



NOTICE of FILING

LAND USE REQUEST AFFECTING THIS AREA

There is a development proposal for the property listed in this notice and shown on the attached map. The City is seeking input from neighbors on the proposal. If you have questions or comments about the proposal, contact the case manager.

Esta carta es un aviso sobre una propuesta de desarrollo para la propiedad enumerada y que se muestra en el mapa adjunto. La ciudad está buscando la opinión de los vecinos sobre la propuesta. Si tiene preguntas o comentarios sobre la propuesta, póngase en contacto con nosotros al 503-588-6213.

CASE NUMBER:	Class 3 Site Plan Review / Class 2 Adjustment Case No. SPR-ADJ23-03
PROPERTY LOCATION:	2425-2475 25th St SE, Salem OR 97302
NOTICE MAILING DATE:	January 31, 2023
PROPOSAL SUMMARY:	An application for change of use to eating and drinking use and associated site improvements.
COMMENT PERIOD:	All written comments must be submitted to City Staff no later than 5:00 p.m. Tuesday, February 14, 2023. Please direct any questions and/or comments to the Case Manager listed below. Comments received after the close of the comment period will not be considered. Note: Comments submitted are <u>public record</u>. This includes any personal information provided in your comment such as name, email, physical address and phone number.
CASE MANAGER:	Olivia Dias, Current Planning Manager , City of Salem Planning Division, 555 Liberty Street SE, Room 305, Salem, Oregon 97301. Telephone: 503-540-2343; E-mail: odias@cityofsalem.net
NEIGHBORHOOD ASSOCIATION:	<i>Neighborhood associations are volunteer organizations of neighbors coming together to make neighborhoods the best they can be. They receive notice of land use applications within their boundaries, and they often submit comments on the applications to the City. Neighborhood association meetings are open to everyone. Contact your neighborhood association to get involved:</i> South East Salem Neighborhood Association (SESNA), Jeff Leach, Land Use Co-Chair; Phone 503-508-5499; Email: landuse.sesna@gmail.com .
ACCESS:	The Americans with Disabilities Act (ADA) accommodations will be provided on request.
CRITERIA TO BE CONSIDERED:	Salem Revised Code (SRC) Chapter(s) 220.005(f)(3) – Class 3 Site Plan Review; 250.005(d)(2) – Class 2 Adjustment Salem Revised Code (SRC) is available to view at this link: http://bit.ly/salemorcode . Type in the chapter number(s) listed above to view the applicable criteria.

PROPERTY OWNER(S):	Divine Holdings LLC (Jason Greenwood, Jannell Ives)
APPLICANT(S):	Richard Gabriel
PROPOSAL REQUEST:	<p>A change of use to an eating and drinking establishment in a tenant space within an existing 15,000 square foot building, with site alterations to an existing parking area and five Class 2 Adjustments:</p> <ol style="list-style-type: none"> 1) Reduce the landscaping requirement from 15% to 11.5% for the development site (SRC 522.010(d)(3)); and 2) Eliminate pedestrian connection to McGilchrist Street SE, (SRC 800.065(a)(1)); 3) Eliminate pedestrian connection to western abutting property (SRC806.065(a)(5); 4) Reduce required vehicle parking from 60 spaces to 44 spaces (SRC806.015(a), Table 806-1) 5) Reduce width of driveway for one-way traffic from 12-feet to 10-feet (SRC 806. <p>for property approximately 1.31 acres in size, zoned IC (Industrial Commercial), within the Airport Overlay Zone, and located at 2425-2475 25th Street SE (Marion County Assessors Map and Tax Lot number: 073W35DA / 00500).</p>
APPLICATION PROCESS:	<p>Following the close of the Public Comment Period, a decision will be issued and mailed to the applicant, property owner, affected neighborhood association, anyone who submitted written comments, and anyone who received notice of the land use request.</p> <p>Failure to raise an issue in writing prior to the close of the Public Comment Period with sufficient specificity to provide the opportunity to respond to the issue, precludes appeal to the Land Use Board of Appeals (LUBA) on this issue. A similar failure to raise constitutional issues relating to proposed conditions of approval precludes an action for damages in circuit court.</p>
MORE INFORMATION:	All documents and evidence submitted by the applicant are available on the City's online Permit Application Center at https://permits.cityofsalem.net . You can use the search function without registering and enter the permit number listed here: 22 125098. Paper copies can be obtained for a reasonable cost.

