



# NOTICE of FILING

## LAND USE REQUEST AFFECTING THIS AREA

*There is a development proposal for the property listed in this notice and shown on the attached map. The City is seeking input from neighbors on the proposal. If you have questions or comments about the proposal, contact the case manager.*

*Esta carta es un aviso sobre una propuesta de desarrollo para la propiedad enumerada y que se muestra en el mapa adjunto. La ciudad está buscando la opinión de los vecinos sobre la propuesta. Si tiene preguntas o comentarios sobre la propuesta, póngase en contacto con nosotros al 503-588-6213.*

<b>CASE NUMBER:</b>	Class 3 Site Plan Review / Class 2 Adjustment / Class 1 Design Review / Property Line Adjustment Case No. SPR-ADJ-DR-PLA23-02,PLA23-03
<b>PROPERTY LOCATION:</b>	1230 Highland Ave NE, Salem OR 97301
<b>NOTICE MAILING DATE:</b>	January 18, 2023
<b>PROPOSAL SUMMARY:</b>	A proposal for a 12-unit multiple family residential development with associated improvements.
<b>COMMENT PERIOD:</b>	<b>All written comments must be submitted to City Staff no later than <u>5:00 p.m. Wednesday, February 1, 2023</u>. Please direct any questions and/or comments to the Case Manager listed below. Comments received after the close of the comment period will not be considered. Note: Comments submitted are <u>public record</u>. This includes any personal information provided in your comment such as name, email, physical address and phone number.</b>
<b>CASE MANAGER:</b>	<b>Olivia Dias, Current Planning Manager</b> , City of Salem Planning Division, 555 Liberty Street SE, Room 305, Salem, Oregon 97301. Telephone: 503-540-2343; E-mail: <a href="mailto:odias@cityofsalem.net">odias@cityofsalem.net</a>
<b>NEIGHBORHOOD ASSOCIATION:</b>	<i>Neighborhood associations are volunteer organizations of neighbors coming together to make neighborhoods the best they can be. They receive notice of land use applications within their boundaries, and they often submit comments on the applications to the City. Neighborhood association meetings are open to everyone. Contact your neighborhood association to get involved:</i>  Highland Neighborhood Association, Meredith Patterson, Chair; Phone: 503-528-4908; Email: <a href="mailto:meripatterson@gmail.com">meripatterson@gmail.com</a> .
<b>ACCESS:</b>	The Americans with Disabilities Act (ADA) accommodations will be provided on request.
<b>CRITERIA TO BE CONSIDERED:</b>	Salem Revised Code (SRC) Chapter(s) 220.005(f)(3) – Class 3 Site Plan Review; 250.005(d)(2) – Class 2 Adjustment; 702.015 – Multiple Family Design Review; SRC 205.055(a) – Property Line Adjustment  Salem Revised Code (SRC) is available to view at this link: <a href="http://bit.ly/salemorcode">http://bit.ly/salemorcode</a> . Type in the chapter number(s) listed above to view the applicable criteria.

