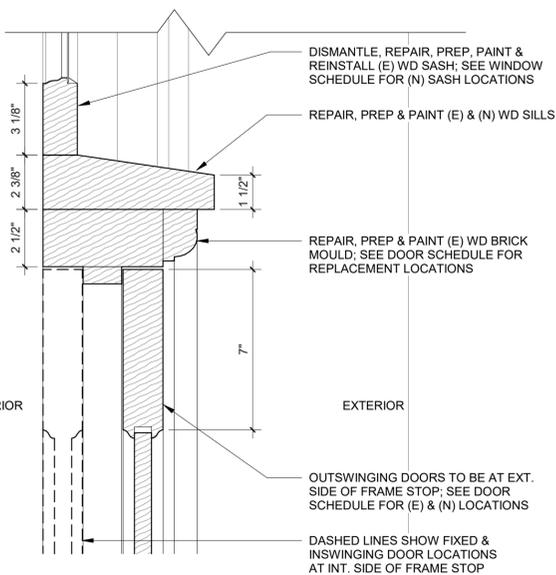
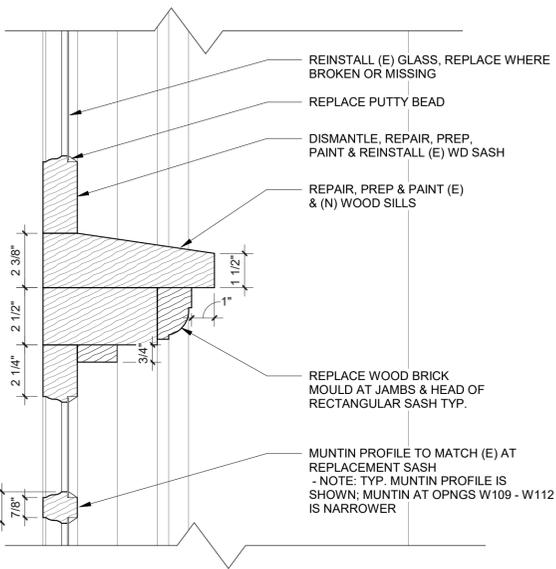
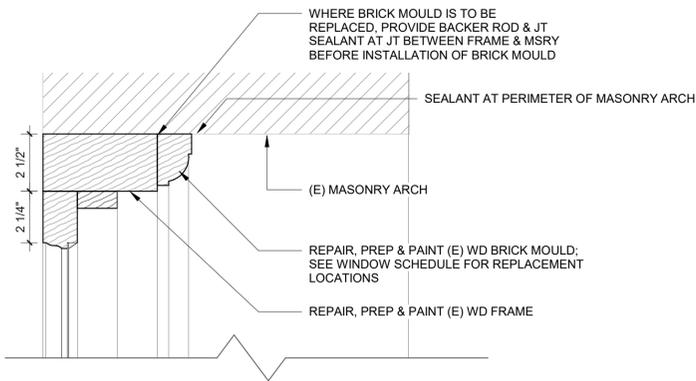
3. ENLARGED PLAN AT DOOR TYPES 1 & 2

A970 SCALE: 1/2" = 1'-0"



2. SILL DTL @ OPERABLE EGRESS DOORS

A970 SCALE: 3" = 1'-0"



5. SECTION AT TYP. TRANSOM & DOOR

A970 SCALE: 3" = 1'-0"



CONSULTANT:
 Architectural Resources Group

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OSFEC - PRESERVATION & CAPITAL IMPROVEMENT PROJECTS - BLDG 24 - HISTORIC HORSE STADIUM

2330 17TH ST NE
SALEM, OR 97301

BUILDING NUMBER:

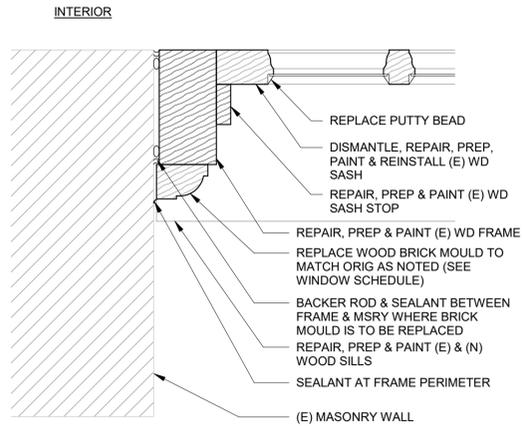
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SHEET TITLE:
DOOR & WINDOW DETAILS

DRAWN BY: ARG
DATE CREATED: 06.17.22

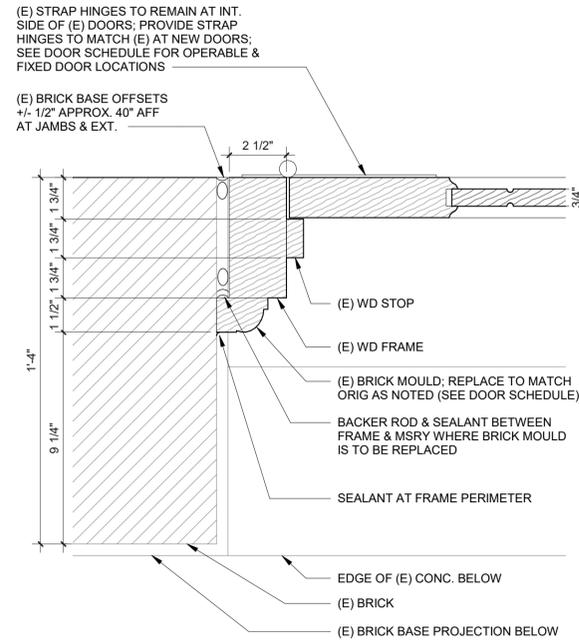
SHEET:

A971
Construction Documents 100%
09.09.2022



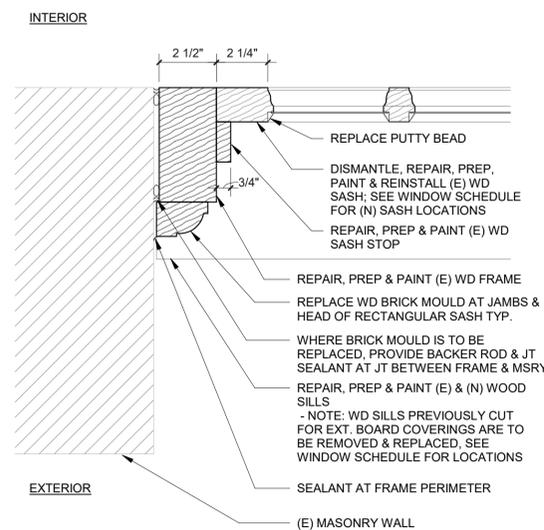
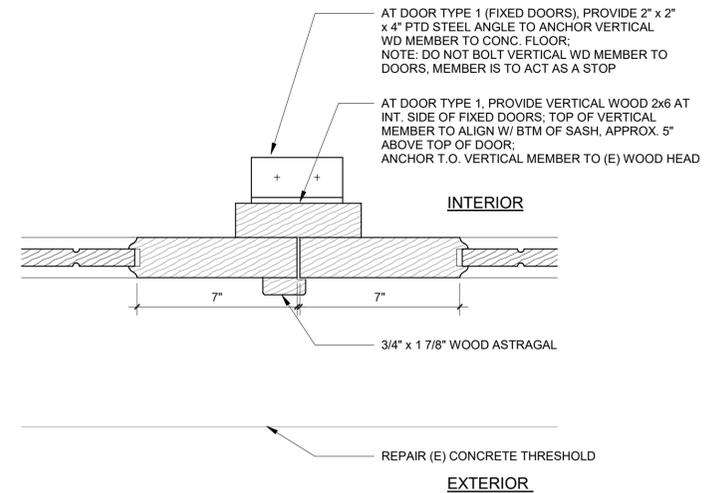
4. JAMB AT TYP. UPPER SASH

A971 SCALE: 3" = 1'-0"



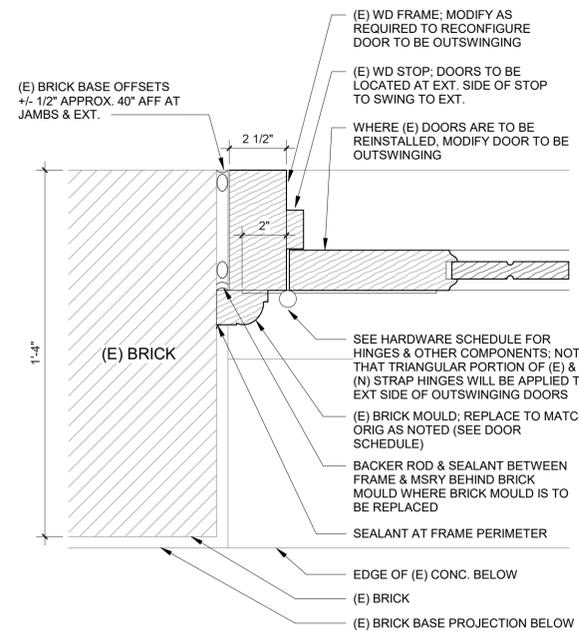
2. JAMB AT DOOR TYPE 1 (DOOR TYPE 2 SIM.)

A971 SCALE: 3" = 1'-0"



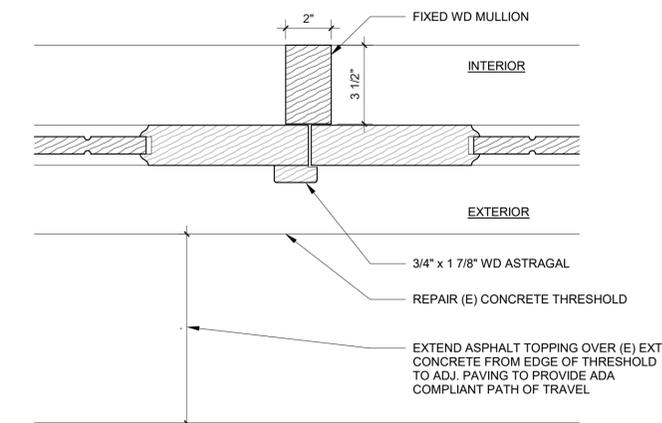
3. JAMB AT TYP. LOWER SASH

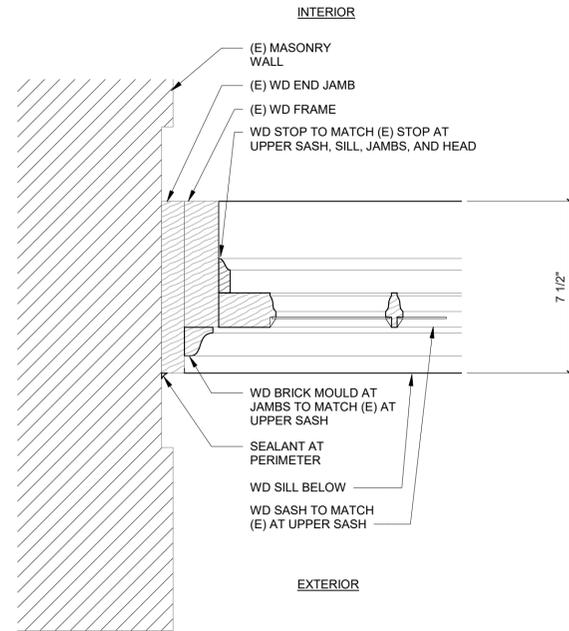
A971 SCALE: 3" = 1'-0"



1. JAMB AT DOOR TYPE 3

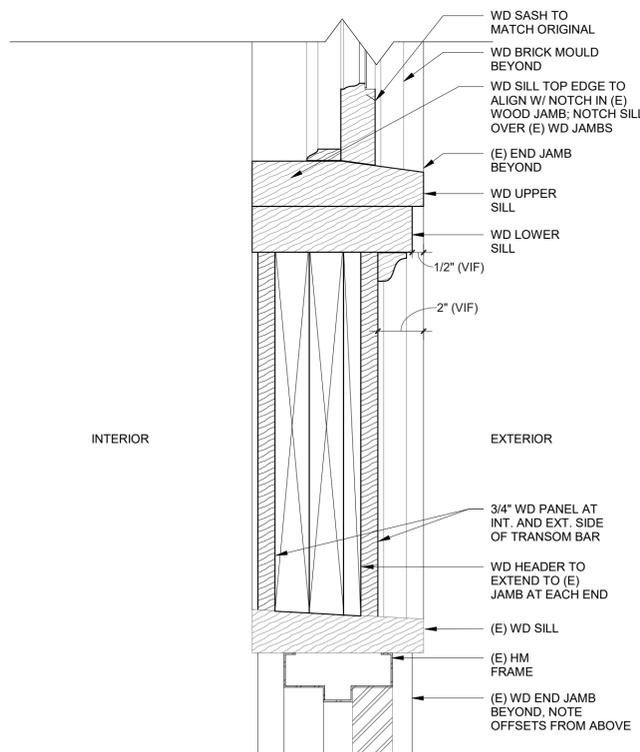
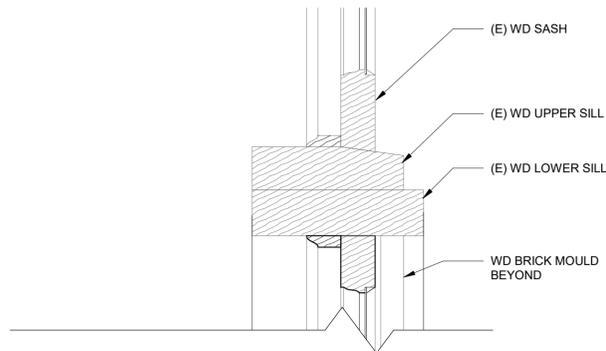
A971 SCALE: 3" = 1'-0"





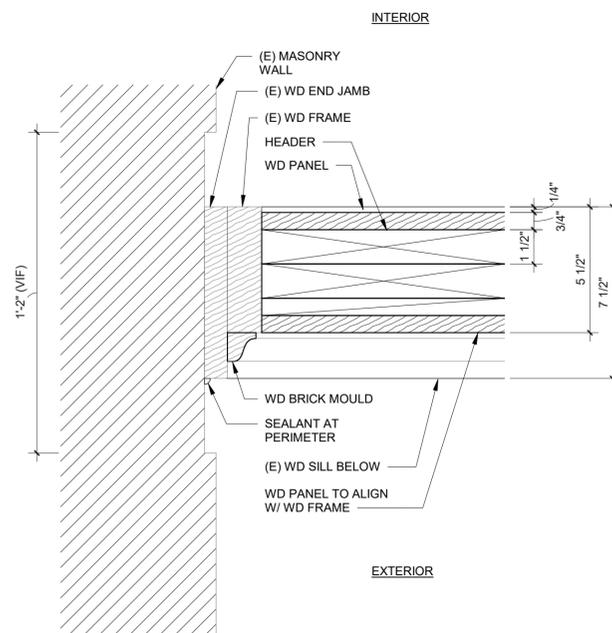
3. JAMB AT DOOR TYPE 4 TRANSOM WINDOW

A973 SCALE: 3" = 1'-0"



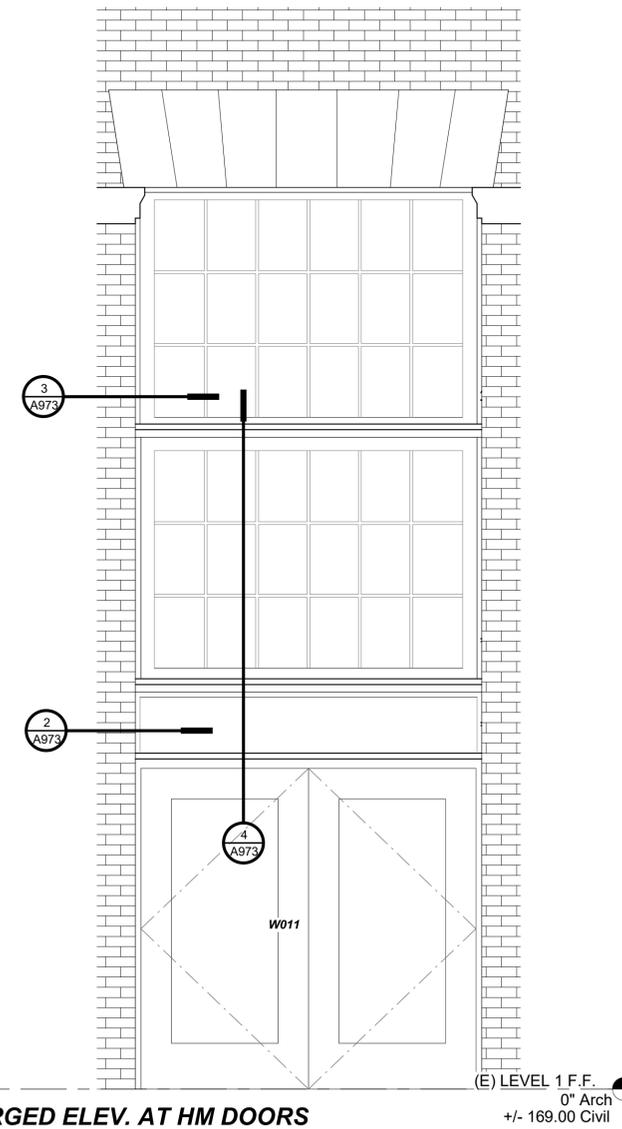
4. SECTION AT WEST CENTRAL DOORS

A973 SCALE: 3" = 1'-0"



2. JAMB AT DOOR TYPE 4 TRANSOM BAR

A973 SCALE: 3" = 1'-0"



1. ENLARGED ELEV. AT HM DOORS

A973 SCALE: 1/2" = 1'-0"

OSFEC - PRESERVATION & CAPITAL IMPROVEMENT PROJECTS - BLDG 28 - HISTORIC POULTRY BUILDING

2330 17TH ST NE
SALEM, OR 97301

Construction Documents 100% - 09.09.2022

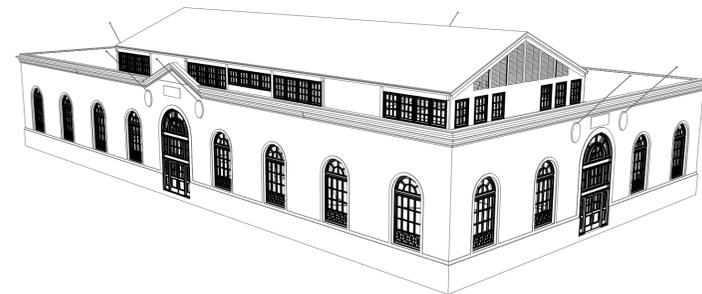


PROJECT SUMMARY

STREET ADDRESS: 2330 17TH ST NE, BUILDING 28, SALEM, OR 97301

PROJECT DESCRIPTION: HISTORIC PRESERVATION TO THE EXISTING HISTORIC POULTRY BUILDING AT THE OREGON STATE FAIRGROUNDS & EXPO CENTER (OSFEC). SCOPE OF WORK INCLUDES NEW RESTROOMS, STRUCTURAL UPGRADES, MECHANICAL, ELECTRICAL & PLUMBING UPGRADES AND EXTERIOR PRESERVATION WORK. EXTERIOR PRESERVATION WORK INCLUDES:

1. EXTERIOR WALL STUCCO, CONCRETE AND CLAY TILE REPAIR
2. REMOVAL AND REPLACEMENT OF COATINGS ON EXTERIOR SURFACES
3. COPING & FLASHING REPAIR AND REPLACEMENT
4. WOOD WINDOW RESTORATION AND REPAIR
5. WOOD ENTRY DOOR, TRANSOM & FRAME RESTORATION



EXTERIOR RENDERING FOR REFERENCE ONLY

DEFERRED SUBMITTALS

A. TBD

PROJECT DIRECTORY

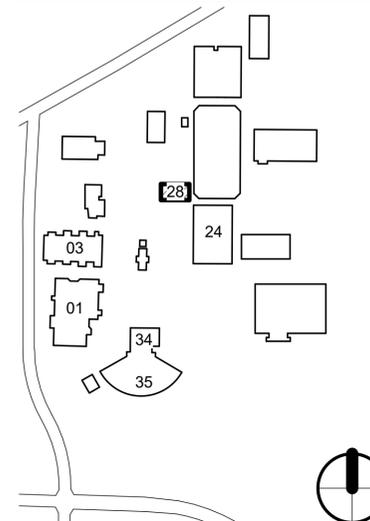
OWNER		STRUCTURAL	
OREGON STATE FAIR & EXPO CENTER	CONTACT PERSON: THOMAS WOOD	IMEG CORP.	CONTACT PERSON: KYLE DILLON, PE
2330 17th ST NE	TWOOD@OREGONSTATEFAIR.ORG	1022 SW SALMON STREET,	KYLE.D.DILLON@IMEGCORP.COM
SALEM, OR 97301	WWW.OREGONSTATEFAIR.ORG	SUITE 300	WWW.IMEGCORP.COM
	T: 503.881.2508	PORTLAND, OR 97205	T: 503.274.1843
ARCHITECT		MEP	
LRS ARCHITECTS	CONTACT PERSON: GAIL SARGENT	INTERFACE ENGINEERING, INC	CONTACT PERSON: ADAM CARLSON PE, LEED AP
720 NW DAVIS, SUITE 300	GSARGENT@LRSARCHITECTS.COM	100 SW MAIN STREET,	ADAMC@INTERFACEENG.COM
PORTLAND, OR, 97209	WWW.LRSARCHITECTS.COM	SUITE 1600	WWW.INTERFACEENGINEERING.COM
	T: 971.242.8147	PORTLAND, OR 97204	T: 503.382.2701
HISTORIC PRESERVATION ARCHITECT		HISTORIC PRESERVATION ARCHITECT	
SUSAN L LICHT	CONTACT PERSON: SUSAN L LICHT	ARCHITECTURAL RESOURCES GROUP	CONTACT PERSON: MAYA FOTY
1978 NW SHATTOCK PL.	SUE_LICHT@MSN.COM	720 SW WASHINGTON STREET	M.FOTY@ARGOCREATE.COM
CORVALLIS, OR 97330	T: 319.331.2942	SUITE 605	PORTLAND, OREGON 97205
		PORTLAND, OREGON 97205	T: 971.256.5321