PLEASE PROMPTLY FORWARD A COPY OF THIS NOTICE TO ANY OTHER OWNER, TENANT OR LESSEE

For more information about Planning in Salem:

<http://www.cityofsalem.net/planning>

It is the City of Salem's policy to assure that no person shall be discriminated against on the grounds of race, religion, color, sex, marital status, familial status, national origin, age, mental or physical disability, sexual orientation, gender identity and source of income, as provided by Salem Revised Code Chapter 97. The City of Salem also fully complies with Title VI of the Civil Rights Act of 1964, and related statutes and regulations, in all programs and activities. Disability-related modification or accommodation, including auxiliary aids or services, in order to participate in this meeting or event, are available upon request. Sign language and interpreters for languages other than English are also available upon request. To request such an accommodation or interpretation, contact the Community Development Department at 503-588-6173 at least three business days before this meeting or event.

TTD/TTY telephone 503-588-6439 is also available 24/7

REQUEST FOR COMMENTS

Si necesita ayuda para comprender esta información, por favor llame 503-588-6173

REGARDING: Class 3 Site Plan Review / Class 2 Adjustment Case No. SPR-ADJ23-03
PROJECT ADDRESS: 2425-2475 25th St SE, Salem OR 97302
AMANDA Application No.: 22-125098-PLN
COMMENT PERIOD ENDS: February 14, 2023

SUMMARY: An application for change of use to eating and drinking use and associated site improvements.

REQUEST: A change of use to an eating and drinking establishment in a tenant space within an existing 15,000 square foot building, with site alterations to an existing parking area and five Class 2 Adjustments:

- 1) Reduce the landscaping requirement from 15% to 11.5% for the development site (SRC 522.010(d)(3)); and
- 2) Eliminate pedestrian connection to McGilchrist Street SE, (SRC 800.065(a)(1));
- 3) Eliminate pedestrian connection to western abutting property (SRC806.065(a)(5);
- 4) Reduce required vehicle parking from 60 spaces to 44 spaces (SRC806.015(a), Table 806-1)
- 5) Reduce width of driveway for one-way traffic from 12-feet to 10-feet (SRC 806.

for property approximately 1.31 acres in size, zoned IC (Industrial Commercial), within the Airport Overlay Zone, and located at 2425-2475 25th Street SE (Marion County Assessors Map and Tax Lot number: 073W35DA / 00500).

The Planning Division is interested in hearing from you about the attached proposal. Staff will prepare a Decision that includes consideration of comments received during this comment period. We are interested in receiving pertinent, factual information such as neighborhood association recommendations and comments of affected property owners or residents. The complete case file, including all materials submitted by the applicant and any applicable professional studies such as traffic impact analysis, geologic assessments, and stormwater reports, are available upon request.

Comments received by 5:00 p.m. Tuesday, February 14, 2023, will be considered in the decision process. Comments received after this date will be not considered. *Comments submitted are public record. This includes any personal information provided in your comment such as name, email, physical address and phone number. Mailed comments can take up to 7 calendar days to arrive at our office. To ensure that your comments are received by the deadline, we recommend that you e-mail your comments to the Case Manager listed below.*

CASE MANAGER: Olivia Dias, Current Planning Manager, City of Salem, Planning Division; 555 Liberty St SE, Room 305, Salem, OR 97301; Phone: 503-540-2343; E-Mail: odias@cityofsalem.net.