<b>PROPERTY OWNER(S):</b>	Salem Self Help Housing Inc
<b>APPLICANT(S):</b>	Catholic Community Services Foundation (Joshua Graves, Bonnie Henny, Larry Keudell)
<b>PROPOSAL REQUEST:</b>	<p>A consolidated application for a proposed 12-unit multiple family residential development with associated off-street parking, common open space, and site improvements on a portion of property totaling approximately 0.45 acres in size. The application includes:</p> <ol style="list-style-type: none"> <li>1) A Class 3 Site Plan Review for the proposed development;</li> <li>2) A Class 1 Design Review to determine the proposed developments conformance with the applicable multiple family design review standards of SRC 702.020;</li> <li>3) A Class 2 Adjustment to: <ol style="list-style-type: none"> <li>a. Reduce the interior setback for a vehicle use area to the eastern property line from ten-feet to five-feet (SRC 514.010(d)),</li> <li>b. Eliminate required screening within the adjusted five-foot setback abutting the eastern property line (SRC 514.010(d)),</li> <li>c. Eliminate required screening within the ten-foot setback abutting the southern property line (SRC 514.010(d)),</li> <li>d. Reduce the setback abutting a street within the RM-II zone from 20-feet to ten-feet (SRC 514.010(d)),</li> <li>e. Reduce required setback abutting residentially zoned property to the west from 20-feet to ten feet (SRC 702.020(E)(1)).</li> <li>f. Reduce the allowed projection into the yard abutting a street from ten-feet to eight-feet in order to allow articulated roofs for primary entrance (SRC800.035, Table 800-2),</li> <li>g. Reduce Dimension C shown in Table 806-9 of a vehicle turnaround to zero (SRC 806.035(f)).</li> </ol> </li> <li>4) Property Line Adjustments to eliminate two property lines and consolidate into one unit of land approximately a half-acre in size.</li> </ol> <p>The subject property is zoned RS (Single Family Residential) and RM-II (Multiple Family Residential) and located at 1230 Highland Avenue (Marion County Assessor Map and Tax Lot Number: 073W14DB / 4900 and 073W14DB / 5000).</p>
<b>APPLICATION PROCESS:</b>	<p>Following the close of the Public Comment Period, a decision will be issued and mailed to the applicant, property owner, affected neighborhood association, anyone who submitted written comments, and anyone who received notice of the land use request.</p> <p>Failure to raise an issue in writing prior to the close of the Public Comment Period with sufficient specificity to provide the opportunity to respond to the issue, precludes appeal to the Land Use Board of Appeals (LUBA) on this issue. A similar failure to raise constitutional issues relating to proposed conditions of approval precludes an action for damages in circuit court.</p>
<b>MORE INFORMATION:</b>	<p>All documents and evidence submitted by the applicant are available on the City's online Permit Application Center at <a href="https://permits.cityofsalem.net">https://permits.cityofsalem.net</a>. You can use the search function without registering and enter the permit number listed here: 22 120932. Paper copies can be obtained for a reasonable cost.</p>

---

**PLEASE PROMPTLY FORWARD A COPY OF THIS NOTICE TO ANY OTHER OWNER, TENANT OR LESSEE**

**For more information about Planning in Salem:**

**<http://www.cityofsalem.net/planning>**

*It is the City of Salem's policy to assure that no person shall be discriminated against on the grounds of race, religion, color, sex, marital status, familial status, national origin, age, mental or physical disability, sexual orientation, gender identity and source of income, as provided by Salem Revised Code Chapter 97. The City of Salem also fully complies with Title VI of the Civil Rights Act of 1964, and related statutes and regulations, in all programs and activities. Disability-related modification or accommodation, including auxiliary aids or services, in order to participate in this meeting or event, are available upon request. Sign language and interpreters for languages other than English are also available upon request. To request such an accommodation or interpretation, contact the Community Development Department at 503-588-6173 at least three business days before this meeting or event.*

TTD/TTY telephone 503-588-6439 is also available 24/7

# REQUEST FOR COMMENTS

*Si necesita ayuda para comprender esta información, por favor llame 503-588-6173*

**REGARDING:** Class 3 Site Plan Review / Class 2 Adjustment / Class 1 Design Review / Property Line Adjustment Case No. SPR-ADJ-DR-PLA23-02,PLA23-03

**PROJECT ADDRESS:** 1230 Highland Ave NE, Salem OR 97301

**AMANDA Application No.:** 22-120932-PLN

**COMMENT PERIOD ENDS:** February 1, 2023

**SUMMARY:** A proposal for a 12-unit multiple family residential development with associated improvements.

**REQUEST:** A consolidated application for a proposed 12-unit multiple family residential development with associated off-street parking, common open space, and site improvements on a portion of property totaling approximately 0.45 acres in size. The application includes:

- 1) A Class 3 Site Plan Review for the proposed development;
- 2) A Class 1 Design Review to determine the proposed developments conformance with the applicable multiple family design review standards of SRC 702.020;
- 3) A Class 2 Adjustment to:
  - a. Reduce the interior setback for a vehicle use area to the eastern property line from ten-feet to five-feet (SRC 514.010(d)),
  - b. Eliminate required screening within the adjusted five-foot setback abutting the eastern property line (SRC 514.010(d)),
  - c. Eliminate required screening within the ten-foot setback abutting the southern property line (SRC 514.010(d)),
  - d. Reduce the setback abutting a street within the RM-II zone from 20-feet to ten-feet (SRC 514.010(d)),
  - e. Reduce required setback abutting residentially zoned property to the west from 20-feet to ten feet (SRC 702.020(E)(1)).
  - f. Reduce the allowed projection into the yard abutting a street from ten-feet to eight-feet in order to allow articulated roofs for primary entrance (SRC800.035, Table 800-2),
  - g. Reduce Dimension C shown in Table 806-9 of a vehicle turnaround to zero (SRC 806.035(f)).
- 4) Property Line Adjustments to eliminate two property lines and consolidate in to one unit of land approximately a half-acre in size.