VICINITY MAP
NOT TO SCALE



KEY PLAN



PROJECT NUMBER: 221035

BUILDING NUMBER:

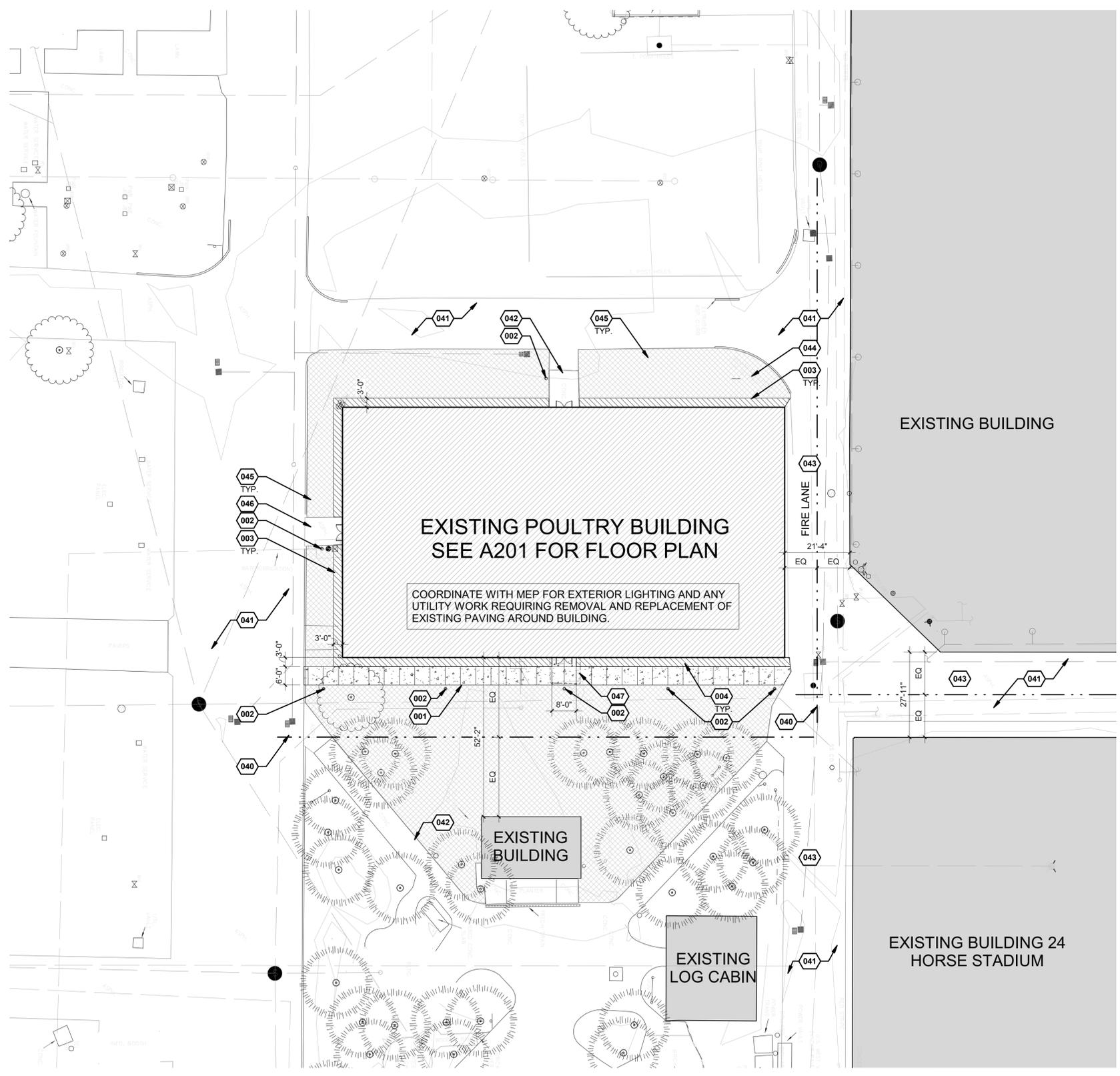
28

SHEET TITLE:
TITLE SHEET

DRAWN BY: CDG
DATE CREATED: 09.09.22

SHEET:
A000
Construction Documents 100%
09.09.2022

BIM 360://221035 - OSFEC Renovations/221035_OSFEC PCIF_BLDG28_ARCH_R20_B360.rvt 9/12/2022 7:13:28 PM



KEYNOTES

- 001 PROVIDE CONCRETE WALKWAY TO MEET ADA REQUIREMENTS AS NEEDED AT MAIN ENTRY / EGRESS DOOR. DEMO (E) AC PAVING, RAMP, AND CONCRETE AS REQUIRED
- 002 COORDINATE LANDSCAPE POLE LIGHTING WITH MEP
- 003 3FT LANDSCAPE BUFFER FROM FACE OF BLDG. REMOVE GRASS AND REPLACE WITH EDGING, FILTER FABRIC & LANDSCAPE ROCK. LOWER TO ALLOW ADEQUATE DRAINAGE
- 004 LANDSCAPE BUFFER BETWEEN FACE OF BLDG & CONC WALKWAY. REMOVE GRASS AND REPLACE WITH EDGING, FILTER FABRIC & LANDSCAPE ROCK. LOWER TO ALLOW ADEQUATE DRAINAGE
- 040 (E) IMAGINARY PROPERTY LINE
- 041 (E) AC PAVING
- 042 (E) CONCRETE WALKWAY
- 043 (E) FIRE LANE
- 044 (E) MEMORIAL PLAQUE "THE WONDER COW"
- 045 (E) GRASS LANDSCAPING
- 046 (E) AC WALKWAY
- 047 REMOVE (E) CONC PAD AS REQ'D TO PREP FOR NEW CONC WALKWAY

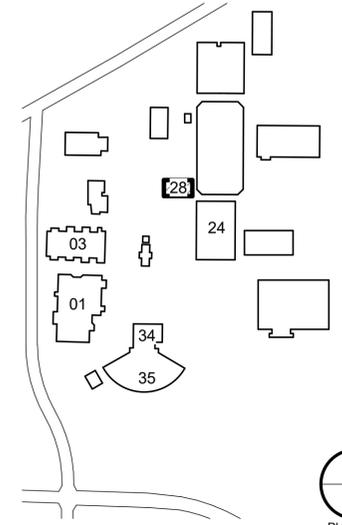
GENERAL NOTES

- A. SITE PLANS ARE BASED ON OVERALL FAIR GROUND SURVEY AS-BUILT SURVEY DRAWINGS PROVIDED BY OWNER FOR THE BLDG #40 PAVILION BUILDING DATED 04.14.2004.
- B. ALL SURVEY INFORMATION FOR EXISTING CONDITIONS ARE FOR REFERENCE ONLY.
- C. SITE CONDITIONS AND UTILITIES INDICATED ON SITE PLAN ARE EXISTING CONDITIONS UNLESS NOTED OTHERWISE. ALL EXISTING CONDITIONS AND UTILITIES RELATED TO OR AFFECTED BY PROPOSED SCOPE OF WORK NEEDS TO BE FIELD VERIFIED BEFORE PROCEEDING WITH WORK.
- D. REFERENCE SHEET G010 FOR OVERALL FAIRGROUND SITE PLAN.

LEGEND

- - - - - SITE EASEMENTS
- - - - - IMAGINARY PROPERTY LINE
- - - - - SITE PROPERTY BOUNDARY
- [Hatched Box] EXISTING BUILDING
- [Solid Grey Box] ADJACENT EXISTING BUILDING - NOT IN SCOPE
- [Dark Grey Box] PROPOSED AREAS OF AC PAVING. NEW PAVING TO MATCH EXISTING
- [Patterned Box] PROPOSED CONCRETE SIDEWALK
- [Patterned Box] EXISTING CONCRETE SIDEWALK
- [Patterned Box] PROPOSED LANDSCAPE BUFFER - SEE KEYED NOTES
- [Patterned Box] EXISTING GRASS LANDSCAPE
- o SITE POLE LIGHTING - SEE ELECTRICAL
- o EXISTING SITE LIGHTING
- Hyd FIRE HYDRANT
- Hyd EXISTING FIRE HYDRANT
- FDC FIRE DEPARTMENT CONNECTION
- 123' - 0" SPOT GRADE ELEVATION
- F.F. 123' FINISH FLOOR ELEVATION

KEY PLAN



720 NW Davis 503.221.1121
Suite 300 503.221.2077
Portland OR 97209 www.lrsarchitects.com



CONSULTANT:

PROJECT NUMBER: 221035

OSFEC - PRESERVATION & CAPITAL IMPROVEMENT PROJECTS - BLDG 28 - HISTORIC POULTRY BUILDING

2330 17TH ST NE
SALEM, OR 97301

BUILDING NUMBER:

28

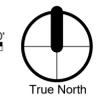
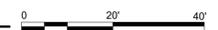
SHEET TITLE:
ARCHITECTURAL SITE PLAN

DRAWN BY: CDG
DATE CREATED: 09.09.22

SHEET:
A002
Construction Documents 100%
09.09.2022

1. SITE PLAN

A002 SCALE: 1" = 20'-0"



GENERAL NOTES

- A. EXISTING FLOOR PLAN IS BASED ON EXISTING OWNERS' DRAWINGS DATED ---
- B. THIS DRAWING REFERENCES EXISTING CONDITIONS FOR REFERENCE ONLY. VERIFY IN FIELD.
- C. SEE FLOOR PLANS FOR EXISTING AND PROPOSED WALL RATING WHERE APPLICABLE
- D. SEE FLOOR PLANS AND/OR STRUCTURAL FOR EXISTING AND PROPOSED SHEAR WALLS WHERE APPLICABLE.

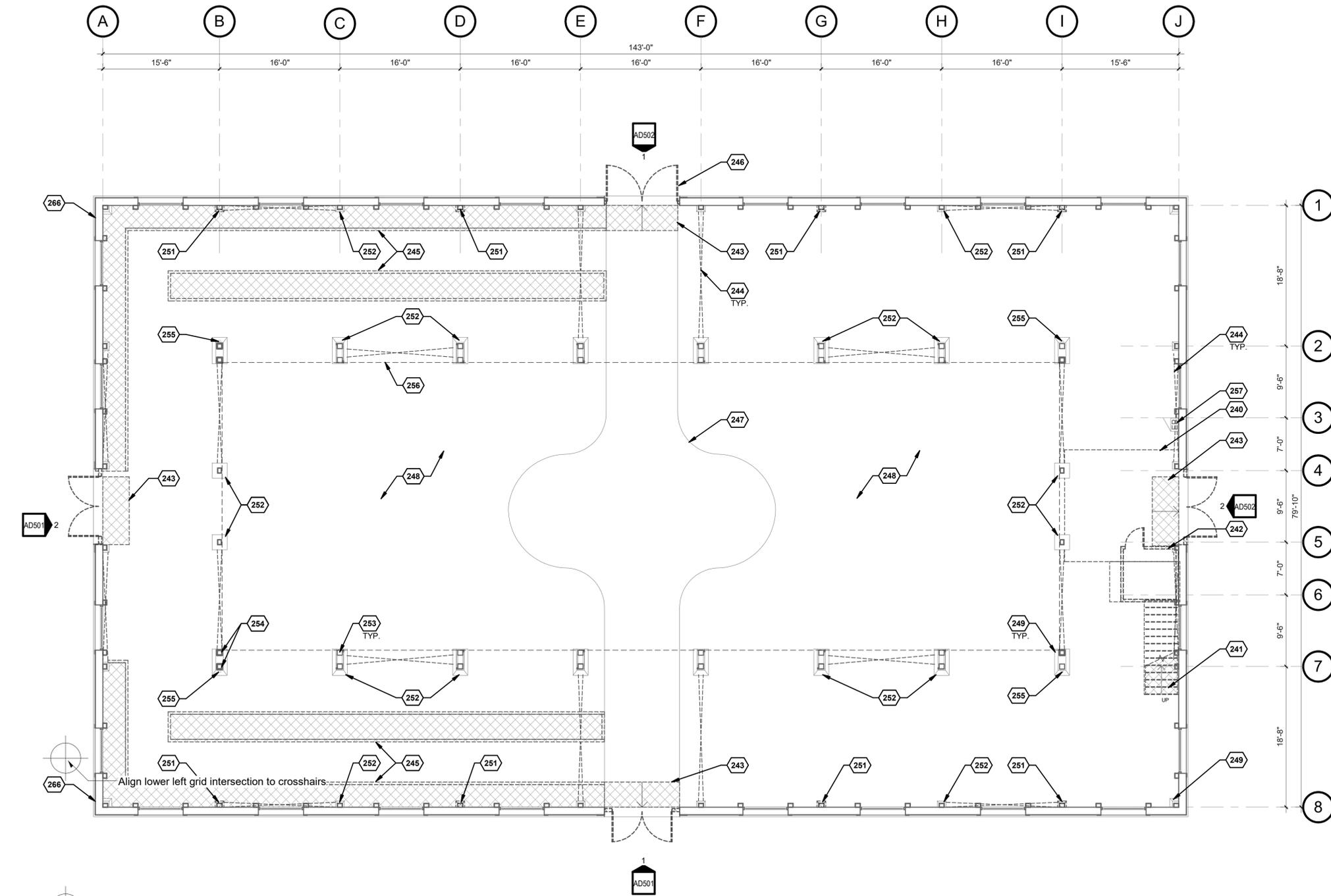
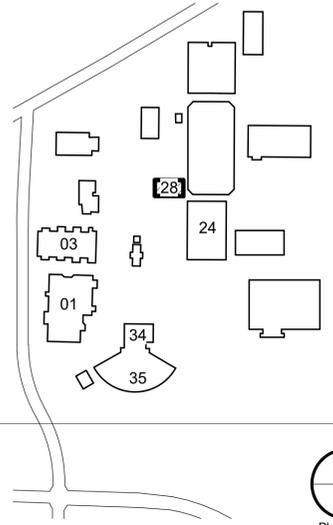
KEYNOTES

- 240 REMOVE EXISTING MEZZANINE ABOVE
- 241 REMOVE EXISTING STAIR
- 242 REMOVE EXISTING ROOM, INCLUDING WALLS, CEILING, AND DOOR
- 243 REMOVE EXISTING RAMP
- 244 REMOVE EXISTING CABLE BRACING
- 245 REMOVE EXISTING CURB & CONCRETE PAD
- 246 REMOVE EXISTING EXTERIOR DOORS, TYP OF ALL (4) LOCATIONS. LEAVE ALL ORIGINAL FRAME AND TRANSOM PIECES
- 247 EXISTING CONCRETE WALKWAY TO REMAIN
- 248 REMOVE EXISTING DIRT FLOOR, EXCAVATE AND COMPACT NATIVE SOIL AS REQUIRED FOR NEW CONCRETE FLOOR SLABS
- 249 EXISTING CONCRETE COLUMN PIER/FOOTING, TYP.
- 251 REMOVE EXISTING TIMBER POST & CONCRETE PIER AND PREPARE WALL FOR NEW CONCRETE INFILL PANEL - SEE STRUCTURAL
- 252 REMOVE PORTION OF EXISTING CONCRETE COLUMN PIER AND PREPARE FOR NEW WORK - SEE STRUCTURAL
- 253 EXISTING TIMBER FRAMED CLERESTORY ROOF TRUSSES
- 254 EXISTING TIMBER COLUMNS WITH ROTTED WOOD TO BE REPLACED PER STRUCTURAL
- 255 EXISTING ROOF DRAIN, TYP. OF (4)
- 256 LINE OF EXISTING CLERESTORY ABOVE
- 257 EXISTING ELECTRICAL PANEL
- 266 RELOCATE ALL ACTIVE EXTERIOR ELECTRICAL, PHONE, AND OTHER UTILITIES TO THE INTERIOR OF THE BUILDING. COORDINATE WITH ELECTRICAL CONTRACTOR.

LEGEND

- EXISTING TO REMAIN (REFER TO KEYED NOTES FOR MORE INFORMATION)
- DEMOLISHED OR TO BE RELOCATED (REFER TO KEYED NOTES FOR MORE INFORMATION)
- DEMOLISHED AREA OF FLOOR, CEILING OR ROOF (REFER TO KEYED NOTES FOR MORE INFORMATION)

KEY PLAN



PLAN TITLE LINE
 1. FLOOR PLAN - EXISTING / DEMO
 AD201 SCALE: 1/8" = 1'-0"



PROJECT NUMBER: 221035

OSFEC - PRESERVATION & CAPITAL IMPROVEMENT PROJECTS - BLDG 28 - HISTORIC POULTRY BUILDING

2330 17TH ST NE
 SALEM, OR 97301

BUILDING NUMBER:

28

SHEET TITLE:
FLOOR PLAN EXISTING/DEMO

DRAWN BY: CDG/ARG
 DATE CREATED: 06.17.22

SHEET:
AD201
 Construction Documents 100%
 09.09.2022

BIM 360/221035 - OSFEC Renovations/221035_OSFEC PC/IF_BLDG28_ARCH_R20_B360.rvt 9/5/2022 11:00:30 AM



CONSULTANT:

PROJECT NUMBER: 221035

**OSFEC -
PRESERVATION
& CAPITAL
IMPROVEMENT
PROJECTS -
BLDG 28 -
HISTORIC
POULTRY
BUILDING**

2330 17TH ST NE
SALEM, OR 97301

BUILDING NUMBER:

28

SHEET TITLE:
**FIRST FLOOR
PLAN**

DRAWN BY: CDG
DATE CREATED: 09.09.22

SHEET:

A201
Construction Documents 100%
09.09.2022

GENERAL NOTES

- A. EXISTING DRAWINGS ARE BASED ON EXISTING OWNERS' DRAWINGS, WHERE AVAILABLE, AND INCLUDES ON-SITE OBSERVATIONS.
- B. THIS DRAWING REFERENCES EXISTING CONDITIONS FOR REFERENCE ONLY.