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PLEASE CHECK THE FOLLOWING THAT APPLY:

- 1. I have reviewed the proposal and have no objections to it.
- 2. I have reviewed the proposal and have the following comments: _____

Name/Agency: _____
Address: _____
Phone: _____
Email: _____
Date: _____

IMPORTANT: IF YOU MAIL COMMENTS, PLEASE FOLD AND RETURN THIS POSTAGE-PAID FORM



NO POSTAGE
NECESSARY
IF MAILED
IN THE
UNITED STATES

BUSINESS REPLY MAIL
FIRST-CLASS MAIL PERMIT NO. 1508 SALEM, OR

POSTAGE WILL BE PAID BY ADDRESSEE

PLANNING DIVISION
CITY OF SALEM RM 305
555 LIBERTY ST SE
SALEM OR 97301-9907










Vicinity Map 2425-2475 25th Street SE



Subject Property

Legend

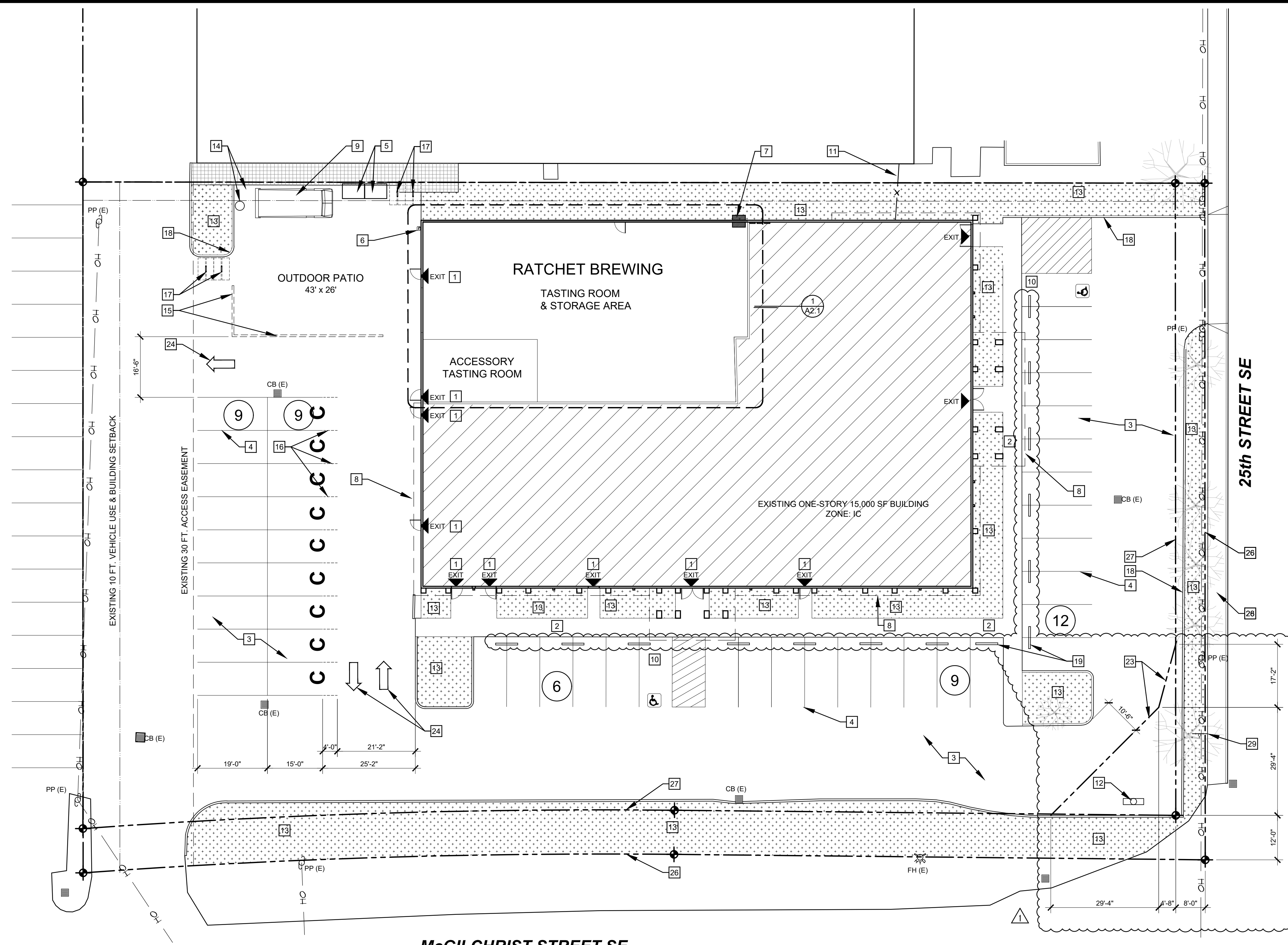
-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools
-  Parks



0 100 200 400 Feet



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GENERAL NOTES

- SITE INFORMATION IS BASED ON OWNER INFORMATION. DRAWINGS SHOULD NOT BE SCALED. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH AREA OR WORK.
- CONTRACTOR TO FIELD VERIFY ALL ITEMS SHOWN.