The subject property is zoned RS (Single Family Residential) and RM-II (Multiple Family Residential) and located at 1230 Highland Avenue (Marion County Assessor Map and Tax Lot Number: 073W14DB / 4900 and 073W14DB / 5000).

The Planning Division is interested in hearing from you about the attached proposal. Staff will prepare a Decision that includes consideration of comments received during this comment period. We are interested in receiving pertinent, factual information such as neighborhood association recommendations and comments of affected property owners or residents. The complete case file, including all materials submitted by the applicant and any applicable professional studies such as traffic impact analysis, geologic assessments, and stormwater reports, are available upon request.

**Comments received by 5:00 p.m. Wednesday, February 1, 2023**, will be considered in the decision process. Comments received after this date will be not considered. *Comments submitted are public record. This includes any personal information provided in your comment such as name, email, physical address and phone number. Mailed comments can take up to 7 calendar days to arrive at our office. To ensure that your comments are received by the deadline, we recommend that you e-mail your comments to the Case Manager listed below.*

**CASE MANAGER:** Olivia Dias, Current Planning Manager, City of Salem, Planning Division; 555 Liberty St SE, Room 305, Salem, OR 97301; Phone: 503-540-2343; E-Mail: [odias@cityofsalem.net](mailto:odias@cityofsalem.net).

For information about Planning in Salem, please visit: <http://www.cityofsalem.net/planning>

**PLEASE CHECK THE FOLLOWING THAT APPLY:**

- 1. I have reviewed the proposal and have no objections to it.
- 2. I have reviewed the proposal and have the following comments: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Name/Agency: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Date: \_\_\_\_\_