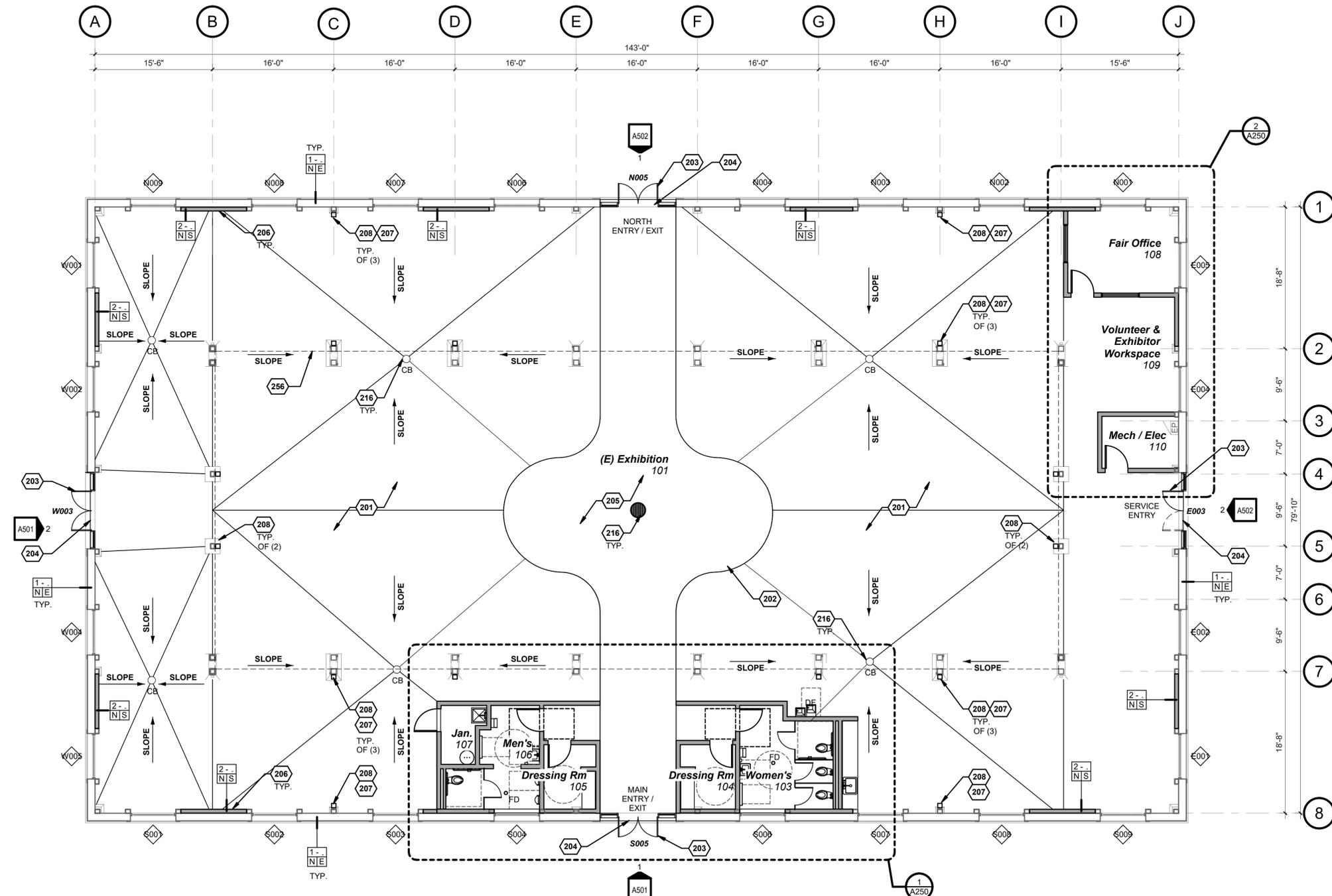
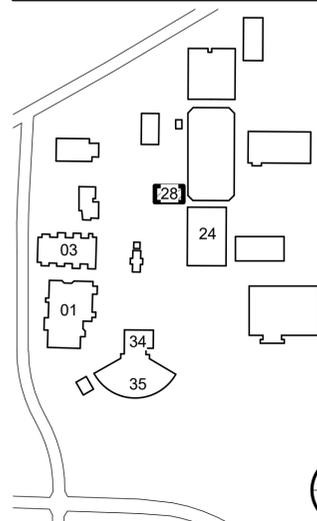
KEYNOTES

- 201 CONCRETE FLOOR WITH DRAINS. SLOPE FLOOR TO DRAIN. MAX SLOPE 1/4" PER FT
- 202 PROVIDE 4 GANG POWER IN FLOOR BOX FOR MEMORIAL FOUNTAIN IN NEW CONCRETE FLOOR OVER (E) CONCRETE WALKWAY. SEE ELECTRICAL. ALIGN CONTROL JOINT WITH (E) CONCRETE WALKWAY
- 203 INSTALL NEW DOORS & SIDE LIGHTS AND RESTORED TRANSOM WINDOW. SEE EXTERIOR ELEVATIONS - TYP. OF (4)
- 204 INSTALL NEW THRESHOLD AND REPLACED EXTERIOR DOORS
- 205 CLEAN & PAINT INTERIOR WALLS, STRUCTURE, & CEILING
- 206 CONCRETE SHEARWALL PANEL PER STRUCTURAL
- 207 PAINTED HSS MOMENT FRAME PER STRUCTURAL
- 208 CONCRETE COLUMN PIER FOOTING PER STRUCTURAL
- 216 CATCH BASIN, TYP. OF (7) - SEE MECHANICAL
- 256 LINE OF EXISTING CLERESTORY ABOVE

LEGEND

- EXISTING TO REMAIN (REFER TO KEYED NOTES FOR MORE INFORMATION)
- NEW SCOPE OF WORK (REFER TO KEYED NOTES FOR MORE INFORMATION)
- CB CATCH BASIN
- E000 WINDOW TAG, SEE WINDOW TYPES
- FD FLOOR DRAIN

KEY PLAN



1. FIRST FLOOR PLAN

A201 SCALE: 1/8" = 1'-0"





KEYNOTES

- 401 EXISTING EXPOSED ROOF STRUCTURE CLEAN AND REPAIR - SEE ROOM FINISH SCHEDULE.
- 402 LIGHT SOFFIT AT EXISTING WINDOWS - GYP BD FINISH ON ROOM SIDE TO MATCH CEILING
- 404 MOUNT EXIT SIGN CENTERED ON TRIM. SEE DOOR TYPES
- 405 FRAME AROUND VERTICAL DUCTS BEYOND, 2X4 FURRING WITH GYP BD FINISH FACING EXHIBIT AREA, UP TO ROOF ASSEMBLY AS REQUIRED. ALIGN GYP BD FINISH WITH ADJACENT LIGHT SOFFIT GYP BD FINISH
- 406 SUPPLY AIR GRILLE FOR OFFICE ONLY - SEE MECHANICAL
- 407 NO INSULATION IN CEILINGS & LIGHT SOFFIT IN OFFICE. SEE SECTION DETAIL

GENERAL NOTES

- A. SEE A940 SERIES FOR TYPICAL RCP DETAILS.
- B. CEILING FIXTURES ARE SHOWN FOR COORDINATION WITH CEILING FINISH SYSTEM. SEE MECHANICAL, ELECTRICAL AND SPRINKLER DRAWINGS FOR ALL CEILING FIXTURES AND TYPES ONLY.
- C. SPOT ELEVATIONS ARE FROM FINISH FLOOR TO SURFACE OF CEILING AND ARE ROUNDED TO THE NEAREST INCH TYP.
- D. MAINTAIN FIRE RESISTIVE RATING AT RECESSED FIXTURE AT BOTTOM OF A FIRE RATED HORIZONTAL ASSEMBLY.
- E. COORDINATE ALL REQUIRED ACCESS PANELS SIZE AND LOCATION WITH ALL TRADES.
- F. CEILING FIXTURES TO BE CENTERED OR EQUALLY SPACED AND ALIGNED IN ROOM UNO.
- G. SPRAY PAINT ALL METAL ACCESS PANELS AND DIFFUSERS TO MATCH ADJACENT CEILING FINISHES UNO.

RCP LEGEND

NOTE: GRAY TRIANGLES IN LIGHT FIXTURE SYMBOLS DENOTE EMERGENCY LIGHT FIXTURES

- EXISTING CEILING OR UNDERSIDE OF ROOF STRUCTURE - PAINT PER FINISH SCHEDULE
- NONRATED GYP. BD. SOFFIT OR NONRATED ONE LAYER GYP. BD. SUSPENDED CEILING SYSTEM. SEE HORIZONTAL ASSEMBLIES FOR ADDITIONAL INFORMATION
- HVAC EXHAUST - SEE MECHANICAL
- HVAC RETURN - SEE MECHANICAL
- SURFACE MOUNTED LIGHT FIXTURE - SEE ELECTRICAL
- PENDANT LIGHT FIXTURE - SEE ELECTRICAL
- LINEAR LIGHT FIXTURE - SEE ELECTRICAL
- WALL-MOUNTED LIGHT FIXTURE - SEE ELECTRICAL
- EXIT SIGNS (W/ INTEGRAL ARROW WHERE OCCURS) FLUORESCENT LIGHT FIXTURE SURFACE MOUNT - SEE ELECTRICAL
- WALL MOUNTED EMERGENCY STROBE - SEE ELECTRICAL
- FINISH CEILING HEIGHT AFF. UNO

CONSULTANT:

PROJECT NUMBER: 221035

OSFEC - PRESERVATION & CAPITAL IMPROVEMENT PROJECTS - BLDG 28 - HISTORIC POULTRY BUILDING

2330 17TH ST NE
SALEM, OR 97301

BUILDING NUMBER:

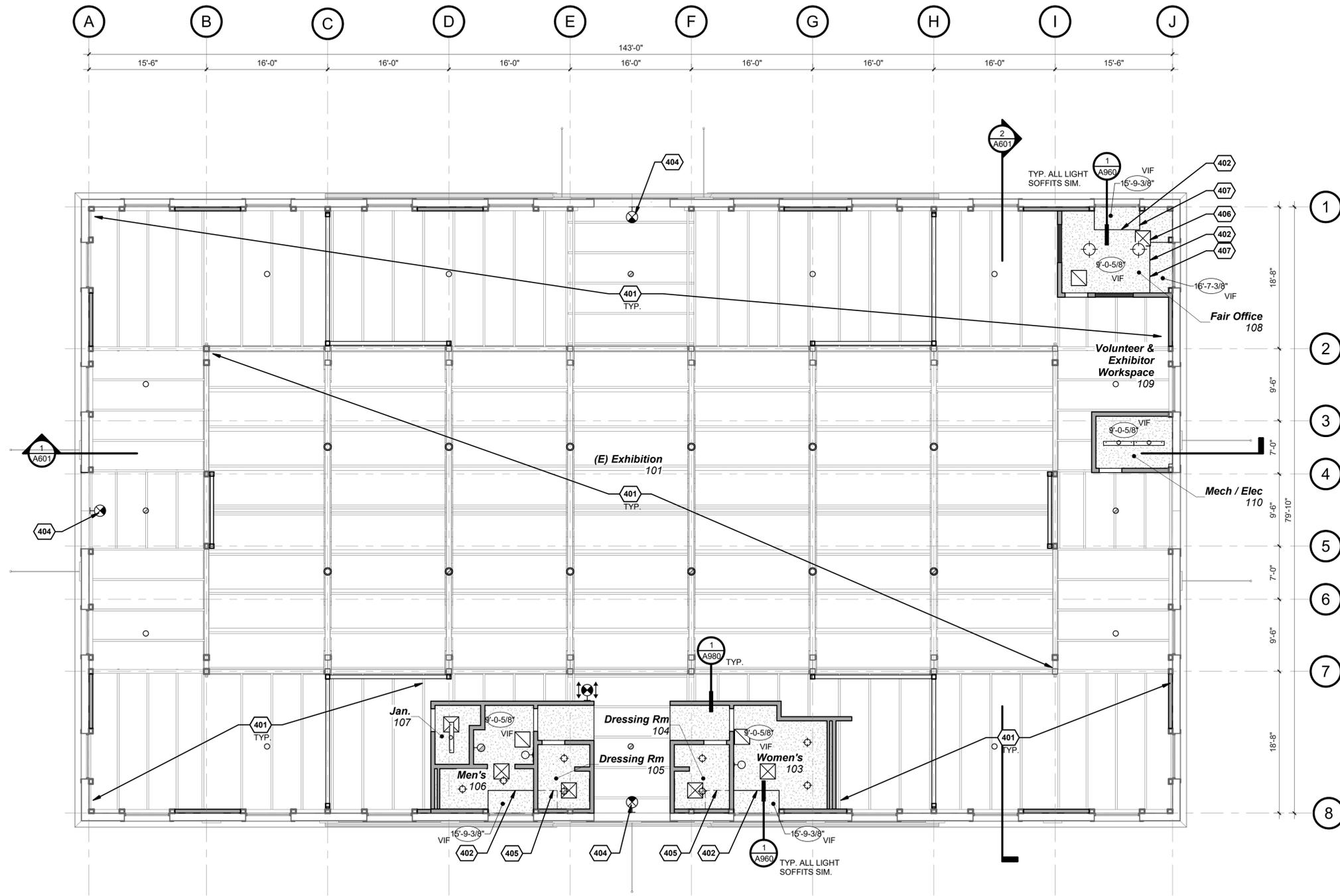
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SHEET TITLE:

REFLECTED CEILING PLAN

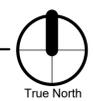
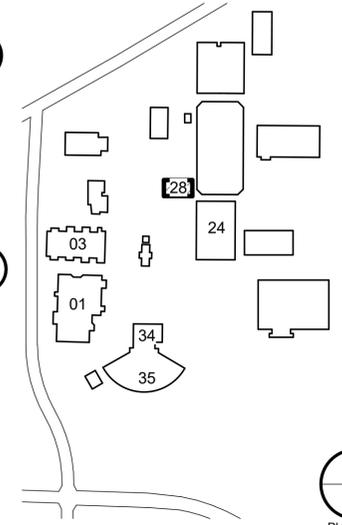
DRAWN BY: CDG
DATE CREATED: 09.09.22

SHEET:
A401
Construction Documents 100%
09.09.2022



- 1
- 2
- 3
- 4
- 5
- 6
- 7
- 8

KEY PLAN



1. REFLECTED CEILING PLAN

A401 SCALE: 1/8" = 1'-0"

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GENERAL NOTES

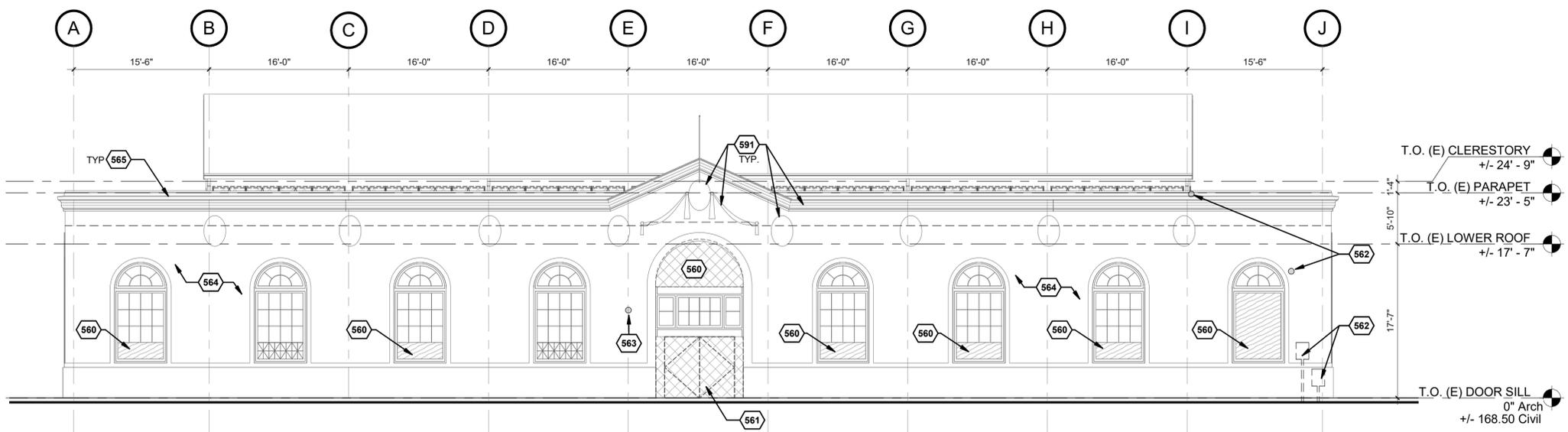
1. REMOVE ALL COATINGS FROM EXTERIOR, SEE SPECIFICATION SECTION 09 57 12.
2. REMOVE DAMAGED AREAS OF STUCCO AND PREPARE AREA FOR STUCCO PATCH, SEE SPECIFICATION SECTION 09 22 00.
3. REPAIR MASONRY CRACKS SEE SPECIFICATION SECTION 04 01 29.

KEYNOTES

- 560 CAREFULLY UNSCREW PLYWOOD PANEL AND REMOVE FROM WINDOW OR TRANSOM. USE SPECIAL DEMOLITION PROCEDURES. REFERENCE SPECIFICATIONS 01 35 91.
- 561 REMOVE DOORS, HARDWARE AND ASSOCIATED ACCESSORIES. LEAVE ORIGINAL 2 X FRAME AT MASONRY OPENING ALONG WITH TRANSOMS IF THEY EXIST. USE SPECIAL DEMOLITION PROCEDURES. REFERENCE SPECIFICATIONS 01 35 91.
- 562 RELOCATE ALL ACTIVE EXTERIOR ELECTRICAL, PHONE, AND OTHER UTILITIES TO THE INTERIOR OF THE BUILDING. COORDINATE WITH ELECTRICAL CONTRACTOR.
- 563 REMOVE ALL ABANDONED METAL PIPES, ANCHORS AND OTHER OBJECTS ATTACHED TO THE EXTERIOR OF THE BUILDING. PATCH AS SPECIFIED.
- 564 AT ALL EXISTING STUCCO SURFACES, STRIP PAINT DOWN TO BARE STUCCO. REFERENCE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- 565 AT CLAY TILE CORNICE, REMOVE AND SALVAGE FOR REINSTALLATION ALL REUSABLE CALY TILE ROOF PIECES PER SPECIFICATIONS.
- 567 SEE AD503 FOR CLERESTORY DEMOLITION NOTES.
- 591 PROTECT FROM DAMAGE ALL CAST STONE DECORATIVE ELEMENTS DURING RESTORATION.

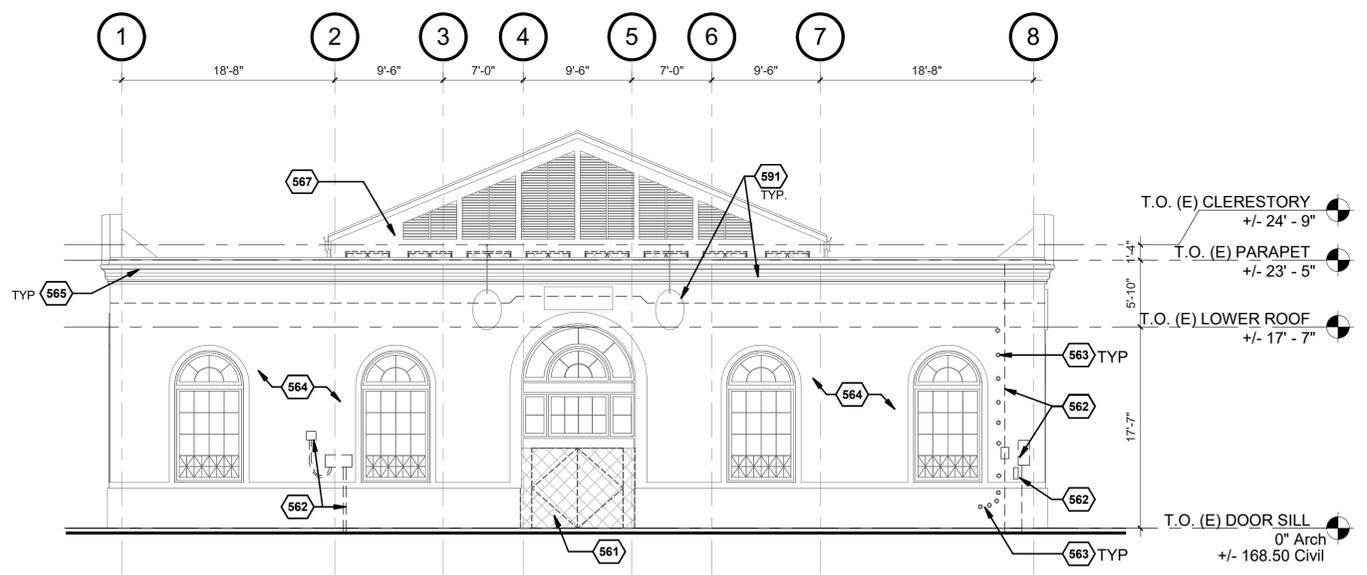
MATERIALS LEGEND

- CRACKS IN STUCCO
- CRACKS IN CONCRETE. FOR CRACKS THAT TRANSVERSE COMPLETELY THROUGH WALL, REPAIR PER DETAIL 10/A960
- MISSING STUCCO. SOME BRICK REPLACEMENT REQUIRED.
- NEW STUCCO PATCH AREAS
- NON-ORIGINAL STUCCO PATCHES TO REMAIN
- AREA / ELEMENT TO BE REMOVED (DEMOLITION ELEVATIONS ONLY)



1. SOUTH ELEVATION - EXISTING / DEMO

AD501 SCALE: 1/8" = 1'-0"



2. WEST ELEVATION - EXISTING / DEMO

AD501 SCALE: 1/8" = 1'-0"



South Entry (Original Main Entry)



South Exterior Facade



West Exterior Facade

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PROJECT NUMBER: 221035

OSFEC - PRESERVATION & CAPITAL IMPROVEMENT PROJECTS - BLDG 28 - HISTORIC POULTRY BUILDING

2330 17TH ST NE
SALEM, OR 97301

BUILDING NUMBER:
28

SHEET TITLE:
EXTERIOR ELEVATIONS EXISTING/DEMO

DRAWN BY: ARG
DATE CREATED: 06.17.22

SHEET:
AD502
Construction Documents 100%
09.09.2022

GENERAL NOTES

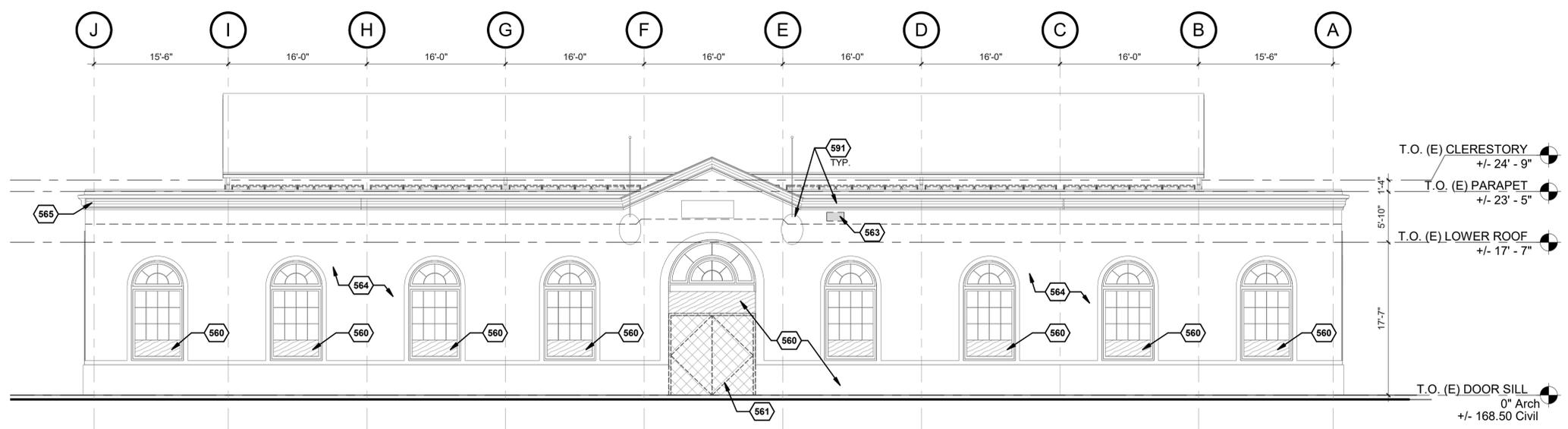
- REMOVE ALL COATINGS FROM EXTERIOR, SEE SPECIFICATION SECTION 09 97 12.
- REMOVE DAMAGED AREAS OF STUCCO AND PREPARE AREA FOR STUCCO PATCH, SEE SPECIFICATION SECTION 09 22 00.
- REPAIR MASONRY CRACKS SEE SPECIFICATION SECTION 04 01 29.