SYMBOL LEGEND

- EXISTING LANDSCAPING
- EXISTING CONCRETE CURB
- PROPERTY LINE
- EXISTING
- NEW
- CATCH BASIN REFER TO CIVIL DRAWINGS. (E) DESIGNATES EXISTING TO REMAIN
- BOLLARD SEE DETAIL
- FIRE HYDRANT, REFER TO CIVIL DRAWINGS
- LIGHT POLE, REFER TO ELECTRICAL DESIGN/BUILD DRAWINGS
- NUMBER OF PARKING SPACES THIS AREA

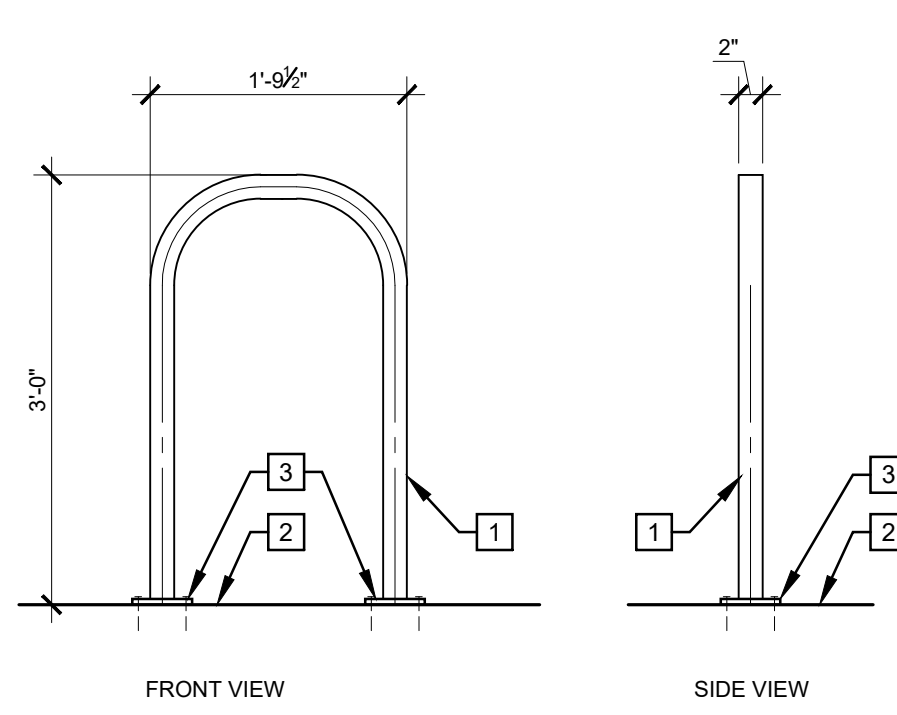
SITE ZONE

IC - INDUSTRIAL-COMMERCIAL

SITE PLAN REFERENCE NOTES

- EXISTING BUILDING ENTRANCE/EXIT
- EXISTING CONCRETE SIDEWALK TO REMAIN
- EXISTING PAVED PARKING AREA TO REMAIN
- EXISTING PARKING STRIPING TO REMAIN
- EXISTING TRASH CONTAINERS (BY OTHERS)
- EXISTING GAS METER TO REMAIN
- EXISTING ELECTRICAL MAIN AND METER TO REMAIN
- LINE OF EXISTING BUILDING ROOF OVERHANG
- EXISTING FOOD TRUCK PARKING
- EXISTING ACCESSIBLE PARKING AND LOADING AREA
- EXISTING FENCE TO REMAIN
- EXISTING POLE MOUNTED SIGN TO REMAIN