**IMPORTANT: IF YOU MAIL COMMENTS, PLEASE FOLD AND RETURN THIS POSTAGE-PAID FORM**

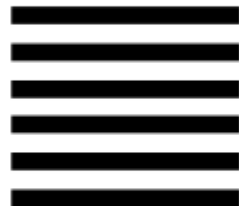
**BUSINESS REPLY MAIL**  
FIRST-CLASS MAIL PERMIT NO. 1508 SALEM, OR

POSTAGE WILL BE PAID BY ADDRESSEE

PLANNING DIVISION  
CITY OF SALEM RM 305  
555 LIBERTY ST SE  
SALEM OR 97301-9907

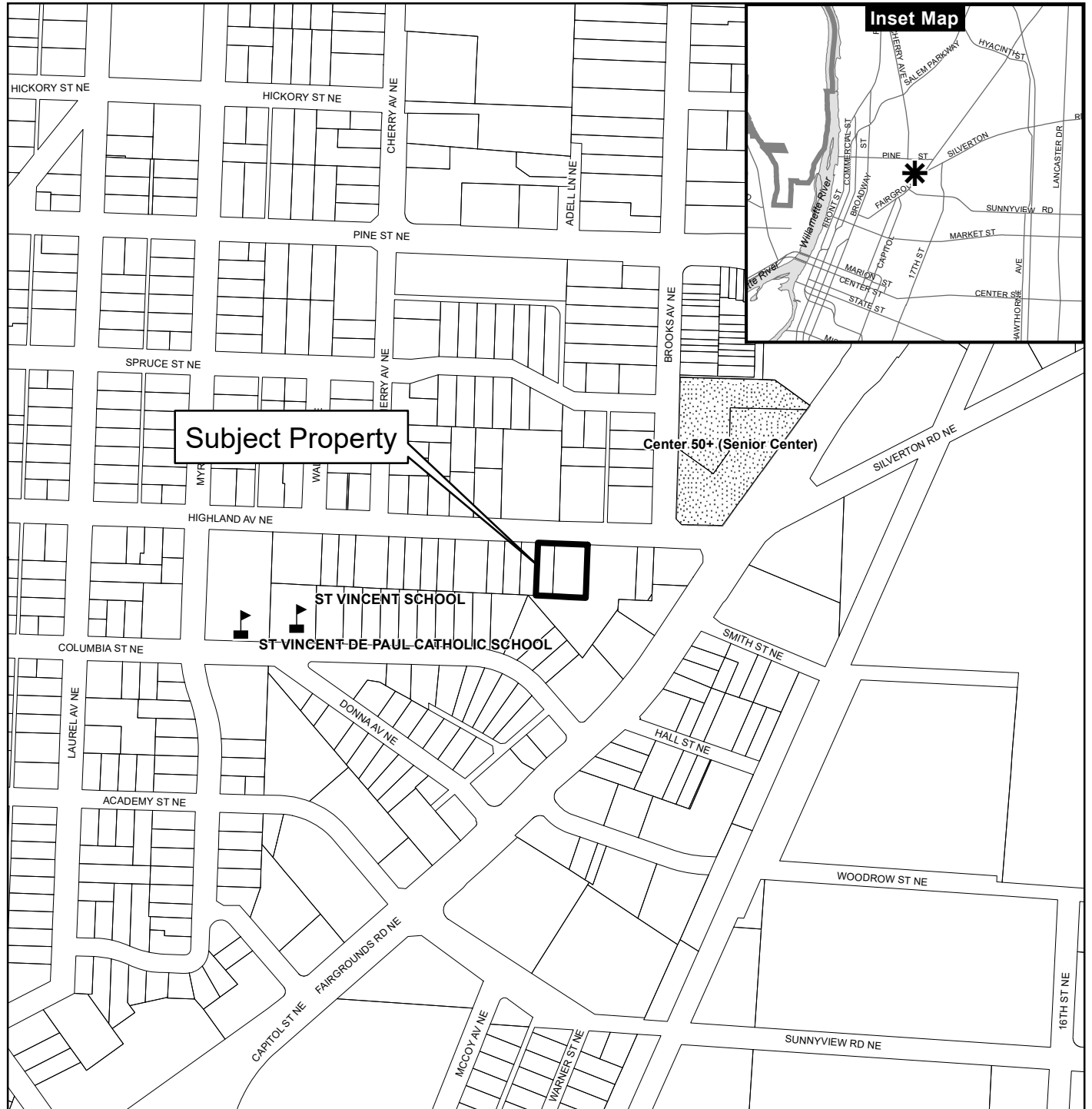


NO POSTAGE  
NECESSARY  
IF MAILED  
IN THE  
UNITED STATES










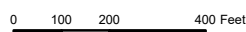
# Vicinity Map

## 1230 Highland Avenue NE

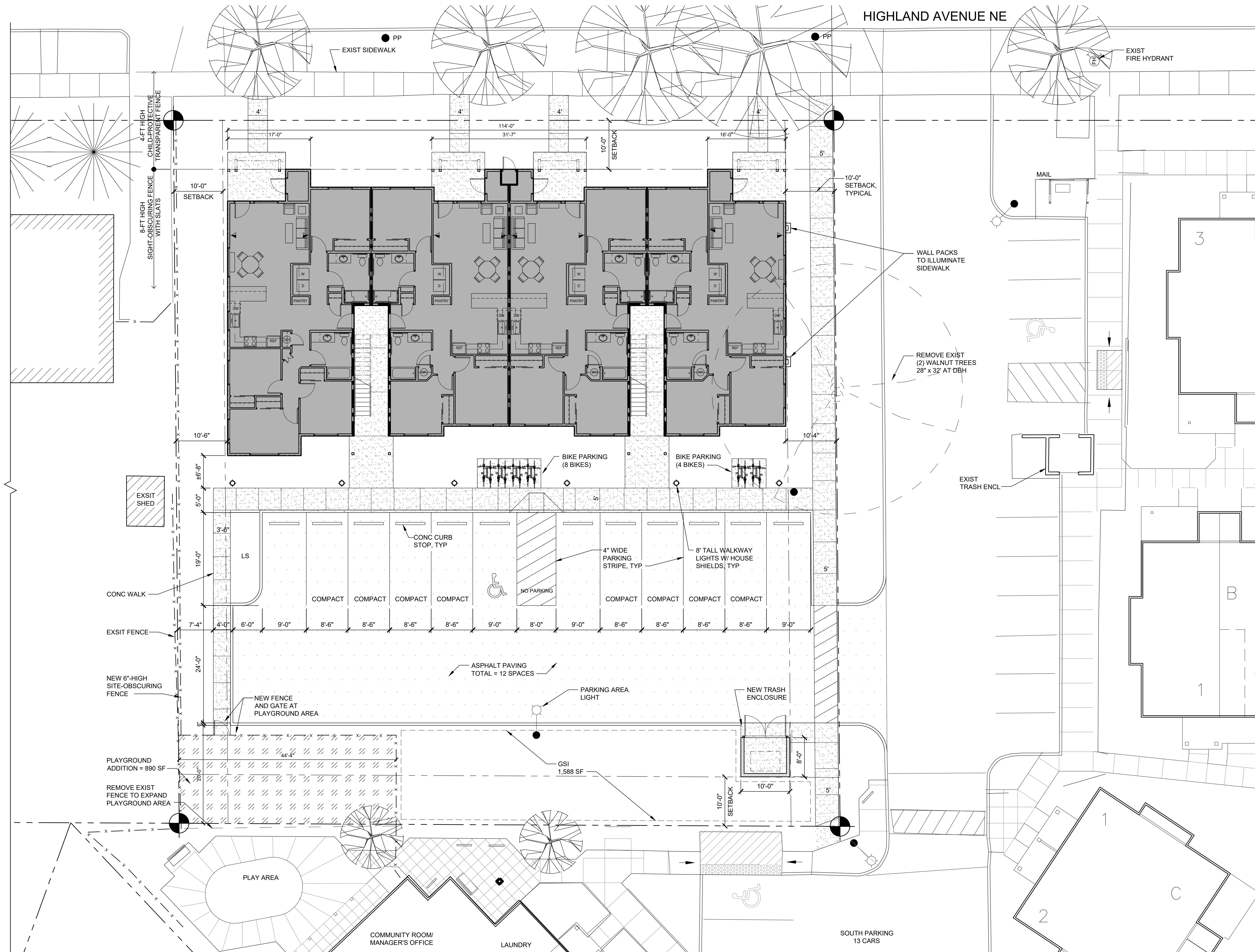


### Legend

-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools
-  Parks



This product is provided as is, without warranty. In no event is the City of Salem liable for damages from the use of this product. This product is subject to license and copyright limitations and further distribution or resale is prohibited.



**SITE PLAN**  
1" = 10'-0"

**CARLSON VEIT JUNGE ARCHITECTS PC**  
ARCHITECTURE • INTERIOR DESIGN  
3095 RIVER RD N. SALEM, OREGON 97303  
WWW.CARLSONVEIT.COM • 503-390-0281