KEYNOTES

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- 565 AT CLAY TILE CORNICE, REMOVE AND SALVAGE FOR REINSTALLATION ALL REUSABLE CALY TILE ROOF PIECES PER SPECIFICATIONS.
- 567 SEE AD503 FOR CLERESTORY DEMOLITION NOTES.
- 591 PROTECT FROM DAMAGE ALL CAST STONE DECORATIVE ELEMENTS DURING RESTORATION.

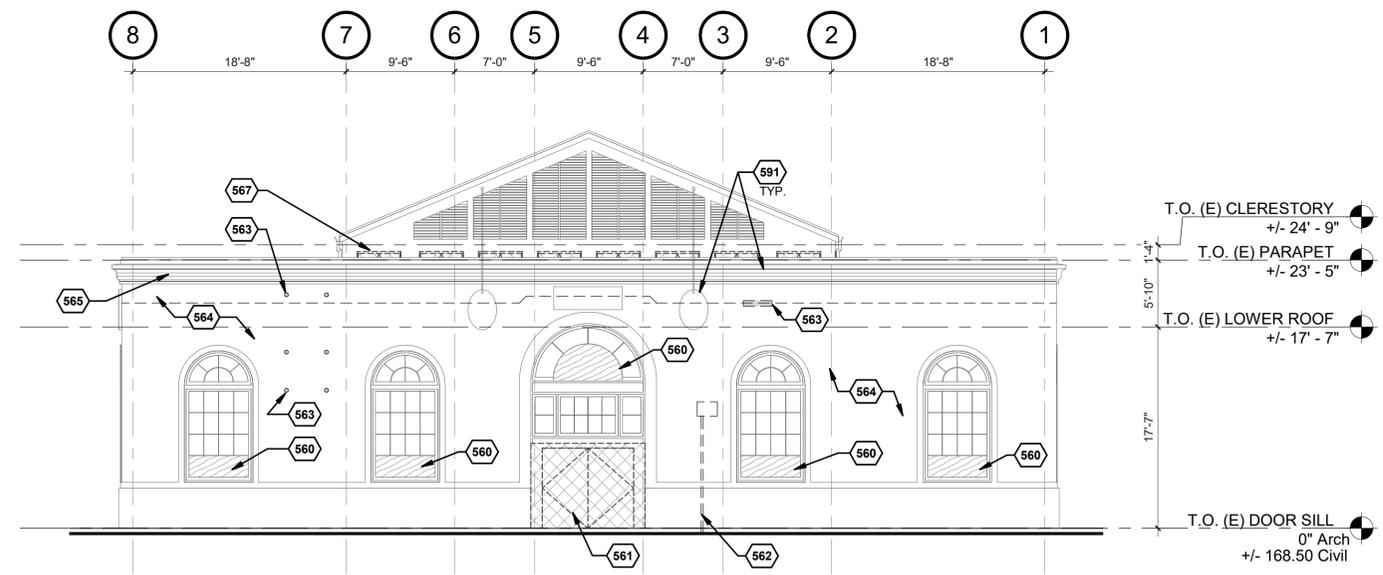
MATERIALS LEGEND

- CRACKS IN STUCCO
- CRACKS IN CONCRETE. FOR CRACKS THAT TRANSVERSE COMPLETELY THROUGH WALL, REPAIR PER DETAIL 10/A960
- MISSING STUCCO. SOME BRICK REPLACEMENT REQUIRED.
- NEW STUCCO PATCH AREAS
- NON-ORIGINAL STUCCO PATCHES TO REMAIN
- AREA / ELEMENT TO BE REMOVED (DEMOLITION ELEVATIONS ONLY)



1. NORTH ELEVATION - EXISTING/ DEMO

AD502 SCALE: 1/8" = 1'-0"



2. EAST ELEVATION - EXISTING/ DEMO

AD502 SCALE: 1/8" = 1'-0"



North Exterior Facade (Current Main Entry)



East Exterior Facade



PROJECT NUMBER: 221035

OSFEC - PRESERVATION & CAPITAL IMPROVEMENT PROJECTS - BLDG 28 - HISTORIC POULTRY BUILDING

2330 17TH ST NE
SALEM, OR 97301

BUILDING NUMBER:

28

SHEET TITLE:
EXTERIOR ELEVATIONS EXISTING/DEMO

DRAWN BY: ARG
DATE CREATED: 06.17.22

SHEET:
AD503
Construction Documents 100%
09.09.2022

GENERAL NOTES

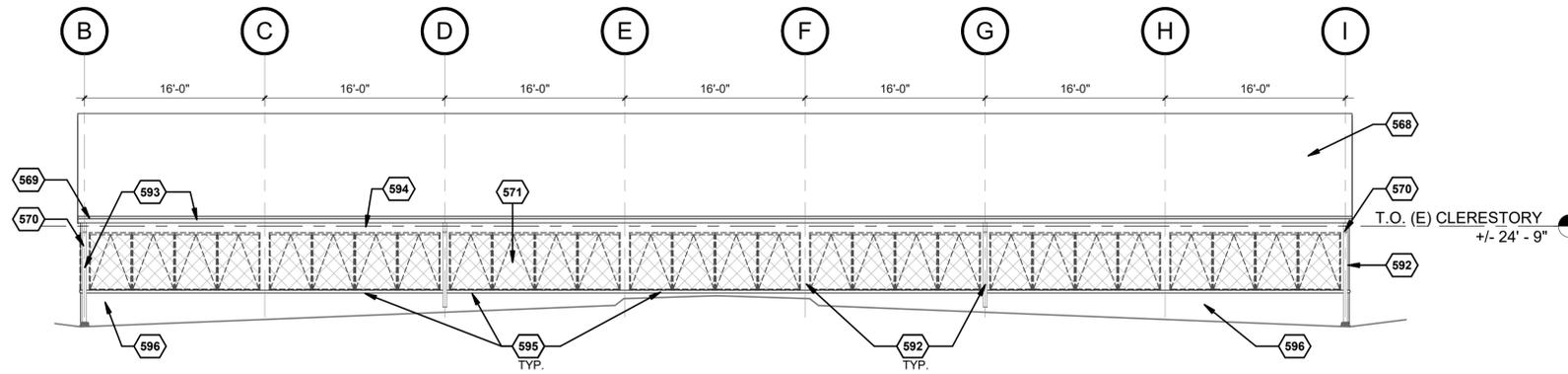
1. REMOVE ALL COATINGS FROM EXTERIOR, SEE SPECIFICATION SECTION 09 97 12.
2. REMOVE DAMAGED AREAS OF STUCCO AND PREPARE AREA FOR STUCCO PATCH, SEE SPECIFICATION SECTION 09 22 00.
3. REPAIR MASONRY CRACKS SEE SPECIFICATION SECTION 04 01 29.

KEYNOTES

- 568 (E) ROOF
- 569 (E) METAL GUTTER
- 570 (E) METAL DOWNSPOUT, TYP. OF (4).
- 571 REMOVE WD SHUTTERS, SCREEN, & TRIM AND PREPARE OPENINGS FOR NEW WINDOWS, SHEAR PANELS, AND SIDING, TYP.
- 572 PROFILE LINE OF (E) ROOF.
- 573 (E) PARAPET.
- 574 (E) LOUVERS.
- 575 (E) SHIPLAP WD SIDING.
- 576 (E) PARAPET PEDIMENT BEYOND.
- 592 REMOVE (E) PLYWOOD SIDING AT MULLIONS, BETWEEN WINDOWS AND BEHIND DOWNSPOUTS.
- 593 REMOVE (E) GUTTERS AND DOWNSPOUTS. SALVAGE AND REINSTALL AFTER RESTORATION OF WOOD EXTERIOR IS COMPLETE.
- 594 REMOVE (E) FLASHING PANEL ABOVE PLYWOOD SHUTTERS.
- 595 REMOVE (E) CONTINUOUS METAL SILL AT ALL OPENINGS.
- 596 REMOVE (E) CONTINUOUS METAL PANEL SIDING BELOW SILLS OF OPENINGS.

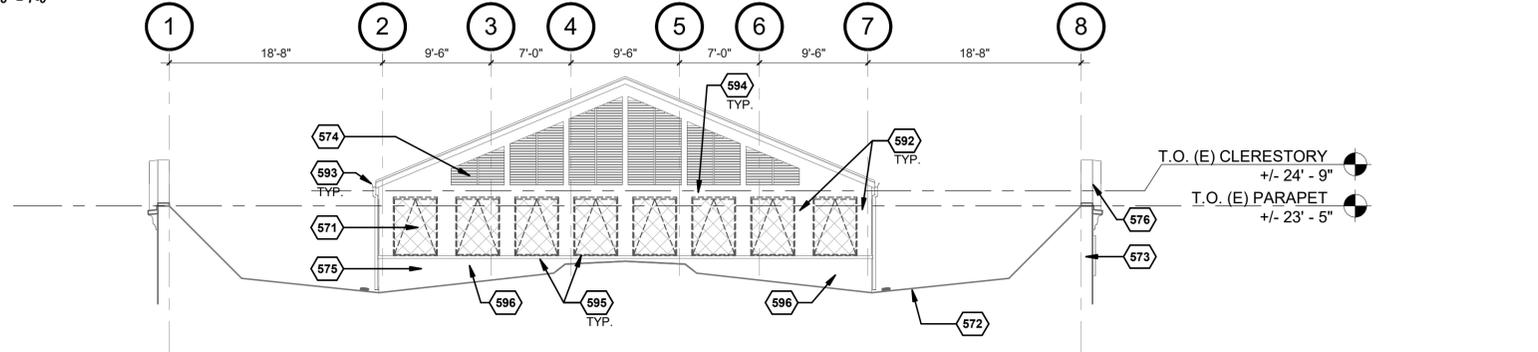
MATERIALS LEGEND

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- CRACKS IN CONCRETE. FOR CRACKS THAT TRANSVERSE COMPLETELY THROUGH WALL, REPAIR PER DETAIL 10/A960
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- AREA / ELEMENT TO BE REMOVED (DEMOLITION ELEVATIONS ONLY)



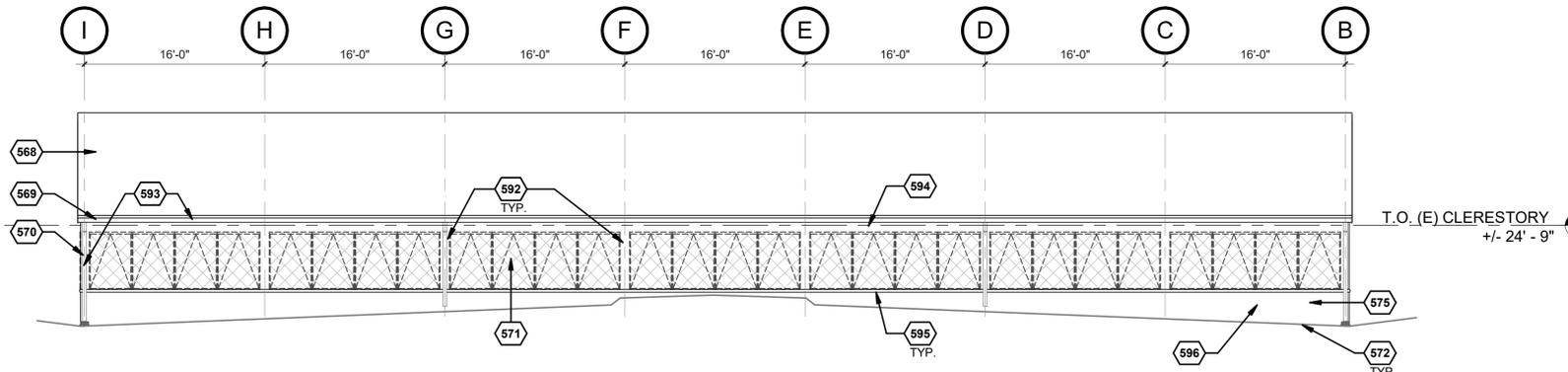
1. CLERESTORY SOUTH - EXISTING / DEMO

AD503 SCALE: 1/8" = 1'-0"



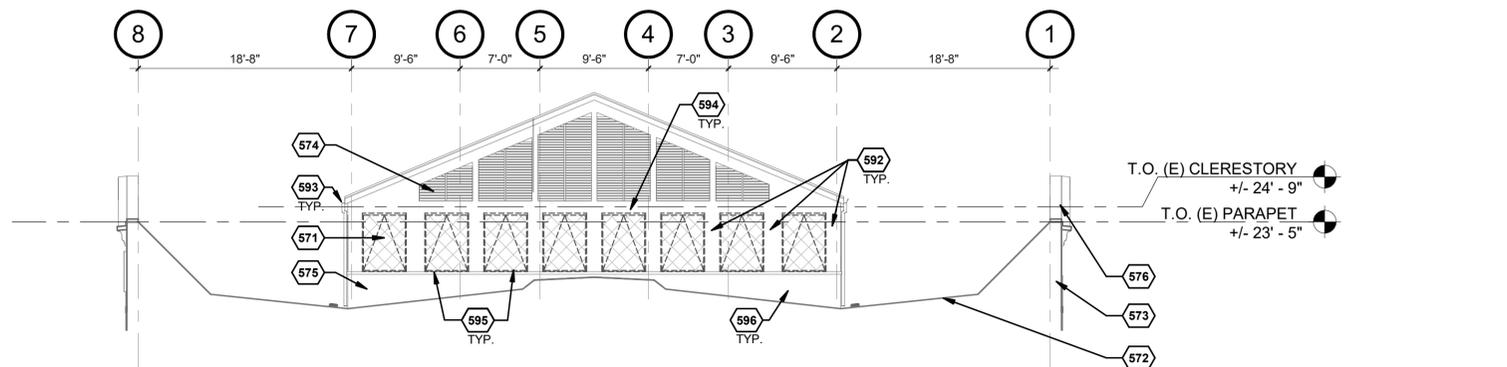
2. CLERESTORY WEST - EXISTING / DEMO

AD503 SCALE: 1/8" = 1'-0"



3. CLERESTORY NORTH - EXISTING / DEMO

AD503 SCALE: 1/8" = 1'-0"

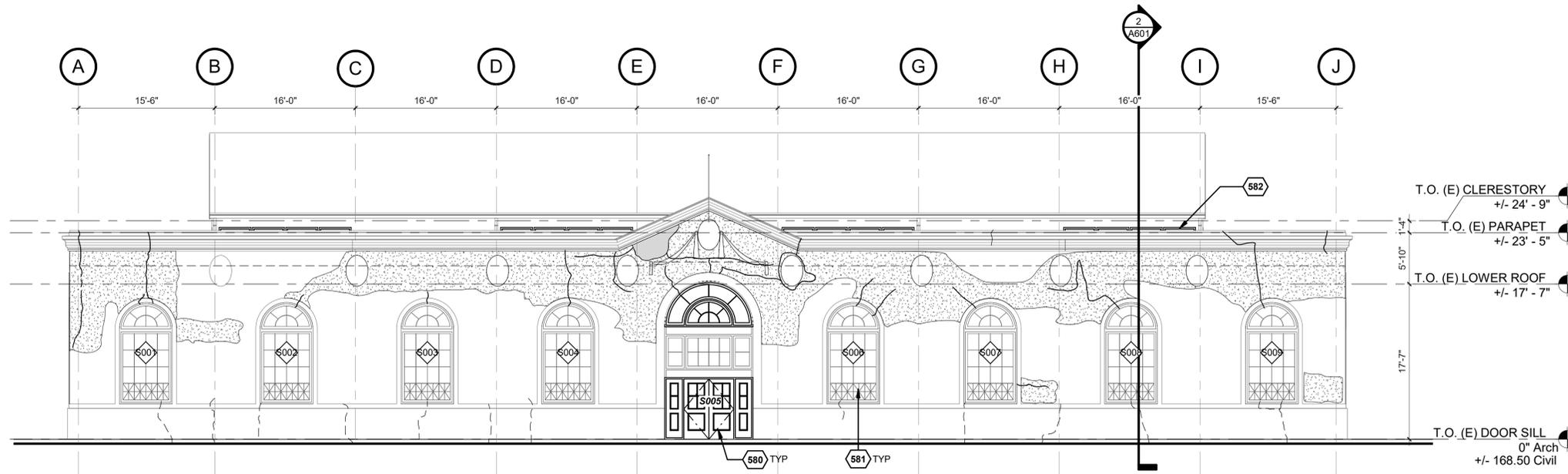


4. CLERESTORY EAST - EXISTING / DEMO

AD503 SCALE: 1/8" = 1'-0"

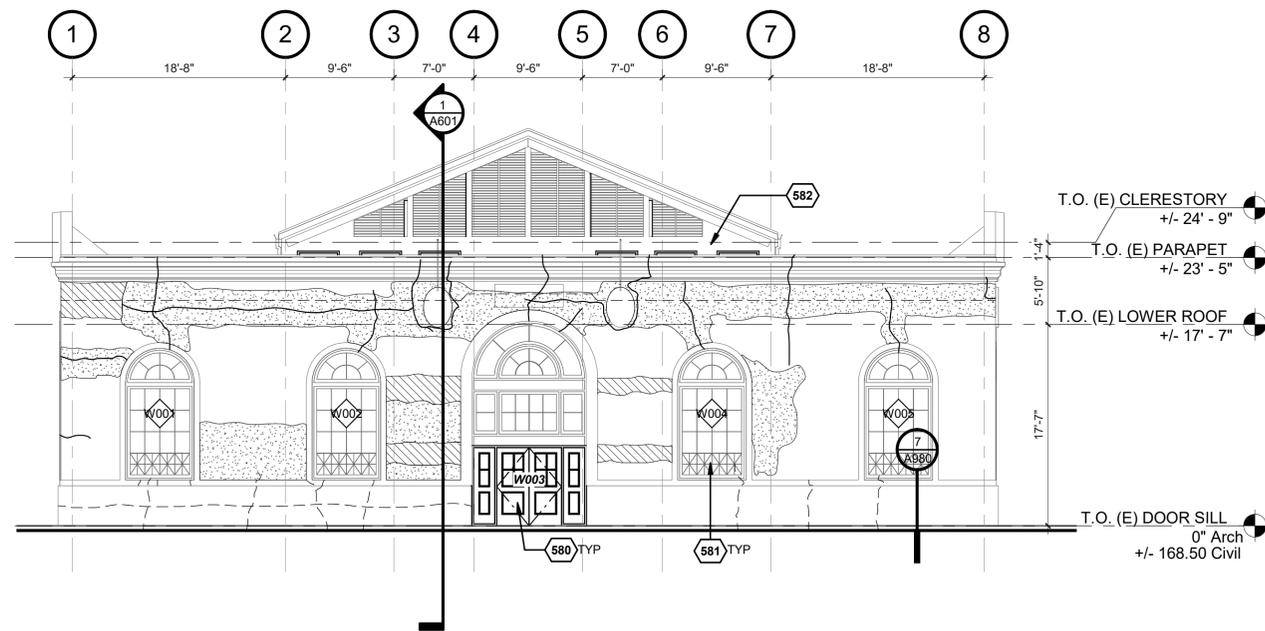
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1. SOUTH ELEVATION

A501 SCALE: 1/8" = 1'-0"



2. WEST ELEVATION

A501 SCALE: 1/8" = 1'-0"

MASONRY & STUCCO REPAIR NOTES

1. REMOVE EXISTING STUCCO AT AREAS WHERE IT IS DEBONDED, REPAIR AS SPECIFIED. HATCHED AREAS ON DRAWINGS INDICATE AREAS EXPECTED TO BE DEBONDED. USE "SOUNDING" TECHNIQUES TO DETERMINE EXACT AREAS FOR REMOVAL AND REPLACEMENT.
2. AT DIAGONAL STUCCO CRACK, REMOVE STUCCO FAR ENOUGH TO EVALUATE MASONRY SUBSTRATE. REPAIR MASONRY AS REQUIRED AND PATCH STUCCO AS SPECIFIED.
3. AT HORIZONTAL STUCCO CRACK, CUT OUT STUCCO AND REPAIR AS SPECIFIED.
4. AT VERTICAL CRACK, REMOVE STUCCO FAR ENOUGH TO EVALUATE MASONRY BELOW. REPAIR MASONRY AS REQUIRED AND PATCH STUCCO AS SPECIFIED.
5. AT CAST STONE ELEMENTS INCLUDING CHICKEN HEADS, MAIN ENTRY GARLANDS, AND CORNICES, REPOINT AROUND ALL CAST STONE ELEMENTS USING SPECIFIED MORTAR. REPAIR ELEMENTS ONLY IF THEY ARE DAMAGED MORE THAN 50% OF THEIR SURFACE AREAS. TOUCH UP PAINT AT CHICKENS, MATCHING EXISTING COLOR SCHEME.

CONC. CRACK & STUCCO REPAIR NOTES

1. VERTICAL CONCRETE CRACK, REPAIR AS SPECIFIED
2. HORIZONTAL CONCRETE CRACK REPAIR AS SPECIFIED
3. CONCRETE PATCH REPAIR AS DETAILED AND SPECIFIED
4. REMOVE EXISTING STUCCO WHERE IT IS DEBONDED, REPAIR AS SPECIFIED. SOUND ALL STUCCO COVERED CONCRETE TO LOCATE DEBONDED AREAS, ESPECIALLY AROUND CRACKS.