- EXISTING LANDSCAPE AREA TO REMAIN
- EXISTING PROPANE TANK TO REMAIN
- REMOVABLE FENCING FOR ACCESS TO TRASH CONTAINERS
- REMOVE 4'-0" STRIPING FROM END OF ALL STALLS THIS ROW. (9) STALLS TOTAL, TO CREATE COMPACT STALLS; ADD COMPACT SYMBOL "C" TO EACH STALL AS SHOWN
- (2) BIKE RACKS TO BE LOCATED AS SHOWN. LOCATE RACKS AT 4'-0" OC AND PER CITY OF SALEM SPECIFICATIONS; REFER TO (2) A1.1
- EXISTING CURB TO REMAIN
- NEW CONCRETE WHEEL STOPS; REFER TO (3) A1.1
- NOT USED
- NOT USED
- NOT USED
- ULTIMATE RIGHT-OF-WAY LINE PER CITY OF SALEM
- PAINT NEW DIRECTIONAL ARROWS PER CITY OF SALEM STANDARDS
- NOT USED
- ORIGINAL PROPERTY LINE AT RIGHT-OF-WAY
- NEW PROPERTY LINE AFTER REQUIRED EXPANSION OF RIGHT-OF-WAY
- EXISTING SIDEWALK TO REMAIN
- EXISTING "BUS STOP" SIGN TO REMAIN

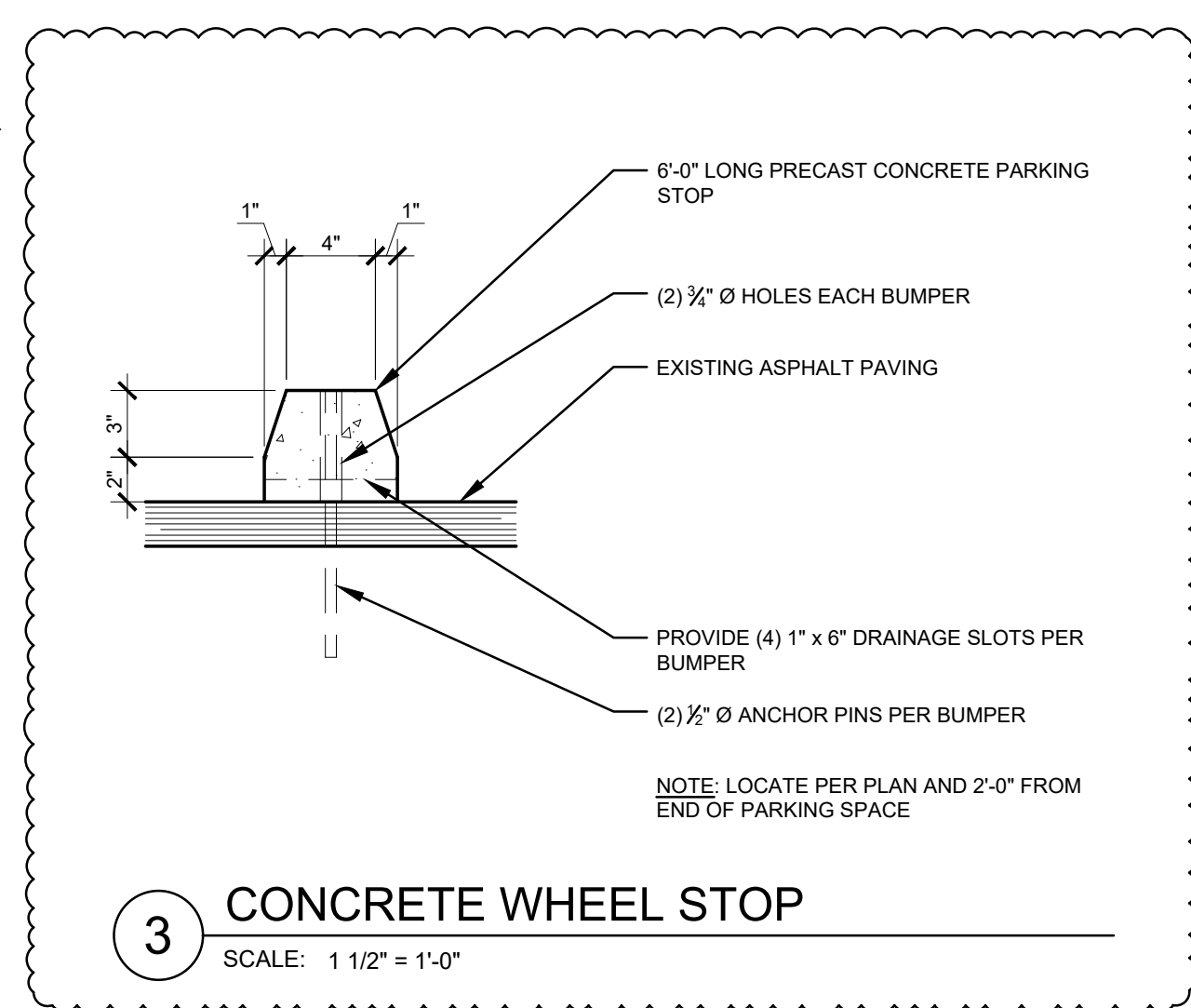
1 SITE PLAN
SCALE: 1/16" = 1'-0"



- NOTES:**
- 2" DIA. SCHEDULE 40 PIPE WITH EMBEDDED ANCHOR MOUNT, POWDER COAT FINISH
 - EXISTING ASPHALT TO REMAIN, REFER TO CIVIL DRAWINGS
 - NEW LAG BOLTS AND PLATE, ANCHOR PER MANUFACTURER

2 BIKE RACK ANCHORAGE DETAIL
SCALE: 3/4" = 1'-0"

19047-A11-02



3 CONCRETE WHEEL STOP
SCALE: 1 1/2" = 1'-0"

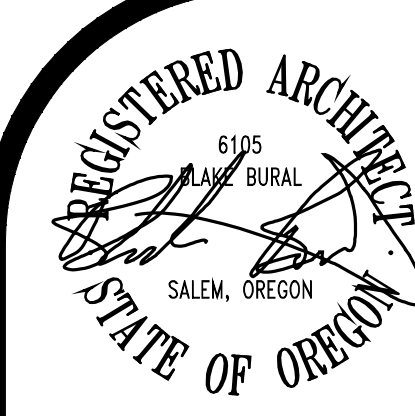
NOTE: LOCATE PER PLAN AND 2'-0" FROM END OF PARKING SPACE

PARKING SUMMARY

PARKING REQUIRED:			
SHOPPING CENTER	1 PER 250 SF	15,000 / 250	= 60 SPACES
PATIO / EXTERIOR DINING	1 PER 250 SF	1,250 / 250	= 5
TOTAL PARKING REQUIRED			
65 SPACES			
PARKING PROVIDED, INCLUDING (2) ACCESSIBLE STALLS:			
45 SPACES			
LOADING AREA:			
LOADING SPACE NOT REQUIRED PER SRC806.075(a) AS NO DELIVERIES WILL EXCEED 8,000 LBS			
BIKE PARKING REQUIRED:			
SHOPPING CENTER	GREATER OF 4 SPACES OR 1 SPACE / 5,000 SF	15,000 SF / 5,000 = 3 SPACES	4 SPACES
BIKE PARKING PROVIDED:			
8 SPACES			

LANDSCAPING SUMMARY

ORIGINAL SITE - (PRIOR TO STREET WIDENING REQUIREMENT)			
• SITE AREA:	56,025 SF		
• LANDSCAPE AREA:	8,822 SF (15.7%)		
REVISED SITE - (AFTER STREET WIDENING REQUIREMENT)			
• SITE AREA:	51,036 SF		
• LANDSCAPE AREA:	4,979 SF (9.8%)		



In the event conflicts are discovered between the original signed and sealed documents prepared by the Architect and/or their Consultants, and any copy of the documents transmitted by mail, fax, electronically or otherwise, the original signed and sealed documents shall govern.

JOB NO.: 2022.0067.1
DATE: NOV 30, 2022
DRAWN: RG
REVISIONS:
CITY REVIEW 01/26/2023



RATCHET BREWING
TENANT REVISIONS II
2475 25th STREET SE
SALEM, OREGON 97302

SITE PLAN
SHEET

A1.1