**PRELIMINARY**  
NOT FOR CONSTRUCTION  
PRELIMINARY DATE:  
**12-21-2022**

project:  
**HIGHLAND STATION ANNEX  
CATHOLIC COMMUNITY SERVICES FOUNDATION**  
HIGHLAND AVENUE NE  
SALEM, OREGON

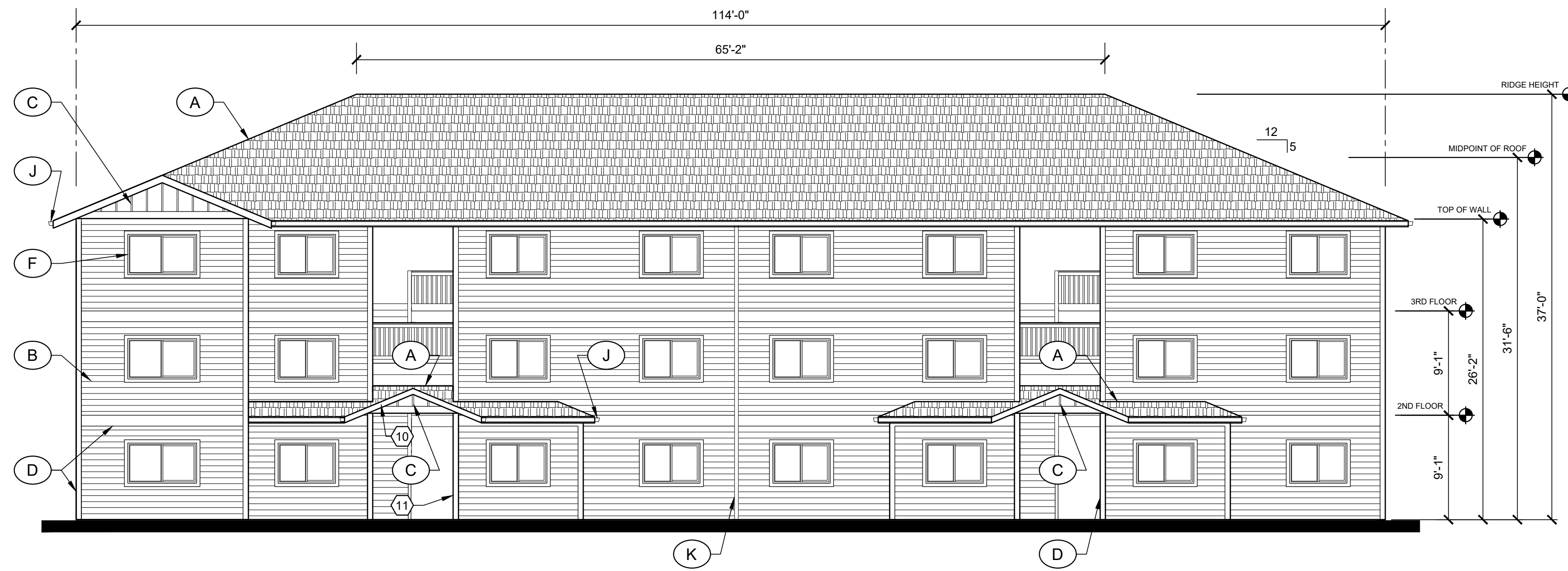
consultants:

revisions:  
▲  
▲  
▲  
▲

date:  
project: 05521  
dwg file: A-SP-05521  
drawn by: PK  
checked by: MJ  
copyright © 2022  
Carlson Veit Junge Architects PC