WINDOW REPAIR NOTES

1. AT EXISTING WINDOWS IN POULTRY BUILDING, INCLUDING DOOR SURROUND SASHES:
 - A. SEE WINDOW REPAIR SCHEDULE SHEETS A703 AND A704.
 - B. SEE DOOR REPAIR SCHEDULE ON SHEET A701.

MATERIALS LEGEND

- CRACKS IN STUCCO
- CRACKS IN CONCRETE, FOR CRACKS THAT TRANSVERSE COMPLETELY THROUGH WALL, REPAIR PER DETAIL 10/A960
- MISSING STUCCO, SOME BRICK REPLACEMENT REQUIRED.
- NEW STUCCO PATCH AREAS
- NON-ORIGINAL STUCCO PATCHES TO REMAIN
- AREA / ELEMENT TO BE REMOVED (DEMOLITION ELEVATIONS ONLY)

KEYNOTES

- 580 SEE A701 FOR DOOR REPAIR NOTES.
- 581 SEE A702 FOR WINDOW REPAIR NOTES.
- 582 SEE A503 FOR CLERESTORY ELEVATIONS.



CONSULTANT:



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 Corvallis, OR 97331
 541-338-2842
 susan@slsarch.com



PROJECT NUMBER: 221035

OSFEC - PRESERVATION & CAPITAL IMPROVEMENT PROJECTS - BLDG 28 - HISTORIC POULTRY BUILDING

2330 17TH ST NE
 SALEM, OR 97301

BUILDING NUMBER:

28

SHEET TITLE:

EXTERIOR ELEVATIONS

DRAWN BY: ARG
 DATE CREATED: 06.17.22

SHEET:

A501

Construction Documents 100%
 09.09.2022



PROJECT NUMBER: 221035

OSFEC - PRESERVATION & CAPITAL IMPROVEMENT PROJECTS - BLDG 28 - HISTORIC POULTRY BUILDING

2330 17TH ST NE
SALEM, OR 97301

BUILDING NUMBER:

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SHEET TITLE:
EXTERIOR ELEVATIONS

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A502
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09.09.2022

MASONRY & STUCCO REPAIR NOTES

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2. AT DIAGONAL STUCCO CRACK, REMOVE STUCCO FAR ENOUGH TO EVALUATE MASONRY SUBSTRATE. REPAIR MASONRY AS REQUIRED AND PATCH STUCCO AS SPECIFIED.
3. AT HORIZONTAL STUCCO CRACK, CUT OUT STUCCO AND REPAIR AS SPECIFIED.
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5. AT CAST STONE ELEMENTS INCLUDING CHICKEN HEADS, MAIN ENTRY GARLANDS, AND CORNICES: REPOINT AROUND ALL CAST STONE ELEMENTS USING SPECIFIED MORTAR. REPAIR ELEMENTS ONLY IF THEY ARE DAMAGED MORE THAN 50% OF THEIR SURFACE AREAS. TOUCH UP PAINT AT CHICKENS, MATCHING EXISTING COLOR SCHEME.

CONC. CRACK & STUCCO REPAIR NOTES

1. VERTICAL CONCRETE CRACK, REPAIR AS SPECIFIED
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3. CONCRETE PATCH REPAIR AS DETAILED AND SPECIFIED
4. REMOVE EXISTING STUCCO WHERE IT IS DEBONDED. REPAIR AS SPECIFIED. SOUND ALL STUCCO COVERED CONCRETE TO LOCATE DEBONDED AREAS, ESPECIALLY AROUND CRACKS.

WINDOW REPAIR NOTES

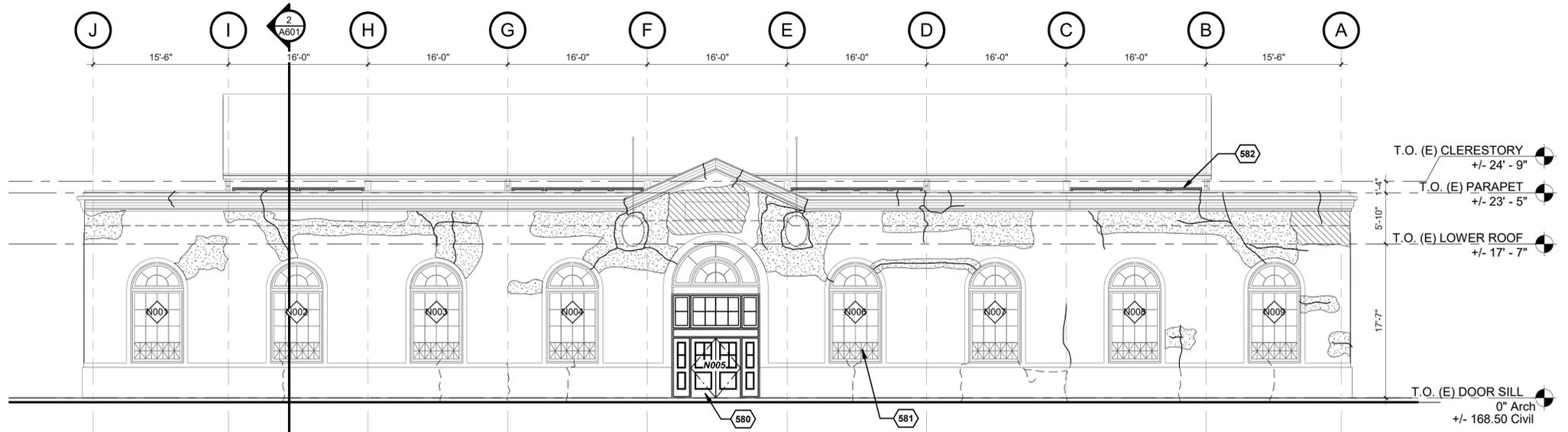
1. AT EXISTING WINDOWS IN POULTRY BUILDING, INCLUDING DOOR SURROUND SASHES:
 - A. SEE WINDOW REPAIR SCHEDULE SHEETS A703 AND A704
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MATERIALS LEGEND

- CRACKS IN STUCCO
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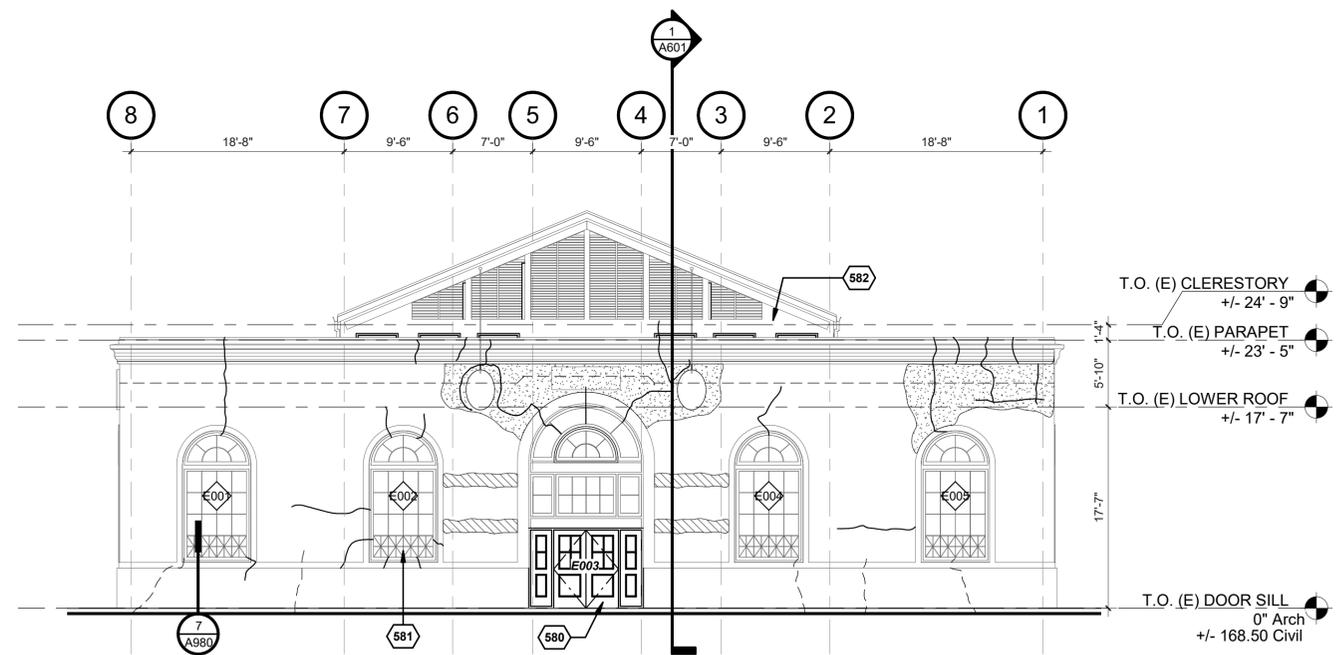
KEYNOTES

- 580 SEE A701 FOR DOOR REPAIR NOTES.
- 581 SEE A702 FOR WINDOW REPAIR NOTES.
- 582 SEE A503 FOR CLERESTORY ELEVATIONS.



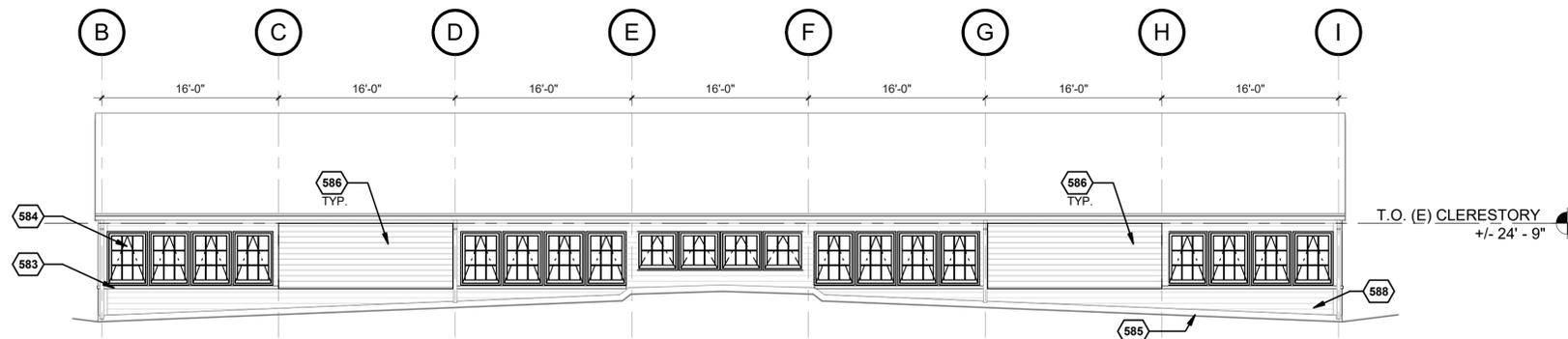
1. NORTH ELEVATION

A502 SCALE: 1/8" = 1'-0"



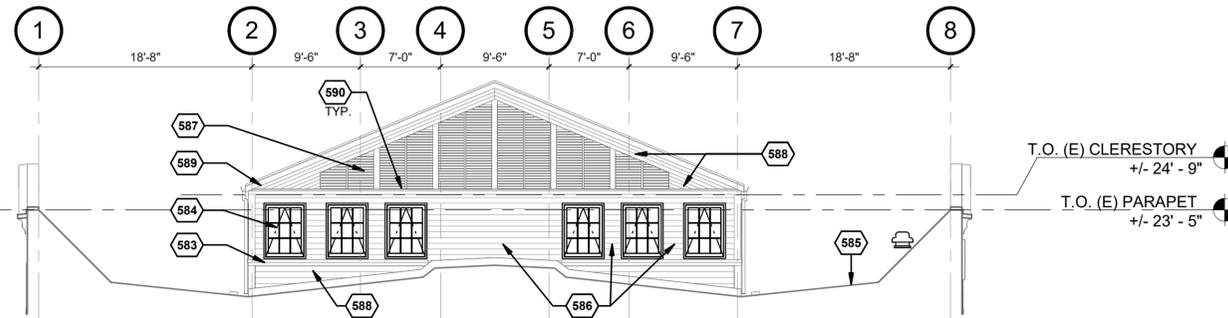
2. EAST ELEVATION

A502 SCALE: 1/8" = 1'-0"



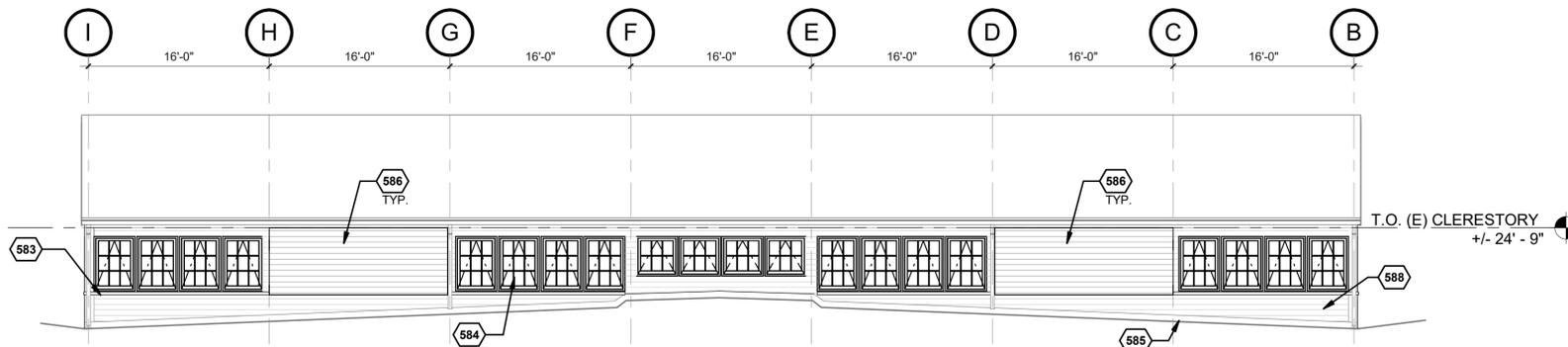
1. CLERESTORY SOUTH

A503 SCALE: 1/8" = 1'-0"



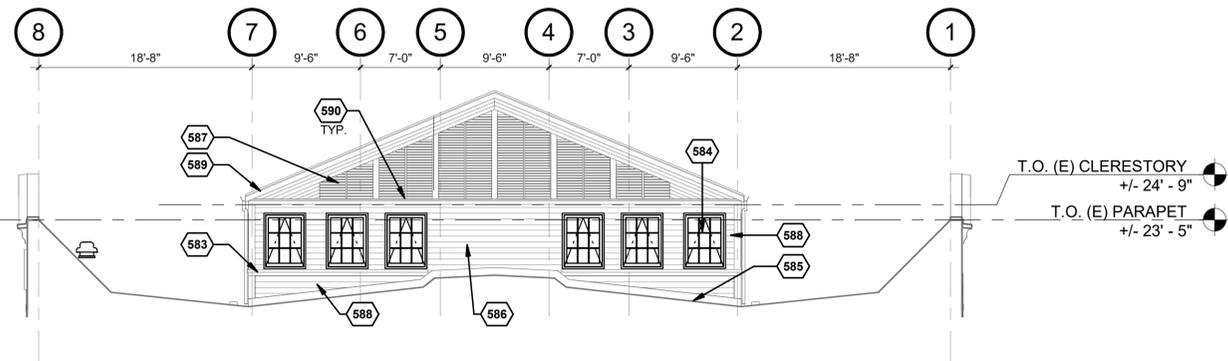
2. CLERESTORY WEST

A503 SCALE: 1/8" = 1'-0"



3. CLERESTORY NORTH

A503 SCALE: 1/8" = 1'-0"



4. CLERESTORY EAST

A503 SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. SEE SHEET A703 FOR CLERESTORY WINDOW DETAILS.
2. SEE SHEET A972 FOR CLERESTORY/LOUVER DETAILS AND REPAIR NOTES.
3. SEE SHEET A972 FOR CLERESTORY FLASHING DETAILS.

KEYNOTES

- 583 REPAIR AND PAINT (E) WD SILL.
- 584 NEW CLERESTORY WINDOW IN (E) OPENINGS, TYP.
- 585 PROFILE LINE OF (E) ROOF. INSPECT ROOF TO WALL FLASHING & REPAIR / REPLACE DAMAGED ROOFING & FLASHING AS REQUIRED.
- 586 REPLACE SHIPLAP WD SIDING AT INFILLED WINDOW OPENINGS AT PLYWOOD SHEARWALL PANELS. MATCH (E) SIDING AND PAINT.
- 587 REPAIR & REPAINT (E) LOUVERS.
- 588 CLEAN & PAINT (E) WD SHIPLAP SIDING.
- 589 PAINT (E) FASCIA BOARD, TYP.
- 590 REPAIR & PAINT (E) WD SILL AT LOUVER.



CONSULTANT:



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 541-338-2842
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Architectural Resources Group

PROJECT NUMBER: 221035

OSFEC - PRESERVATION & CAPITAL IMPROVEMENT PROJECTS - BLDG 28 - HISTORIC POULTRY BUILDING

2330 17TH ST NE
 SALEM, OR 97301

BUILDING NUMBER:

28

SHEET TITLE:

EXTERIOR ELEVATIONS

DRAWN BY: ARG
 DATE CREATED: 06.17.22

SHEET:

A503
 Construction Documents 100%
 09.09.2022

GENERAL NOTES

- A. REFER TO SECTION X/XXXX FOR TYPICAL NOTES FOR EXTERIOR WALL CONSTRUCTION.
- B. REFER TO A150, A151 FOR FLOOR AND WALL ASSEMBLIES.
- C. REFER TO A111 FOR ENERGY CODE COMPLIANCE REQUIREMENTS.

KEYNOTES

- 601 SHIP-LAP SIDING OVER PLYWOOD AT NEW SHEAR WALL PANEL - PAINT
- 602 EXIT SIGN, SURFACE MOUNTED ON DOOR TRIM, SEE DOOR TYPE, TYP.
- 603 INTERIOR WALL BEYOND - SEE FLOOR PLAN
- 604 RESTORED ENTRY DOOR WITH SIDES LIGHTS AND TRANSOM BEYOND - SEE EXTERIOR ELEVATIONS FOR RESTORATION INFORMATION
- 605 CONCRETE SLAB ON GRADE
- 606 CLERESTORY WINDOW IN EXISTING OPENINGS, TYP.
- 607 PAINTED STEEL MOMENT FRAME PER STRUCTURAL
- 608 CONCRETE SLAB ON GRADE OVER EXISTING HISTORIC CONCRETE SLAB
- 609 FRAMED ALCOVE SOFFIT AT WINDOW BEYOND - SEE RCP
- 610 INTERIOR ROOM 2X FRAMED LID
- 611 EXISTING FRAMING, INFILLED OPENINGS, & LOUVERS BEYOND SHOWN FOR REFERENCE ONLY
- 640 (E) CLERESTORY ROOF WITH TIMBER FRAMED ROOF STRUCTURE - PAINT EXPOSED DECKING AND FRAMING TYP.
- 641 (E) LOUVER - SEE EXTERIOR ELEVATIONS
- 642 (E) WOOD FRAMED CLEAR STORY WALL
- 643 (E) ROOF CRICKET AT PARAPET WALLS
- 644 (E) CLAY TILE WALL WITH STUCCO FINISH - SEE EXTERIOR ELEVATIONS FOR RESTORATION INFORMATION
- 645 (E) ROOF WITH TIMBER FRAMED ROOF STRUCTURE - PAINT EXPOSED DECKING AND FRAMING TYP.
- 646 (E) EXTERIOR WALL BEYOND - PAINT TYP.
- 647 (E) WINDOW BEYOND - SEE EXTERIOR ELEVATIONS FOR RESTORATION INFORMATION, TYP.
- 648 (E) CONCRETE STEM WALL
- 649 (E) ROOF
- 650 (E) METAL PARAPET COPING
- 651 (E) TIMBER BEAM
- 652 (E) WINDOW SEE EXTERIOR ELEVATIONS FOR RESTORATION INFORMATION
- 653 (E) TIMBER FRAMED TRUSS AND COLUMN
- 654 (E) CONCRETE PIER, TYP.
- 655 (E) WALL FOOTING - VIF



CONSULTANT:

PROJECT NUMBER: 221035

OSFEC - PRESERVATION & CAPITAL IMPROVEMENT PROJECTS - BLDG 28 - HISTORIC POULTRY BUILDING

2330 17TH ST NE
 SALEM, OR 97301

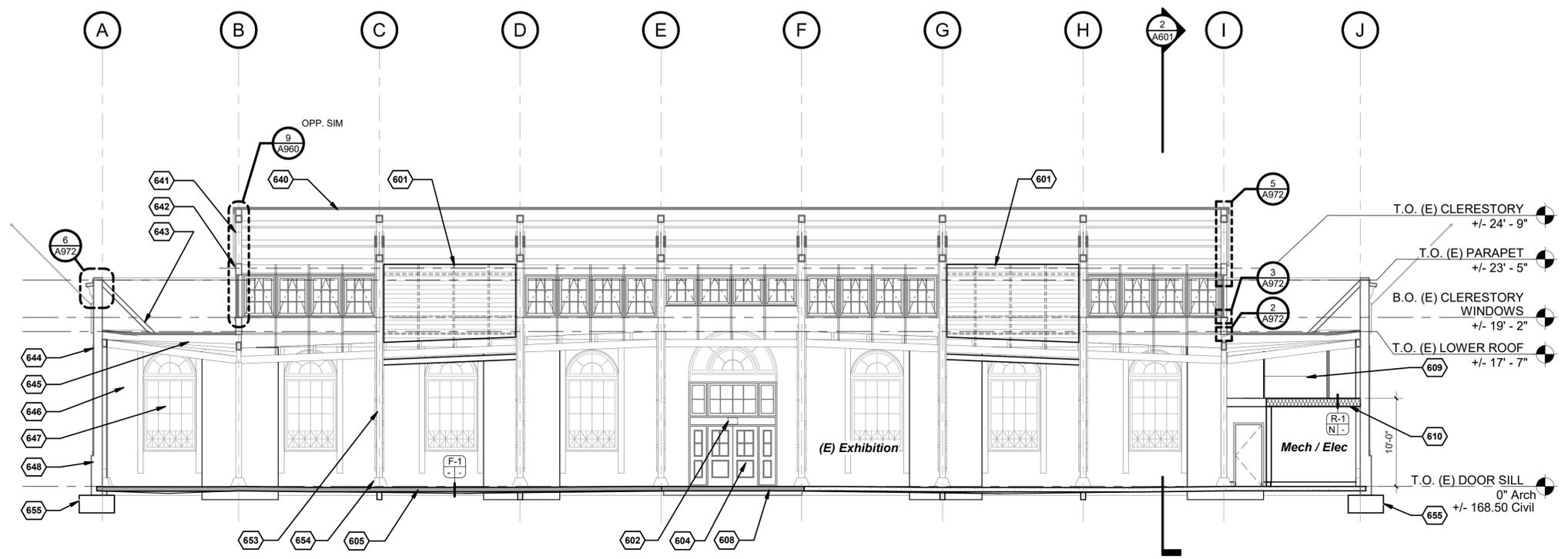
BUILDING NUMBER:

28

SHEET TITLE:
BUILDING SECTIONS

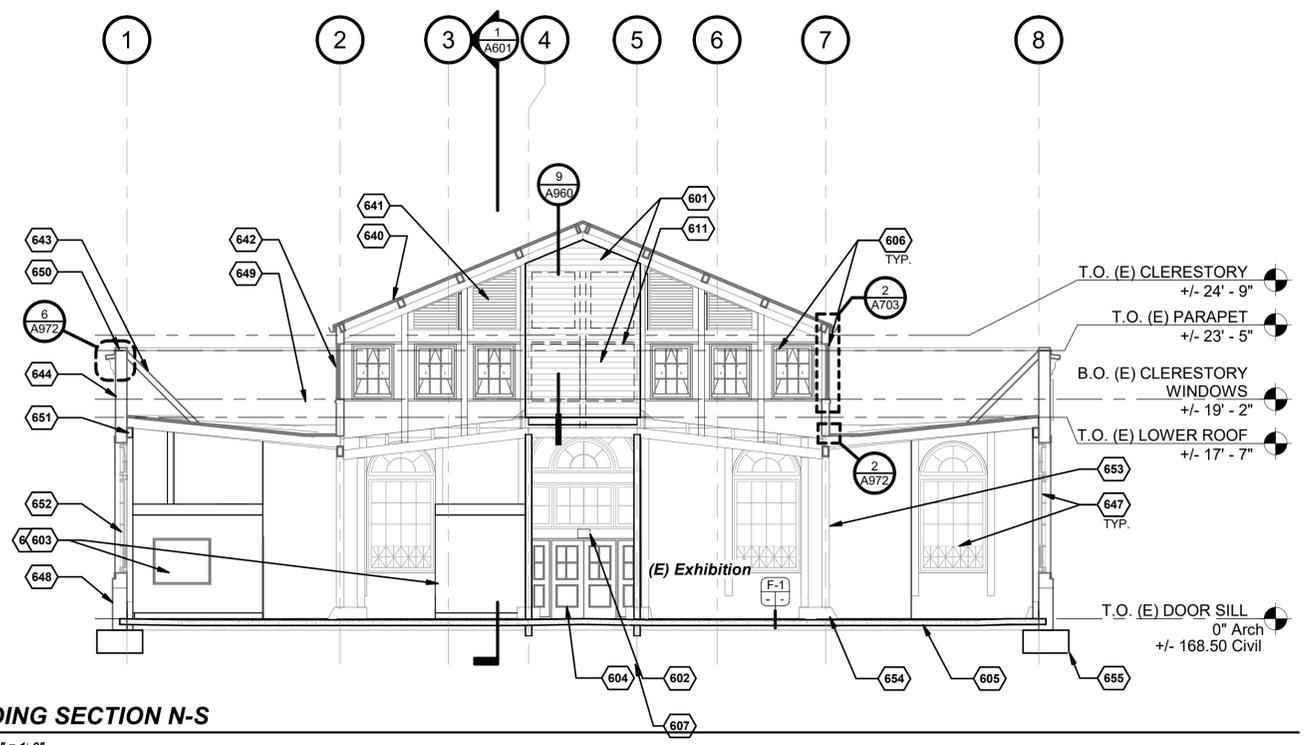
DRAWN BY: CDG
 DATE CREATED: 09.09.22

SHEET:
A601
 Construction Documents 100%
 09.09.2022



1. BUILDING SECTION E-W

A601 SCALE: 1/8" = 1'-0"



2. BUILDING SECTION N-S

A601 SCALE: 1/8" = 1'-0"

BIM 360/221035 - OSFEC Renovations/221035_OSFEC PC/IF_BLDG28_ARCH_R20_B360.rvt
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EXTERIOR DOOR SCHEDULE

LOCATION	IDENTITY MARK	DOOR PROPERTIES			HARDWARE GROUP	REPAIRS										COMMENTS
		WIDTH	HEIGHT	THICKNESS		TA1 SASH	TA2 SASH	TD1 SASH	TD2 SASH	TD3 SASH	SL1	SL2	TRIM A	TRIM B	OTHER EXT. TRIM	
EAST SIDE	E003	5' - 8"	6' - 10"	1 3/4"	28-01	2, 25	5, 6, 8, 9, 19,20,21,24,25,	5, 6, 7, 8, 9, 19, 20, 21, 22, 23, 24, 25, 28	5, 6, 7, 8, 9, 19, 20, 21, 22, 23, 24, 25, 28	5, 6, 7, 8, 9, 19, 20, 21, 22, 23, 24, 25, 28	2, 25	2, 25	20,24,26, 34	1	20,24,26	CHECK ALL SASHES FOR INTERIOR SASH STOPS, REPAIR OR REPLACE AS REQUIRED, TYP ALL SASHES
NORTH SIDE	N005	5' - 8"	6' - 10"	1 3/4"	28-02	5,6,7,8,9, 14, 16, 17,19,23, 24,25, 28	5,6,7,8,9, 14, 16, 17,19,23, 24,25, 28	2, 25	2, 25	2, 25	2, 25	2, 25	20,24,26, 34	1	20,24,26	CHECK ALL SASHES FOR INTERIOR SASH STOPS, REPAIR OR REPLACE AS REQUIRED, TYP ALL SASHES
WEST SIDE	W003	5' - 8"	6' - 10"	1 3/4"	28-02	5,6,7,8,9, 19,23,24,25	5,6,7,8,9, 19,23,24,25	5,6,7,8,9, 19,23, 24,25, 28	5,6,7,8,9, 19,23, 24,25,28	5,6,7,8,9, 19,23, 24,25,28	2, 25	2, 25	20,24,26, 34	1	20,24,26	CHECK ALL SASHES FOR INTERIOR SASH STOPS, REPAIR OR REPLACE AS REQUIRED, TYP ALL SASHES
SOUTH SIDE	S005	5' - 8"	6' - 10"	1 3/4"	28-02	2, 25	2, 25	5,6,7,8,9, 19,20, 23, 24, 25, 28, 33	5,6,7,8,9, 13, 19,20, 21, 23, 24, 25, 28,	5,6,7,8,9, 19,20, 23, 24, 25, 28,	2, 25	2, 25	20,24,26, 34	1	20,24,26, 35	CHECK ALL SASHES FOR INTERIOR SASH STOPS, REPAIR OR REPLACE AS REQUIRED, TYP ALL SASHES

EXTERIOR DOOR SCHEDULE GENERAL NOTES

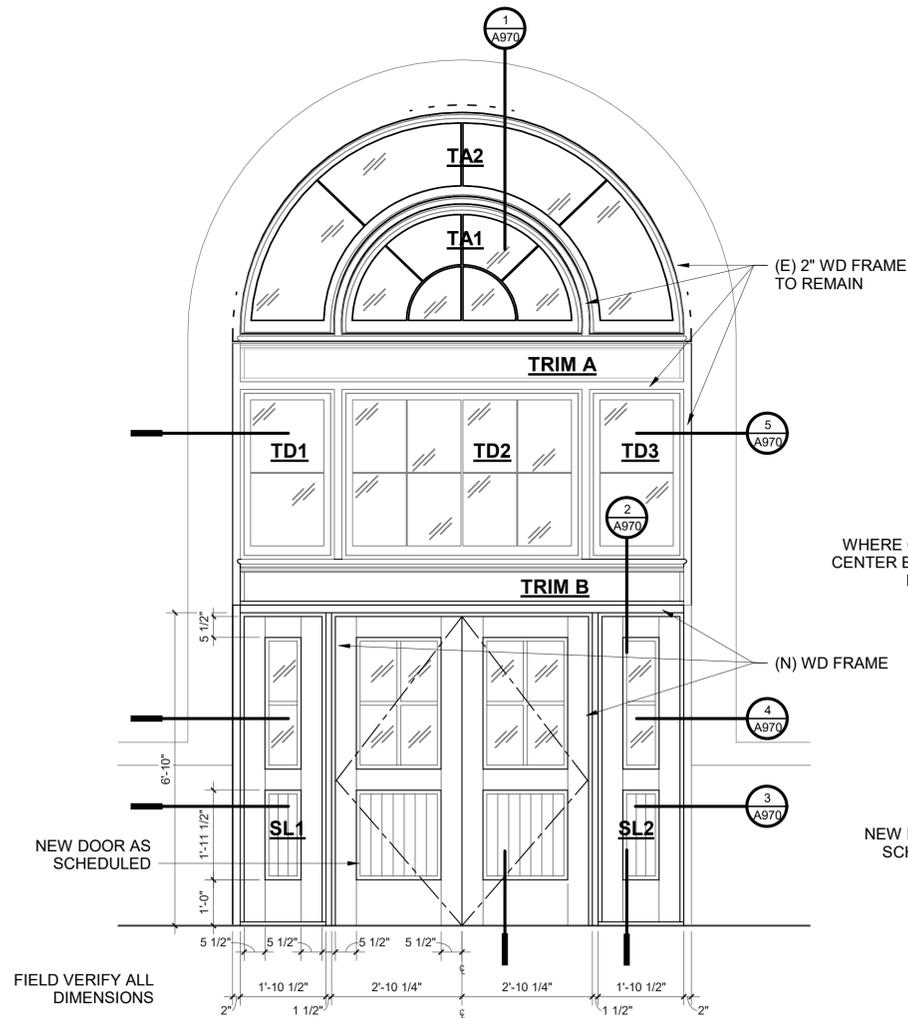
- ALL EXTERIOR DOORS ARE WOOD WITH A PAINTED FINISH.
- ALL EXTERIOR FRAMES ARE WOOD WITH A PAINTED FINISH.
- DOOR AND SIDELIGHT GLAZING TO BE MONOLITHIC SAFETY GLAZING.
- DOORS & SIDELITES TO HAVE TRUE-DIVIDED LITES.

DOOR FRAME REPAIR NOTES

- PROVIDE NEW TRIM B, SEE DETAIL
- PROVIDE NEW SASH, SEE DETAILS
- PROVIDE NEW FRAME, SEE DETAILS
- PROVIDE NEW SASH, REPLICATE EXISTING MATCHING SASH
- REMOVE EXISTING SASH FROM FRAME USING LEAD SAFE PROCEDURES
- STRIP LEAD PAINT FROM INTERIOR AND EXTERIOR SURFACES USING INFRARED HEATER - SEE SPECIFICATIONS
- REMOVE EXISTING GLAZING PUTTY AND GLASS
- SAND DETERIORATED WOOD TO BRIGHT SUBSTRATE, INTERIOR AND EXTERIOR
- REMOVE ANY MILDEW FROM WOOD AND DRY WOOD COMPLETELY
- REPLACE BOTTOM RAIL OF SASH
- REPAIR BOTTOM RAIL OF SASH
- REPAIR BOTTOM OF LEFT STILE
- REPAIR BOTTOM OF RIGHT STILE
- REPLACE MUNTINS
- REPAIR MUNTINS
- SQUARE UP SASH AND REPIN MORTISE AND TENON JOINTS AS REQUIRED
- REASSEMBLE SASH AS REQUIRED
- COMPLETE MINOR EPOXY REPAIRS WHERE NOTED
- PRETREAT SASH AND GLAZING PUTTY REBATES WITH A CONSOLIDANT TO STRENGTHEN WOOD FIBERS AND PROVIDE A SOLID BASE FOR PRIMER
- APPLY ALKYD OIL PRIMER
- REPLACE BROKEN OR MISSING GLASS PANES WITH MATCHING COLOR. INSTALL NEW GLASS WITH GLAZING PUTTY
- STRIP EXISTING GLASS OF ALL PAINT AND OTHER MATERIAL
- CLEAN AND REINSTALL EXISTING GLASS PANES WITH GLAZING PUTTY
- APPLY 2 COATS OF LATEX FINISH PAINT
- REINSTALL SASH IN RESTORED FRAME
- STRIP EXTERIOR WOOD SURFACES
- TOUCH UP INTERIOR PAINTED SURFACES
- INSTALL NEW BOTTOM STOP AT SASH
- REPAIR EXISTING BOTTOM STOP AT SASH
- REPAIR EXTERIOR RIGHT SIDE TRIM AT SASH
- REPAIR EXTERIOR LEFT SIDE TRIM AT SASH
- REPAIR EXTERIOR ARCH TRIM AT SASH
- INSTALL NEW LEFT SASH STOP AT SASH
- REPLACE MISSING TRIM COMPONENTS, SEE DETAIL
- REPLACE ALL TRIM AROUND EXTERIOR FRAME, SEE DETAIL

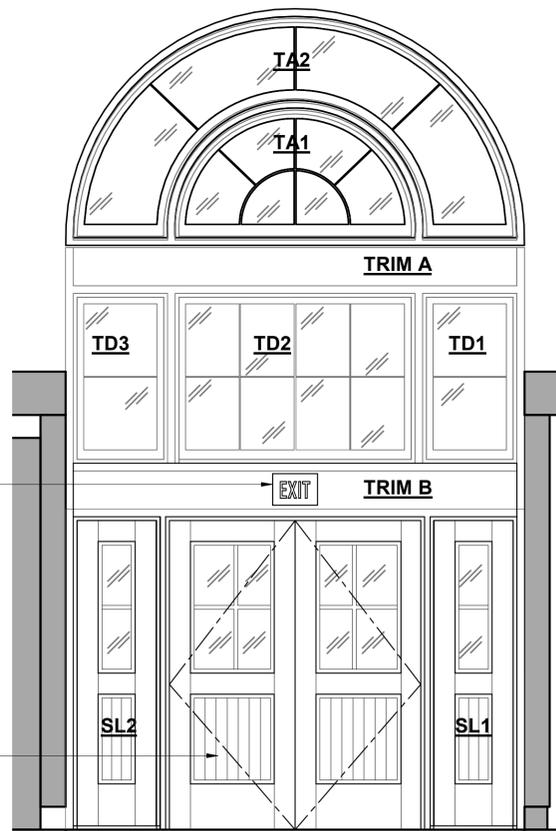
DOOR FRAME REPAIR LEGEND

- | | |
|--------|---|
| TA1 | TRANSOM ARCH 1 |
| TA2 | TRANSOM ARCH 2 |
| TRIM A | TRIM BETWEEN TA & TD SASHES |
| TD1 | TRANSOM |
| TD2 | TRANSOM |
| TD3 | TRANSOM |
| TRIM B | TRIM BETWEEN TD SASHES & DOORS & SIDELIGHTS |
| SL1 | SIDELIGHT 1 |
| SL2 | SIDELIGHT 2 |



1. TYPICAL DOOR AND FRAME - EXTERIOR ELEVATION

A701 SCALE: 1/2" = 1'-0"



2. TYPICAL DOOR AND FRAME - INTERIOR ELEVATION

A701 SCALE: 1/2" = 1'-0"



CONSULTANT:



PROJECT NUMBER: 221035

OSFEC - PRESERVATION & CAPITAL IMPROVEMENT PROJECTS - BLDG 28 - HISTORIC POULTRY BUILDING

2330 17TH ST NE
SALEM, OR 97301

BUILDING NUMBER:

28

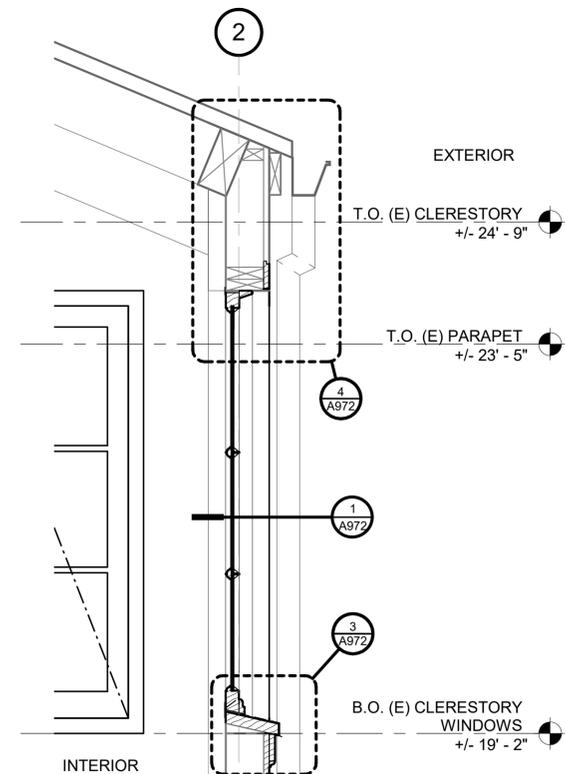
SHEET TITLE:

EXTERIOR DOOR TYPES AND SCHEDULE

DRAWN BY: ARG
DATE CREATED: 06.17.22

SHEET:

A701
Construction Documents 100%
09.09.2022

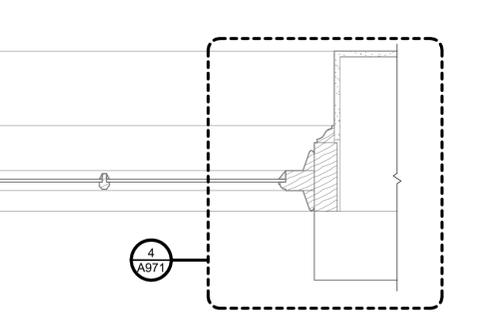


2. SECTION THROUGH CLERESTORY WINDOW

A703 SCALE: 1" = 1'-0"

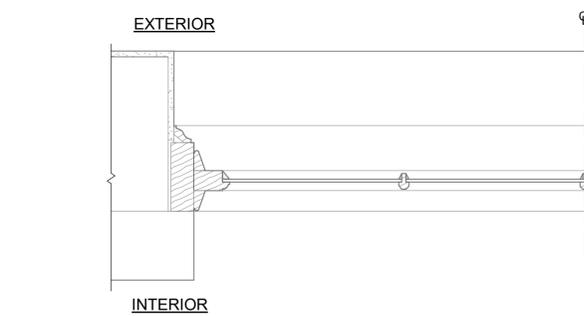
WINDOW REPAIR LEGEND

T1	HALF-ROUND TRANSON
TRIM C	TRIM BETWEEN T & S SASHES
S1	SASH
S1J	UNION JACK PANES AT BOTTOM OF S1 SASH
C1	CLERESTORY SASH
EXT TRIM	TRIM ON EXTERIOR BETWEEN FRAME & STUCCO WALL



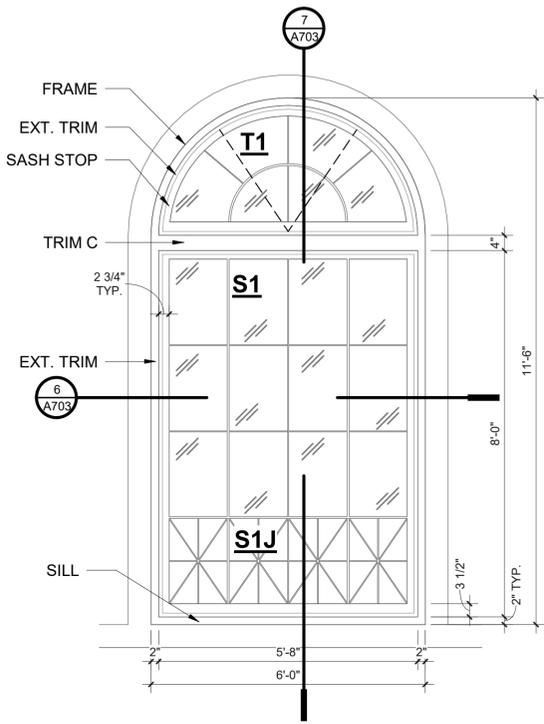
4. TYPICAL INTERIOR WINDOW AND FRAME

A703 SCALE: 1/2" = 1'-0"



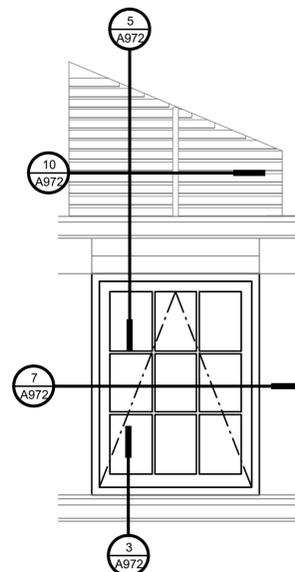
6. WINDOW PLAN SECTION

A703 SCALE: 1 1/2" = 1'-0"



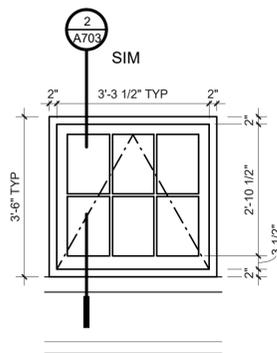
5. TYPICAL EXTERIOR WINDOW AND FRAME

A703 SCALE: 1/2" = 1'-0"

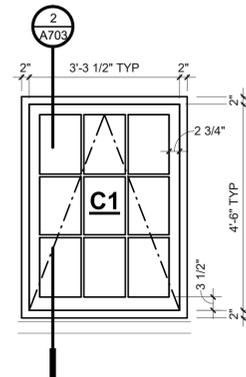


3. E&W CLERESTORY W/LOUVER

A703 SCALE: 1/2" = 1'-0"

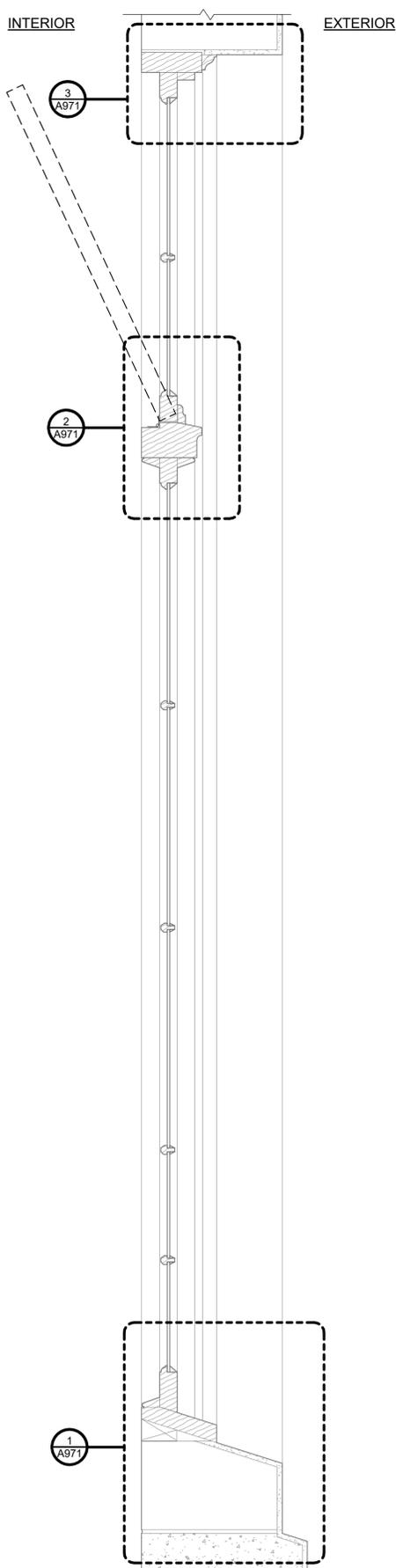


8. N&S CLERESTORY WINDOW - SMALL



1. N&S CLERESTORY WINDOW

A703 SCALE: 1/2" = 1'-0"



7. WINDOW SECTION

A703 SCALE: 1 1/2" = 1'-0"



PROJECT NUMBER: 221035

**OSFEC -
PRESERVATION
& CAPITAL
IMPROVEMENT
PROJECTS -
BLDG 28 -
HISTORIC
POULTRY
BUILDING**

2330 17TH ST NE
SALEM, OR 97301

BUILDING NUMBER:

28

SHEET TITLE:

**EXTERIOR
WINDOW
REPAIR
SCHEDULE**

DRAWN BY: ARG
DATE CREATED: 06.17.22

SHEET:

A704
Construction Documents 100%
09.09.2022

WINDOW REPAIR SCHEDULE

LOCATION	Mark	TI SASH	S1 SASH	S1J SASH BOTTOM UNION JACK	SILLS	GLAZING	WINDOW HARDWARE	EXT TRIM	FRAME	Comments
EAST	E001	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	9, 10, 11, 12, 13	4, 6, 7, 18, 22	19, 20	23	4, 6, 7, 18, 22, 25	4, 6, 7, 18, 22, 26	CHECK ALL SASHES FOR INTERIOR SASH STOPS, REPAIR OR REPLACE AS REQUIRED, TYP ALL WINDOWS
EAST	E002	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	9, 10, 11, 12, 13	4, 6, 7, 18, 22	19, 20	23	4, 6, 7, 18, 22, 25	4, 6, 7, 18, 22, 26	
EAST	E004	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	9, 10, 11, 12, 13	4, 6, 7, 18, 22	19, 20	23	4, 6, 7, 18, 22, 25	4, 6, 7, 18, 22, 26	
EAST	E005	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	9, 10, 11, 12, 13	4, 6, 7, 18, 22	19, 20	23	4, 6, 7, 18, 22, 25	4, 6, 7, 18, 22, 26	
NORTH	N001	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	9, 10, 11, 12, 13	4, 6, 7, 18, 22	19, 20	23	4, 6, 7, 18, 22, 25	4, 6, 7, 18, 22, 26	
NORTH	N002	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	9, 10, 11, 12, 13	4, 6, 7, 18, 22	19, 20	23	4, 6, 7, 18, 22, 25	4, 6, 7, 18, 22, 26	
NORTH	N003	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	8, 10, 11, 12, 13	1, 18, 22	19, 20	23	4, 6, 7, 18, 22, 25	4, 6, 7, 18, 22, 26	
NORTH	N004	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	8, 10, 12, 13	1, 18, 22	19, 20	23	4, 6, 7, 18, 22, 25	4, 6, 7, 18, 22, 26	
NORTH	N006	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	8, 11, 12, 13	2, 4, 6, 7, 18, 22	19, 20	23	4, 6, 7, 18, 22, 25, 29	4, 6, 7, 18, 22, 26	
NORTH	N007	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	9, 10, 11, 12, 13	4, 6, 7, 18, 22	19, 20	23	4, 6, 7, 18, 22, 25	4, 6, 7, 18, 22, 26	
NORTH	N008	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	9, 11, 12, 13	4, 6, 7, 18, 22	19, 20	23	4, 6, 7, 18, 22, 25, 30, 33	4, 6, 7, 18, 22, 26	
NORTH	N009	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	8, 11, 12, 13	1, 18, 22	19, 20	23	4, 6, 7, 18, 22, 25, 30, 32	4, 6, 7, 18, 22, 26	
WEST	W001	3, 4, 6, 7, 18, 22, 24	3, 4, 6, 7, 18, 22, 24	-	4, 6, 7, 18, 22	-	23	4, 6, 7, 18, 22	4, 6, 7, 18, 22, 26	
WEST	W002	3, 4, 6, 7, 18, 22, 24	3, 4, 6, 7, 18, 22, 24	-	4, 6, 7, 18, 22	-	23	4, 6, 7, 18, 22	4, 6, 7, 18, 22, 26	
WEST	W004	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	3, 4, 5, 6, 7, 14, 15, 17, 18, 19, 21, 22, 24	8	1, 18, 22	19	23	4, 6, 7, 18, 22	4, 6, 7, 18, 22, 26	
WEST	W005	3, 4, 5, 6, 7, 17, 18, 21, 22, 24	3, 4, 5, 6, 7, 17, 18, 21, 22, 24	-	-	-	23	4, 6, 7, 18, 22	4, 6, 7, 18, 22, 26	
SOUTH	S001	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	8, 10, 12, 13	1, 18, 22	19, 20	23	4, 6, 7, 18, 22, 25, 32	4, 6, 7, 18, 22, 26	
SOUTH	S002	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	8, 10, 11, 12, 13	4, 6, 7, 18, 22	19, 20	23	4, 6, 7, 18, 22, 25	4, 6, 7, 18, 22, 26	REPLACE RIGHT AND LEFT SASH STOP - S1
SOUTH	S003	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	8, 12, 13	4, 6, 7, 18, 22	19, 20	23	4, 6, 7, 18, 22, 25	4, 6, 7, 18, 22, 26	
SOUTH	S004	3, 4, 5, 6, 7, 17, 18, 21, 22, 24	3, 4, 5, 6, 7, 17, 18, 21, 22, 24	-	4, 6, 7, 18, 22	-	23	4, 6, 7, 18, 22	4, 6, 7, 18, 22, 26	
SOUTH	S006	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	8, 10, 11, 12, 13	1, 18, 22	19, 20	23	4, 6, 7, 18, 22, 25	4, 6, 7, 18, 22, 26	
SOUTH	S007	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	8, 10, 11, 12, 13	1, 18, 22	19, 20	23	4, 6, 7, 18, 22, 25	4, 6, 7, 18, 22, 26	
SOUTH	S008	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	8, 10, 11, 12, 13	2, 4, 6, 7, 18, 22	19, 20	23	4, 6, 7, 18, 22, 25, 31	4, 6, 7, 18, 22, 26	
SOUTH	S009	3, 4, 5, 6, 7, 14, 15, 17, 18, 21, 22, 24	NEW SASH	NEW SASH	NEW SASH	-	23	4, 6, 7, 18, 22, 25	4, 6, 7, 18, 22, 26	NEW SASH STOPS TO MATCH (E) AT NEW S1 SASH

WINDOW REPAIR NOTES

- REPLACE EXISTING WOOD SILL WITH NEW WOOD SILL – SEE DETAIL
- REPAIR EXISTING WOOD SILL USING REPAIR TECHNIQUES SPECIFIED
- REMOVE WINDOW SASH FROM FRAME USING LEAD SAFE PROCEDURES
- STRIP LEAD PAINT FROM INTERIOR AND EXTERIOR SURFACES USING INFRARED HEATER – SEE SPECIFICATIONS
- REMOVE EXISTING GLAZING PUTTY AND GLASS
- SAND DETERIORATED WOOD TO BRIGHT SUBSTRATE, INTERIOR AND EXTERIOR
- REMOVE ANY MILDEW FROM WOOD AND DRY WOOD COMPLETELY
- REPLACE BOTTOM RAIL OF SASH
- REPAIR BOTTOM RAIL OF SASH
- REPAIR BOTTOM OF LEFT STILE
- REPAIR BOTTOM OF RIGHT STILE
- REPLACE MUNTINS
- REPAIR MUNTINS
- SQUARE UP SASH AND REPIN MORTISE AND TENON JOINTS AS REQUIRED
- REASSEMBLE SASH AS REQUIRED
- COMPLETE MINOR EPOXY REPAIRS WHERE NOTED
- PRETREAT SASH AND GLAZING PUTTY REBATES WITH A CONSOLIDANT TO STRENGTHEN WOOD FIBERS AND PROVIDE A SOLID BASE FOR PRIMER

- APPLY ALKYD OIL PRIMER
- REPLACE BROKEN GLASS PANES WITH MATCHING COLOR. INSTALL NEW GLASS WITH GLAZING PUTTY
- STRIP EXISTING GLASS OF ALL PAINT AND OTHER MATERIAL
- CLEAN AND REINSTALL EXISTING GLASS PANES WITH GLAZING PUTTY
- APPLY 2 COATS OF LATEX FINISH PAINT
- REMOVE PAINT BUILD UP FROM LOCK HARDWARE AND HINGES, CLEAN AND REINSTALL IN WORKING ORDER
- REINSTALL SASH IN RESTORED FRAME
- STRIP EXTERIOR WOOD SURFACES USING INFRARED HEATER
- TOUCH UP INTERIOR PAINTED SURFACES
- INSTALL NEW BOTTOM STOP AT SASH T1
- NO BOTTOM STOP AT SASH T1
- REPAIR EXISTING BOTTOM STOP AT SASH T1
- REPAIR EXTERIOR RIGHT SIDE TRIM SASH S1
- REPAIR EXTERIOR LEFT SIDE TRIM AT SASH S1
- REPAIR EXTERIOR ARCH TRIM AT SASH T1
- REPAIR DRIP EDGE TRIM BETWEEN T1 AND S1

WINDOW REPAIR LEGEND

- | | |
|----------|--|
| T1 | HALF-ROUND TRANSOM |
| TRIM C | TRIM BETWEEN T & S SASHES |
| S1 | SASH |
| S1J | UNION JACK PANES AT BOTTOM OF S1 SASH |
| C1 | CLERESTORY SASH |
| EXT TRIM | TRIM ON EXTERIOR BETWEEN FRAME & STUCCO WALL |



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PROJECT NUMBER: 221035

OSFEC - PRESERVATION & CAPITAL IMPROVEMENT PROJECTS - BLDG 28 - HISTORIC POULTRY BUILDING

2330 17TH ST NE
SALEM, OR 97301

BUILDING NUMBER:

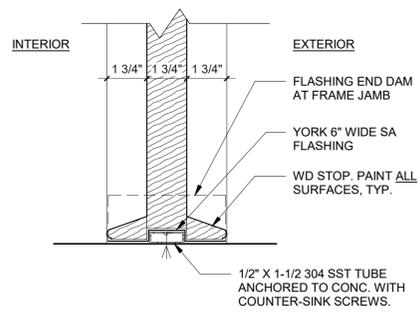
28

SHEET TITLE:
EXTERIOR DOOR & WINDOW DETAILS

DRAWN BY: ARG
DATE CREATED: 06.17.22

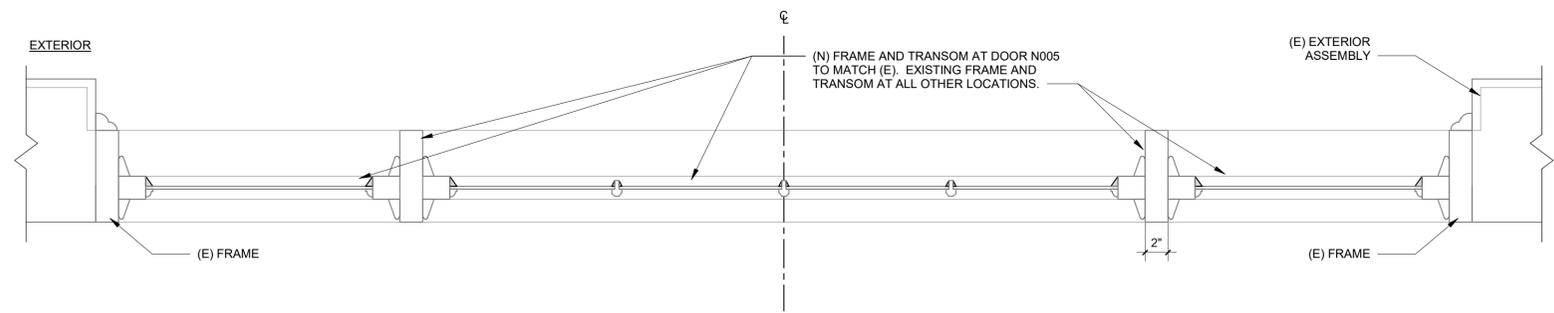
SHEET:

A970
Construction Documents 100%
09.09.2022



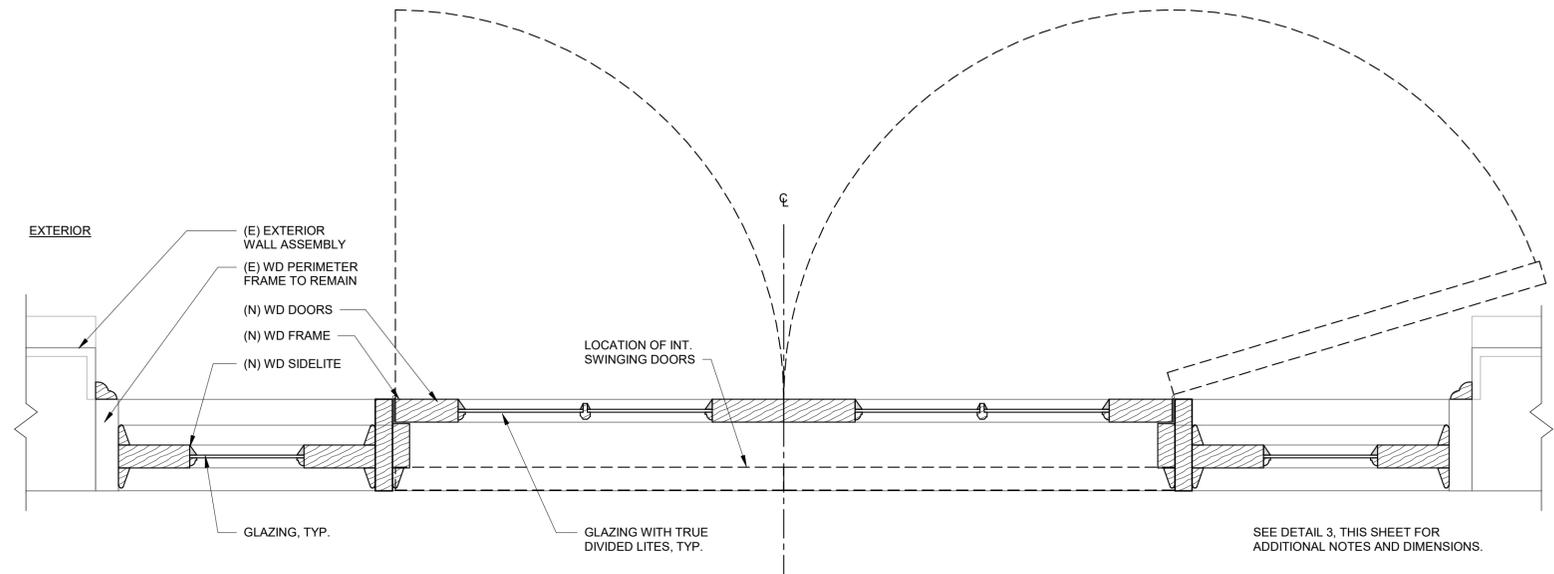
6. SECTION DETAIL @ SIDELITES SILL

A970 SCALE: 3" = 1'-0"



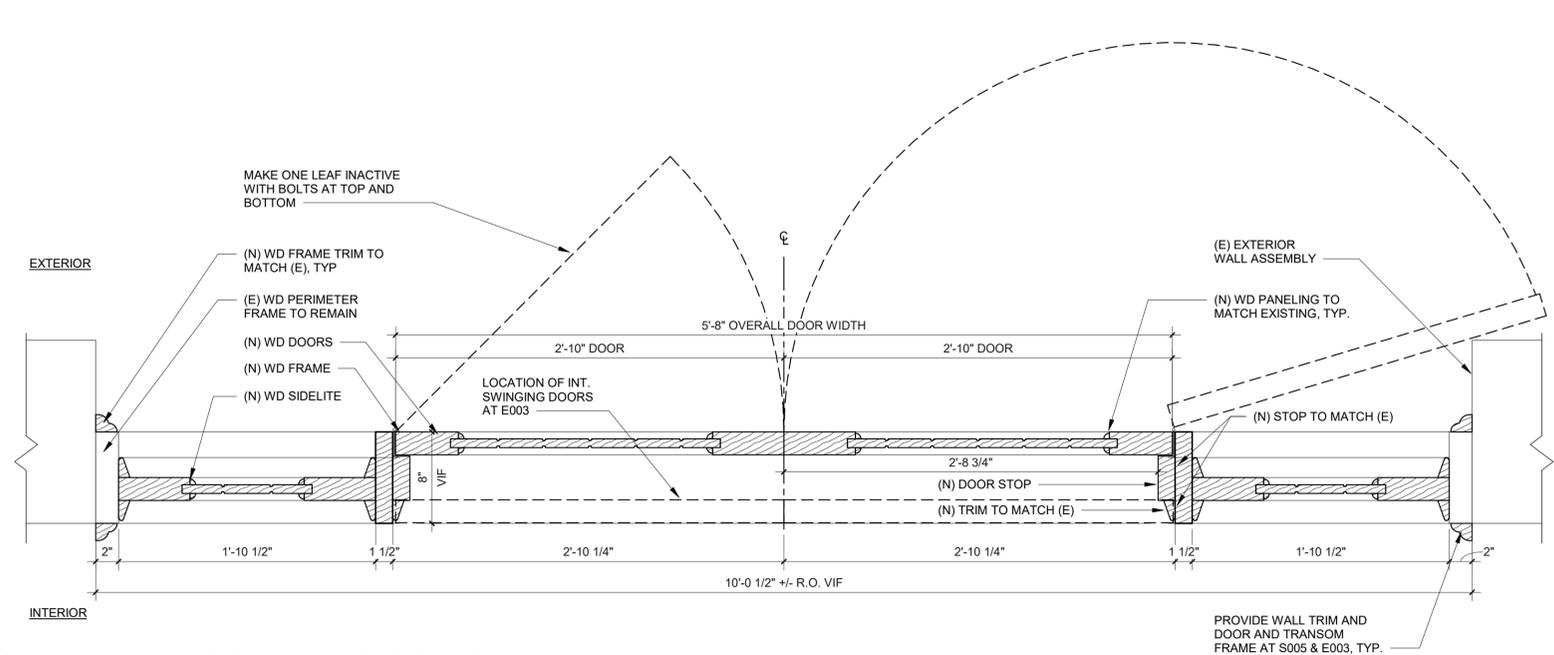
5. PLAN DETAILS @ EXT. DOORS TRANSOM

A970 SCALE: 1 1/2" = 1'-0"
INTERIOR



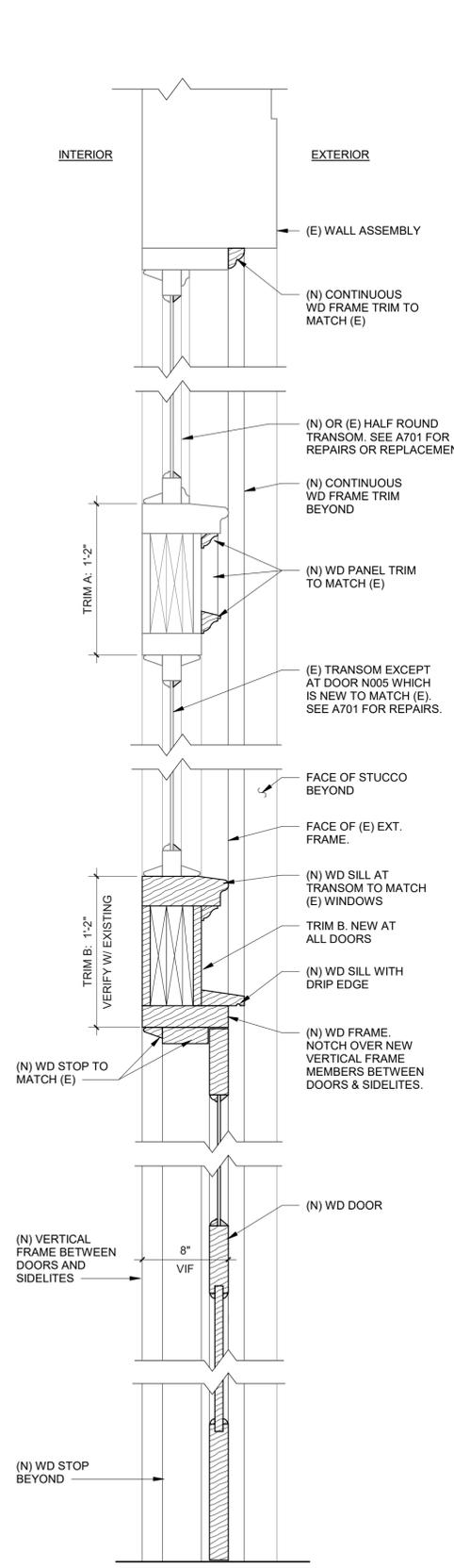
4. PLAN DETAILS @ EXT. DOORS

A970 SCALE: 1 1/2" = 1'-0"



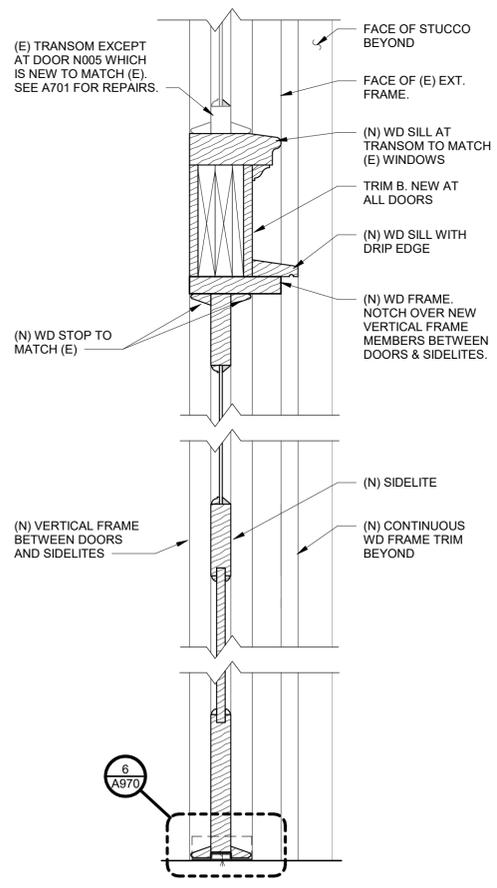
3. PLAN DETAILS @ EXT. DOORS (LOW)

A970 SCALE: 1 1/2" = 1'-0"



1. SECTION DETAIL @ EXT. DOORS

A970 SCALE: 1 1/2" = 1'-0"



2. SECTION DETAIL @ SIDELITES

A970 SCALE: 1 1/2" = 1'-0"

NOTE: SEE SHEET A701 FOR ALL REPAIR NOTES. USE EXISTING COMPONENTS FOR PATTERNS AT ALL NEW MEMBERS.

BIM 360/221035 - OSFEC Renovations/221035_OSFEC PC/IF_BLDG28_ARCH_R20_B360.rvt 9/5/2022 10:53:30 AM



PROJECT NUMBER: 221035

**OSFEC -
 PRESERVATION
 & CAPITAL
 IMPROVEMENT
 PROJECTS -
 BLDG 28 -
 HISTORIC
 POULTRY
 BUILDING**

2330 17TH ST NE
 SALEM, OR 97301

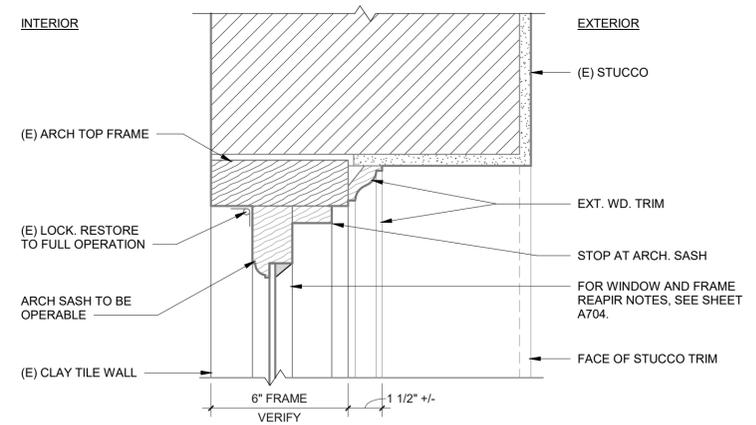
BUILDING NUMBER:

28

SHEET TITLE:
**EXTERIOR
 WINDOW
 DETAILS**

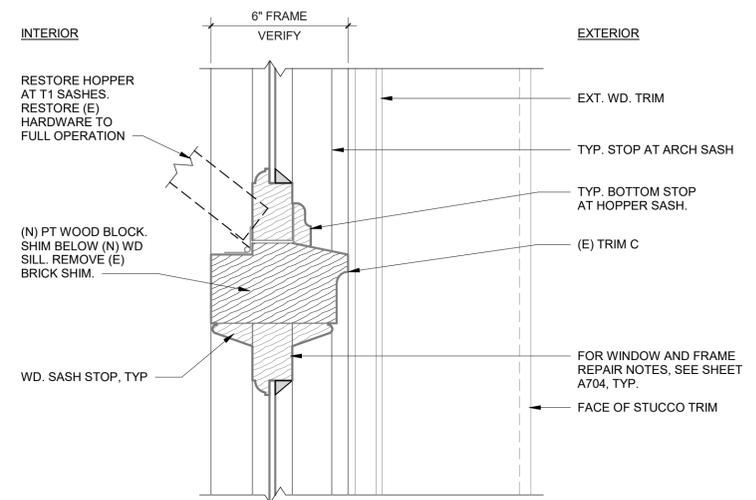
DRAWN BY: ARG
 DATE CREATED: 06.17.22

SHEET:
A971
 Construction Documents 100%
 09.09.2022



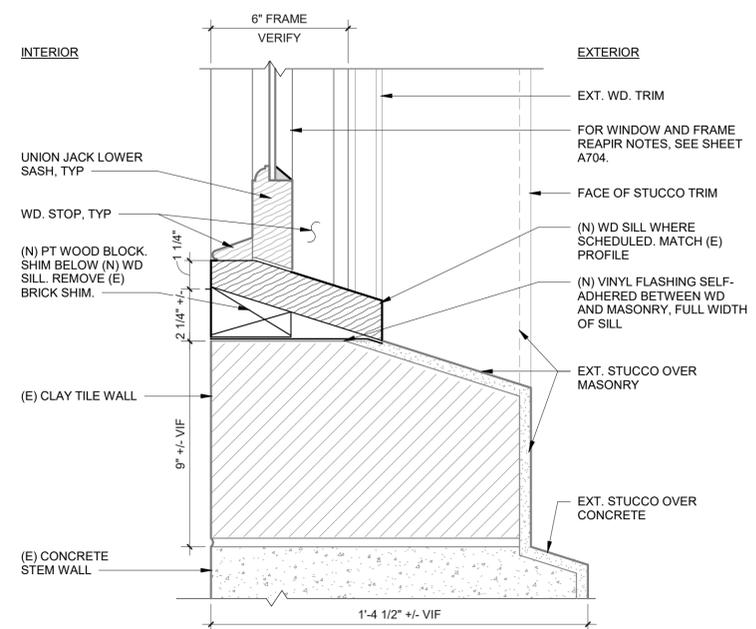
3. WINDOW HEAD DETAIL

A971 SCALE: 3" = 1'-0"



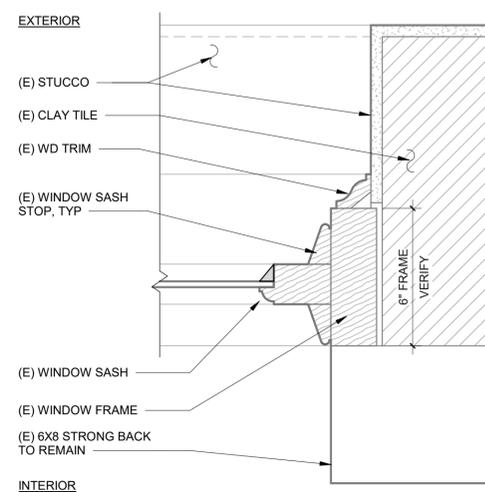
2. WINDOW DETAIL @ TRIM C

A971 SCALE: 3" = 1'-0"



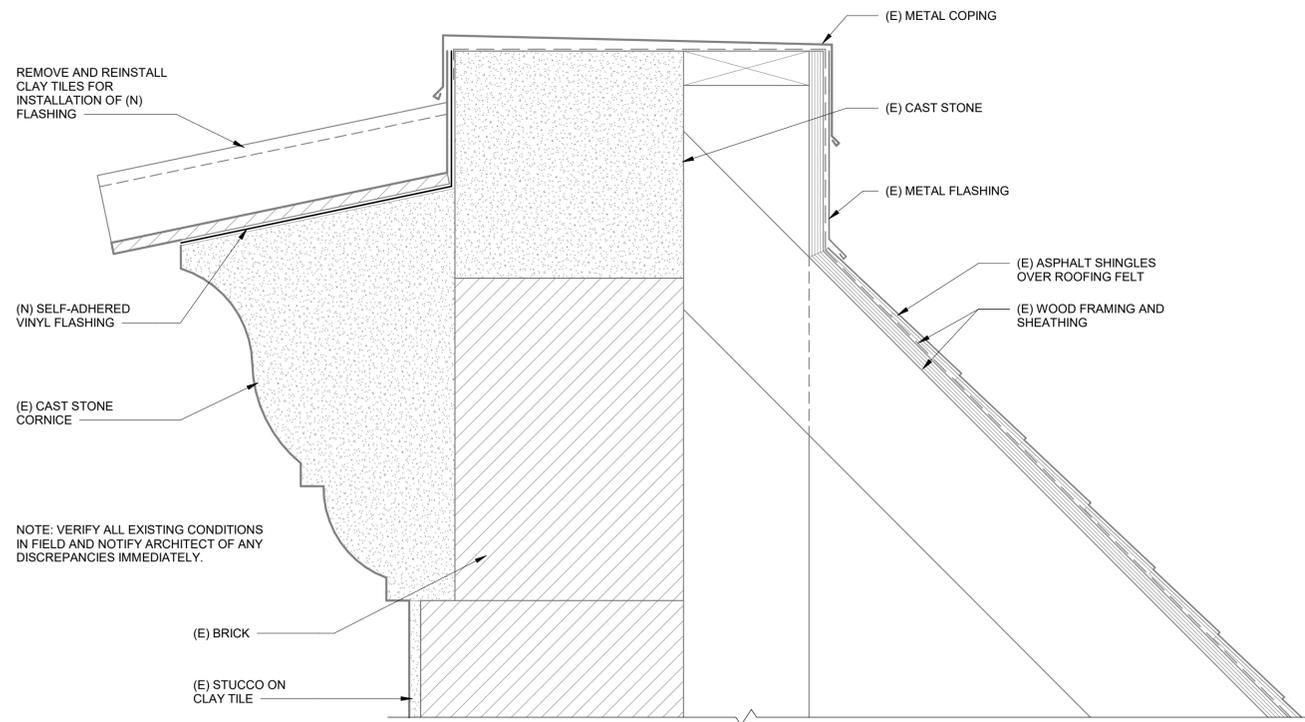
1. WINDOW SILL DETAIL

A971 SCALE: 3" = 1'-0"



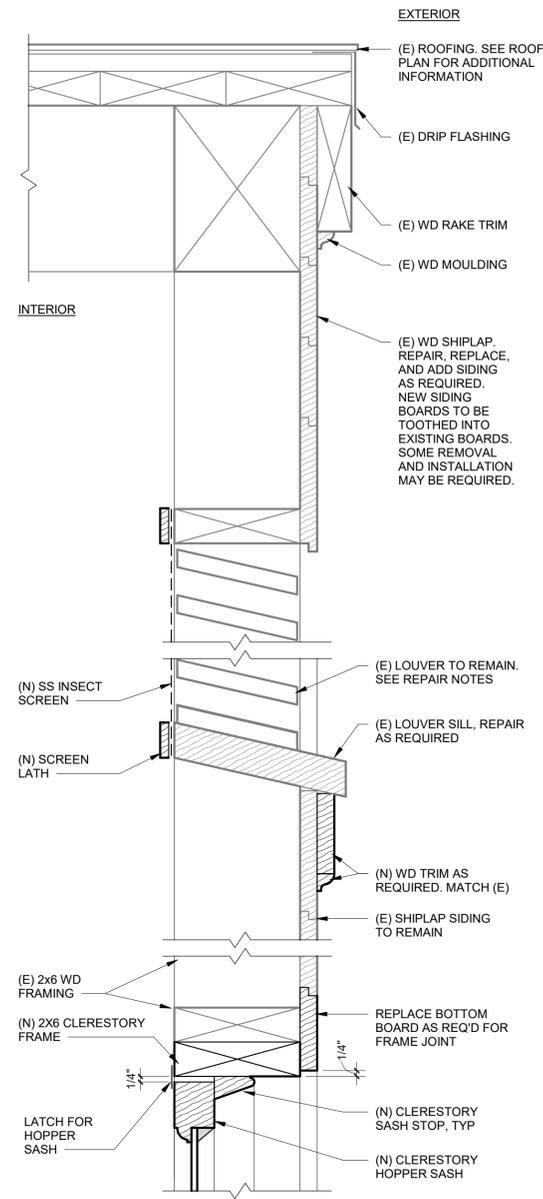
4. WINDOW JAMB DETAIL

A971 SCALE: 3" = 1'-0"



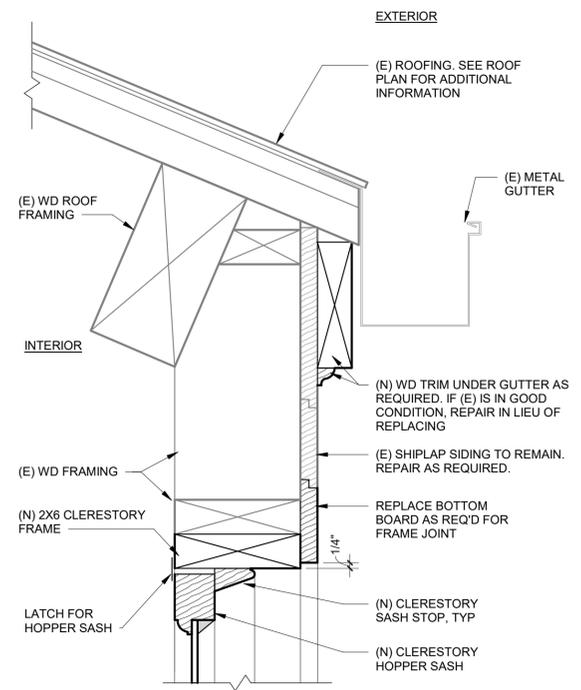
6. ROOF PARAPET CORNICE DETAIL

A972 SCALE: 3" = 1'-0"



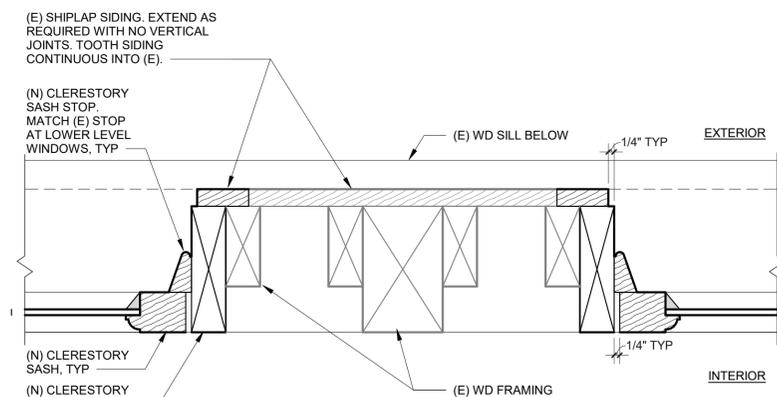
5. CLERESTORY HEAD DETAIL (E&W)

A972 SCALE: 3" = 1'-0"



4. CLERESTORY HEAD DETAIL (N&S)

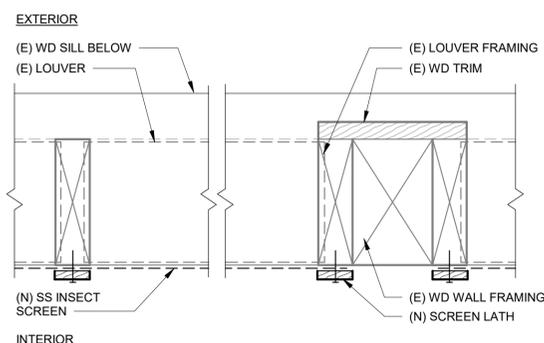
A972 SCALE: 3" = 1'-0"



7. CLERESTORY JAMB DETAIL (E&W)

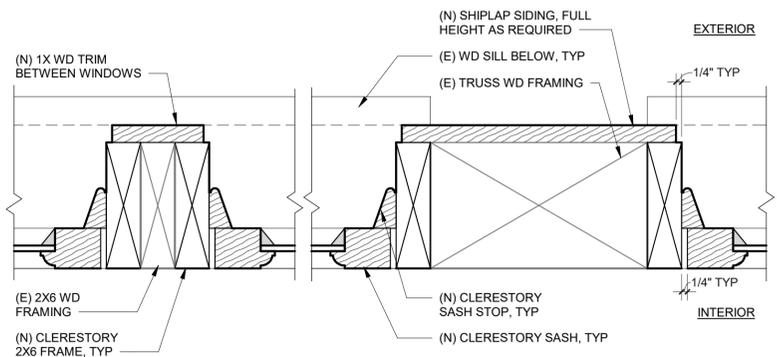
A972 SCALE: 3" = 1'-0"

- LOUVER REPAIR NOTES:**
1. REPAIR LOUVER FINS AND RESET IN FRAME AS REQUIRED.
 2. STRIP, PAINT, REPAIR DAMAGED WOOD AND REPAINT LOUVER FINS AND FRAME.
 3. INSTALL NEW STAINLESS STEEL INSECT SCREEN ON INTERIOR OF LOUVER USING SCREEN LATH.



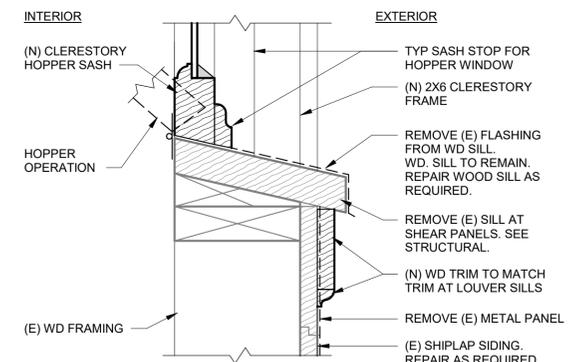
10. LOUVER JAMB DETAIL (E&W)

A972 SCALE: 3" = 1'-0"



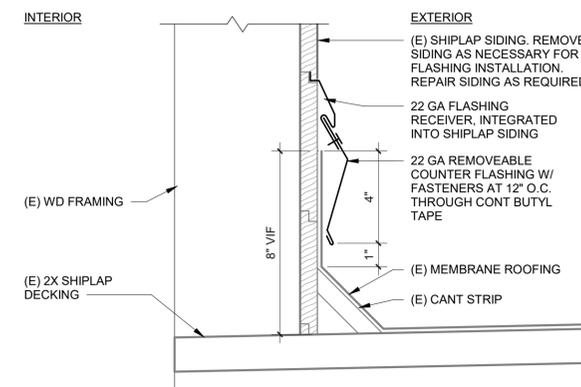
1. CLERESTORY JAMB DETAIL (N&S)

A972 SCALE: 3" = 1'-0"



3. CLERESTORY SILL DETAIL (TYP)

A972 SCALE: 3" = 1'-0"



2. CLERESTORY WALL TO ROOF DETAIL

A972 SCALE: 3" = 1'-0"



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DRAWN BY: ARG
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SHEET:
A972
Construction Documents 100%
09.09.2022

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