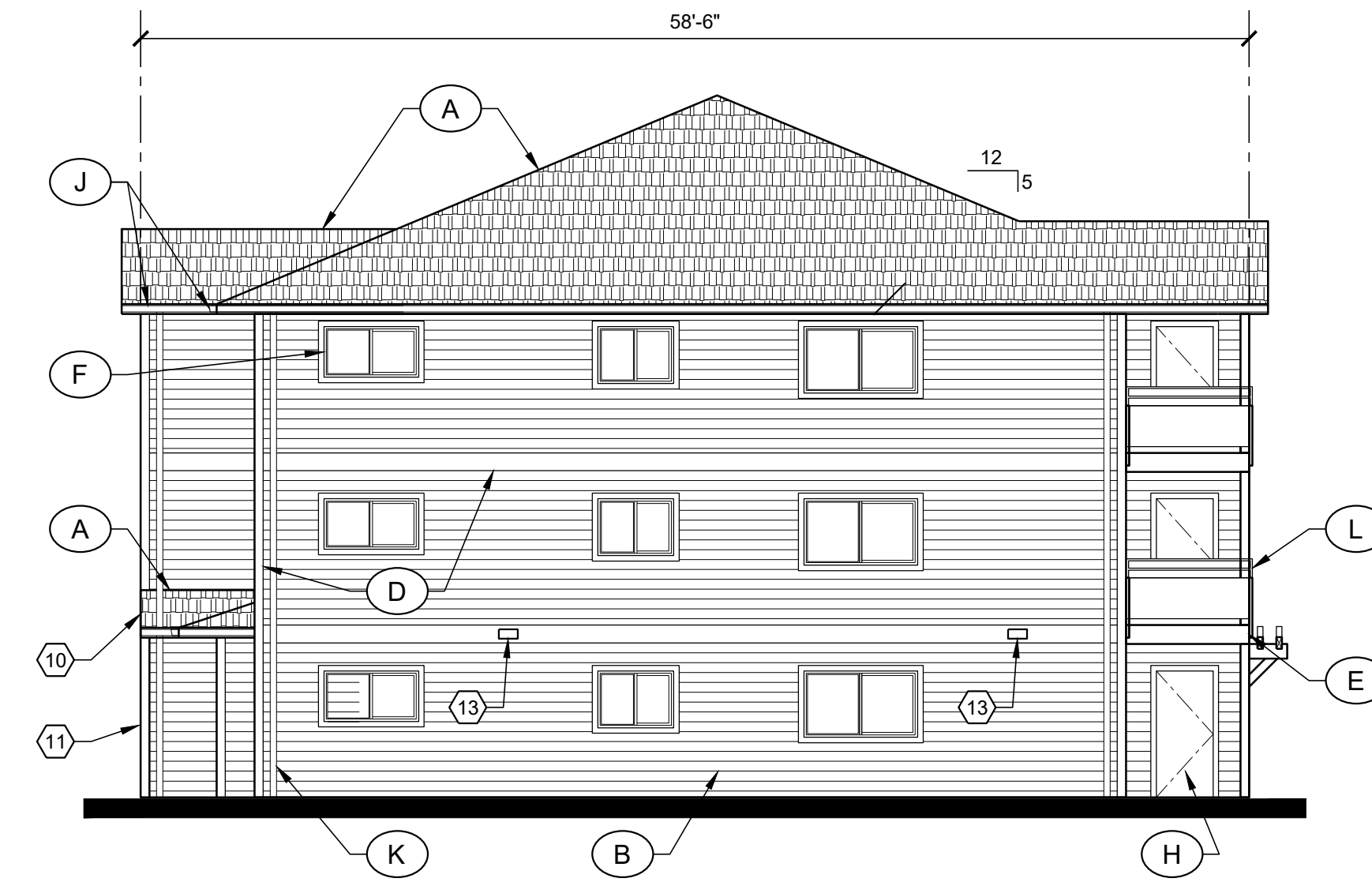
**SITE PLAN**  
sheet:  
**A-101**  
of:





**SOUTH ELEVATION**

1/8" = 1'-0"



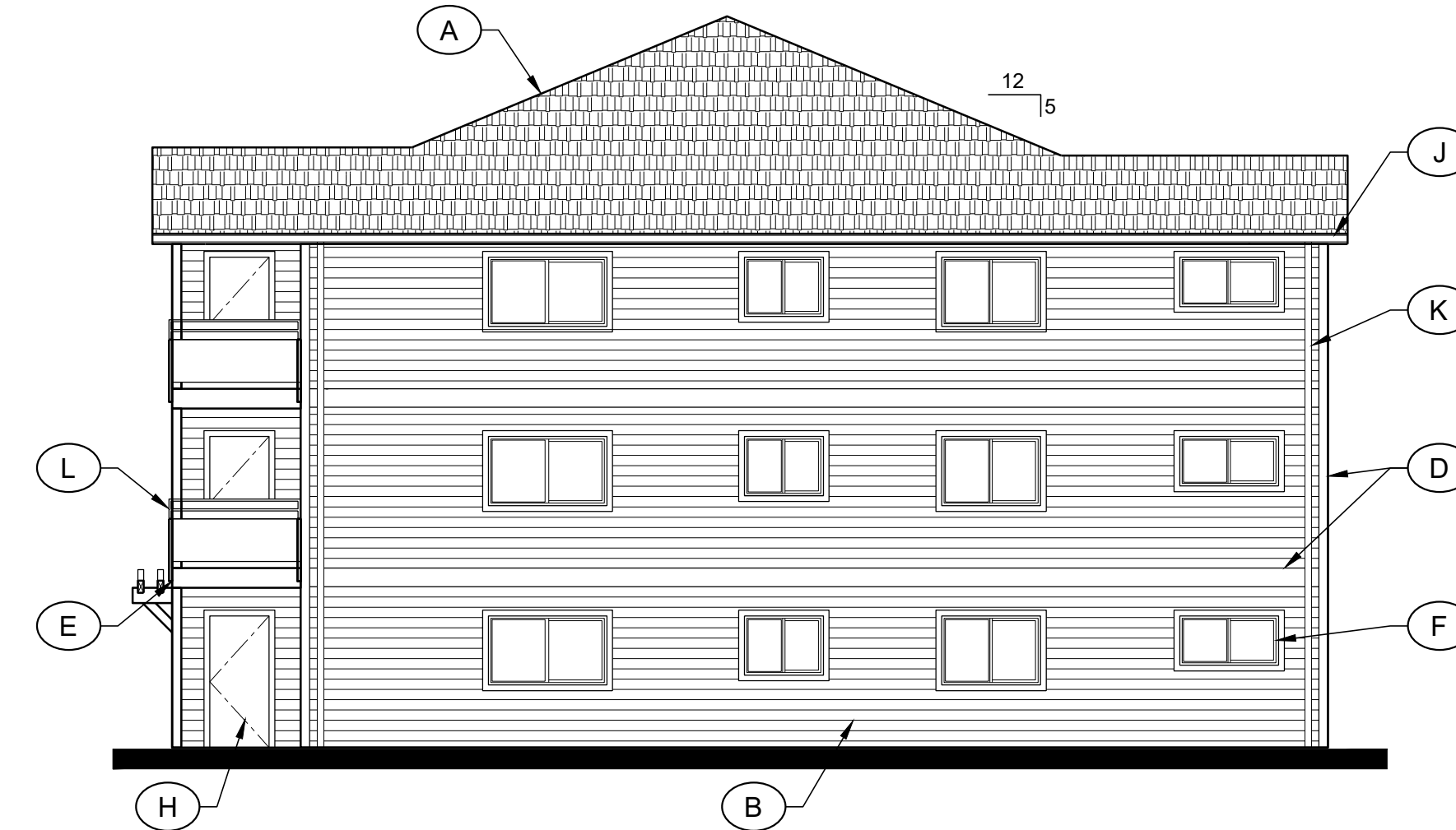
**EAST ELEVATION**

1/8" = 1'-0"



**NORTH ELEVATION**

1/8" = 1'-0"



**WEST ELEVATION**

1/8" = 1'-0"

**KEY NOTES**

- ① COMPOSITION ASPHALT SHINGLE ROOFING
- ② FIBER-CEMENT LAP SIDING W/ 7" EXPOSURE
- ③ BOARD AND BATTEN
- ④ PRE-PRIMED FASCIA BOARD
- ⑤ PRE-PRIMED WOOD TRIM
- ⑥ PRE-PRIMED 2x12 BELLY BAND
- ⑦ METAL GUARDRAIL AT DECK
- ⑧ PRE-FINISHED METAL GUTTER
- ⑨ PRE-FINISHED METAL DOWNSPOUT
- ⑩ ENTRY ROOF
- ⑪ 6X6 WOOD POST - PAINT
- ⑫ STAIRS
- ⑬ EXTERIOR WALL MOUNT LIGHT FIXTURE
- ⑭ PORCH ENTRY ARCHED TRELLIS, TYP AT ALL STREET-FACING GROUND LEVEL UNITS

**MATERIALS & COLORS**

(A)	ARCHITECTURAL COMPOSITION SHINGLE
(B)	HORIZONTAL SIDING - HARDIE LAP
(C)	BOARD AND BATTEN SIDING
(D)	FASCIA/COLUMNS/BASE/TRIM BOARD - HARDIE TRIM
(E)	WOOD DECK
(F)	VINYL INSULATED WINDOWS
(G)	EXTERIOR DOORS
(H)	EXTERIOR STORAGE DOORS
(J)	GUTTER
(K)	DOWNSPOUT
(L)	METAL GUARDRAIL

NOTE: ALL COLORS MUST TO SUBMITTED TO ARCHITECT AND OWNER FOR APPROVAL PRIOR TO ORDERING.

**PRELIMINARY**  
NOT FOR CONSTRUCTION

PRELIMINARY DATE:  
**12-21-2022**

revisions:  
▲  
▲  
▲  
▲

date:  
project: 05521  
dwg file: A-201-05521  
drawn by: PK  
checked by: MJ  
copyright © 2022  
Carlson Veit Junge Architects PC

**EXTERIOR  
ELEVATIONS**

sheet:  
**A-201**  
of: