



NOTICE of FILING

LAND USE REQUEST AFFECTING THIS AREA

There is a development proposal for the property listed in this notice and shown on the attached map. The City is seeking input from neighbors on the proposal. If you have questions or comments about the proposal, contact the case manager.

Esta carta es un aviso sobre una propuesta de desarrollo para la propiedad enumerada y que se muestra en el mapa adjunto. La ciudad está buscando la opinión de los vecinos sobre la propuesta. Si tiene preguntas o comentarios sobre la propuesta, póngase en contacto con nosotros al 503-588-6213.

CASE NUMBER:	Class 3 Site Plan Review / Class 2 Adjustment / Class 1 Adjustment Case No. SPR-ADJ23-04
PROPERTY LOCATION:	1075 8th St NW, Salem OR 97304
NOTICE MAILING DATE:	February 2, 2023
PROPOSAL SUMMARY:	An application development of a new vehicle use for the existing school.
COMMENT PERIOD:	All written comments must be submitted to City Staff no later than 5:00 p.m. Thursday, February 16, 2023. Please direct any questions and/or comments to the Case Manager listed below. Comments received after the close of the comment period will not be considered. Note: Comments submitted are <u>public record</u>. This includes any personal information provided in your comment such as name, email, physical address and phone number.
CASE MANAGER:	Olivia Dias, Current Planning Manager , City of Salem Planning Division, 555 Liberty Street SE, Room 305, Salem, Oregon 97301. Telephone: 503-540-2343; E-mail: odias@cityofsalem.net
NEIGHBORHOOD ASSOCIATION:	<i>Neighborhood associations are volunteer organizations of neighbors coming together to make neighborhoods the best they can be. They receive notice of land use applications within their boundaries, and they often submit comments on the applications to the City. Neighborhood association meetings are open to everyone. Contact your neighborhood association to get involved:</i> West Salem Neighborhood Association, Steven Anderson, Land Use Chair; Email: andersonriskanalysis@comcast.net .
ACCESS:	The Americans with Disabilities Act (ADA) accommodations will be provided on request.
CRITERIA TO BE CONSIDERED:	Salem Revised Code (SRC) Chapter(s) 220.005(f)(3) – Class 3 Site Plan Review; 250.005(d)(2) – Class 2 Adjustment; 250.005(d)(1) – Class 1 Adjustment Salem Revised Code (SRC) is available to view at this link: http://bit.ly/salemorcode . Type in the chapter number(s) listed above to view the applicable criteria.

PROPERTY OWNER(S):	Salem Keizer School District 24J
APPLICANT(S):	Saalfeld Griggs Lawyers on behalf of Joel Smallwood
PROPOSAL REQUEST:	<p>The proposal includes demolition of existing pool facilities and development of a new vehicle use area for the existing Walker Middle School,</p> <ol style="list-style-type: none"> 1) Eliminate pedestrian connection to Patterson Street NW (SRC800.065(a)(C)); 2) Increase the distance between a pedestrian connection and a transit stop from 20-feet to 390-feet. (SRC800.065(a)(B)) <p>For property approximately 15 acres in size, zoned PE (Public and Private Educational Services), and located at 1075 8th Street NW (Polk County Assessors Map and Tax Lot number: 073W21DB / 100 & 18200, 073W21AC / 1700 & 802 and 073W 21BD / 1801 & 1902).</p>
APPLICATION PROCESS:	<p>Following the close of the Public Comment Period, a decision will be issued and mailed to the applicant, property owner, affected neighborhood association, anyone who submitted written comments, and anyone who received notice of the land use request.</p> <p>Failure to raise an issue in writing prior to the close of the Public Comment Period with sufficient specificity to provide the opportunity to respond to the issue, precludes appeal to the Land Use Board of Appeals (LUBA) on this issue. A similar failure to raise constitutional issues relating to proposed conditions of approval precludes an action for damages in circuit court.</p>
MORE INFORMATION:	All documents and evidence submitted by the applicant are available on the City's online Permit Application Center at https://permits.cityofsalem.net . You can use the search function without registering and enter the permit number listed here: 22 117589. Paper copies can be obtained for a reasonable cost.

PLEASE PROMPTLY FORWARD A COPY OF THIS NOTICE TO ANY OTHER OWNER, TENANT OR LESSEE

For more information about Planning in Salem:

<http://www.cityofsalem.net/planning>

It is the City of Salem's policy to assure that no person shall be discriminated against on the grounds of race, religion, color, sex, marital status, familial status, national origin, age, mental or physical disability, sexual orientation, gender identity and source of income, as provided by Salem Revised Code Chapter 97. The City of Salem also fully complies with Title VI of the Civil Rights Act of 1964, and related statutes and regulations, in all programs and activities. Disability-related modification or accommodation, including auxiliary aids or services, in order to participate in this meeting or event, are available upon request. Sign language and interpreters for languages other than English are also available upon request. To request such an accommodation or interpretation, contact the Community Development

Department at 503-588-6173 at least three business days before this meeting or event.

TTD/TTY telephone 503-588-6439 is also available 24/7

REQUEST FOR COMMENTS

Si necesita ayuda para comprender esta información, por favor llame 503-588-6173

REGARDING: Class 3 Site Plan Review / Class 2 Adjustment / Class 1 Adjustment
Case No. SPR-ADJ23-04

PROJECT ADDRESS: 1075 8th St NW, Salem OR 97304

AMANDA Application No.: 22-117589-PLN

COMMENT PERIOD ENDS: February 16, 2023

SUMMARY: An application development of a new vehicle use for the existing school.

REQUEST: The proposal includes demolition of existing pool facilities and development of a new vehicle use area for the existing Walker Middle School,

- 1) Eliminate pedestrian connection to Patterson Street NW (SRC800.065(a)(C);
- 2) Increase the distance between a pedestrian connection and a transit stop from 20-feet to 390-feet. (SRC800.065(a)(B)

For property approximately 15 acres in size, zoned PE (Public and Private Educational Services), and located at 1075 8th Street NW (Polk County Assessors Map and Tax Lot number: 073W21DB / 100 & 18200, 073W21AC / 1700 & 802 and 073W 21BD / 1801 & 1902).

The Planning Division is interested in hearing from you about the attached proposal. Staff will prepare a Decision that includes consideration of comments received during this comment period. We are interested in receiving pertinent, factual information such as neighborhood association recommendations and comments of affected property owners or residents. The complete case file, including all materials submitted by the applicant and any applicable professional studies such as traffic impact analysis, geologic assessments, and stormwater reports, are available upon request.

Comments received by 5:00 p.m. Thursday, February 16, 2023, will be considered in the decision process. Comments received after this date will be not considered. *Comments submitted are public record. This includes any personal information provided in your comment such as name, email, physical address and phone number. Mailed comments can take up to 7 calendar days to arrive at our office. To ensure that your comments are received by the deadline, we recommend that you e-mail your comments to the Case Manager listed below.*

CASE MANAGER: Olivia Dias, Current Planning Manager, City of Salem, Planning Division; 555 Liberty St SE, Room 305, Salem, OR 97301; Phone: 503-540-2343; E-Mail: odias@cityofsalem.net.

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PLEASE CHECK THE FOLLOWING THAT APPLY:

- 1. I have reviewed the proposal and have no objections to it.
- 2. I have reviewed the proposal and have the following comments: _____

Name/Agency: _____

Address: _____

Phone: _____

Email: _____

Date: _____

IMPORTANT: IF YOU MAIL COMMENTS, PLEASE FOLD AND RETURN THIS POSTAGE-PAID FORM



NO POSTAGE
NECESSARY
IF MAILED
IN THE
UNITED STATES

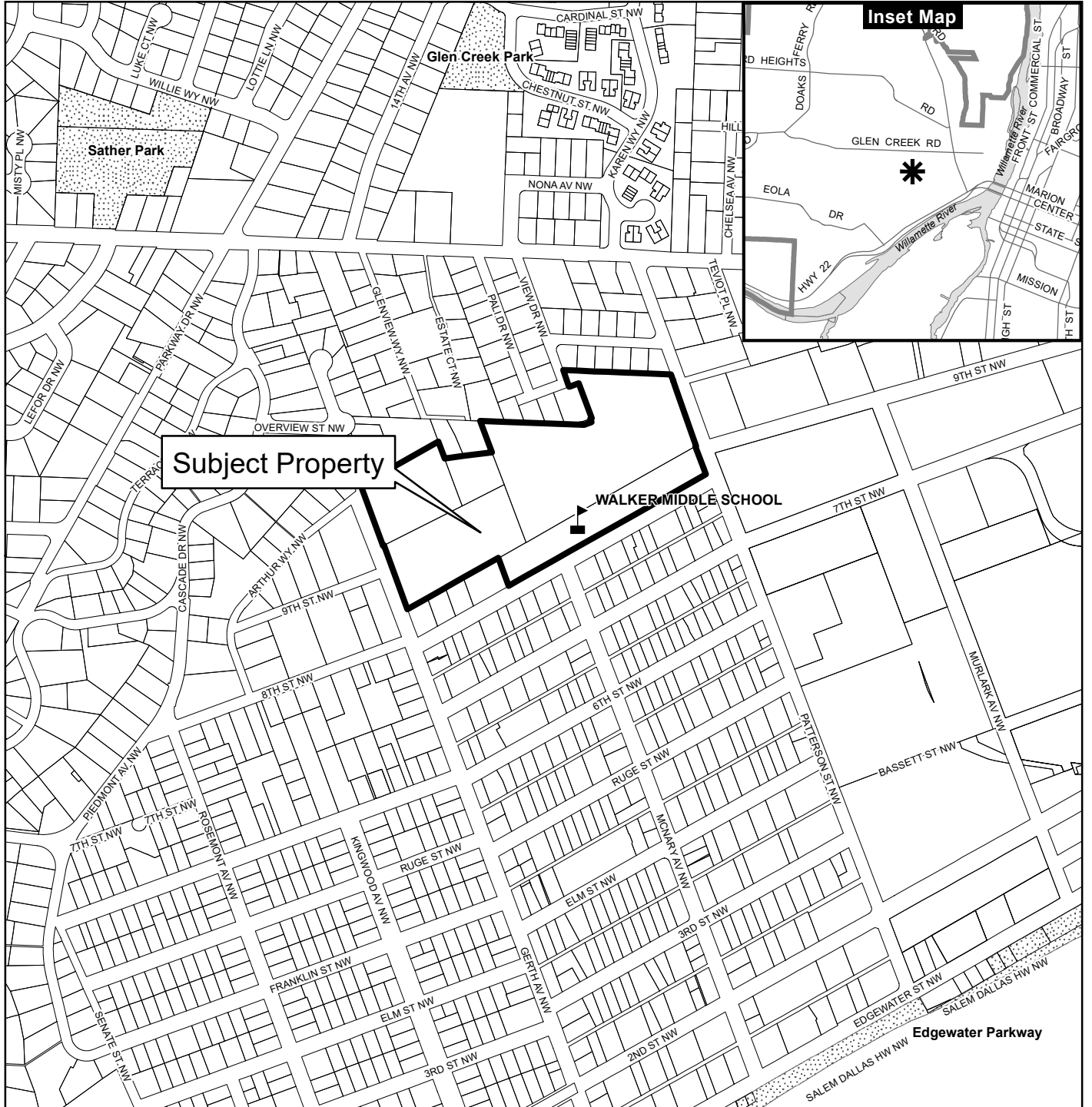
BUSINESS REPLY MAIL
FIRST-CLASS MAIL PERMIT NO. 1508 SALEM, OR

POSTAGE WILL BE PAID BY ADDRESSEE








PLANNING DIVISION
CITY OF SALEM RM 305
555 LIBERTY ST SE
SALEM OR 97301-9907



Vicinity Map 1075 8th Street NW



Legend

-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools
-  Parks



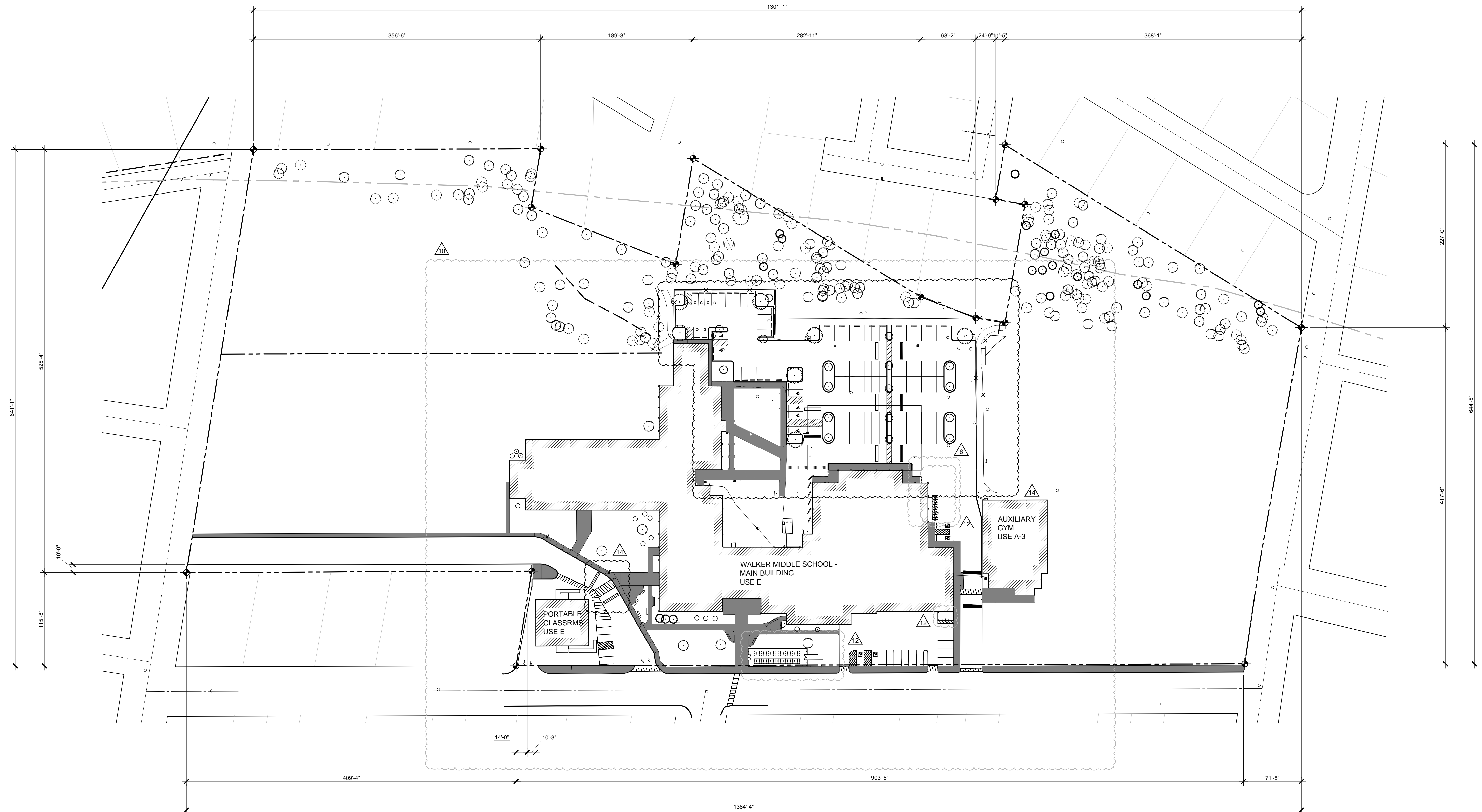
0 100 200 400 Feet



This product is provided as is, without warranty. In no event is the City of Salem liable for damages from the use of this product. This product is subject to license and copyright limitations and further distribution or resale is prohibited.

SITE SUMMARY:		NOTES:
ZONING DESIGNATION	= PE	
BUILDING USE	= EDUCATION	ALLOWABLE
TOTAL SITE AREA	= 482,504 SF	
GROSS FLOOR AREA	= 107,074 SF	INCLUDES PORTABLE AND GYM
GROSS PARKING AREA	= 75,175 SF	
TOTAL LANDSCAPE AREA	= 465,212 SF	
PERCENTAGE	= 22%	15% MIN. COMPLES
PARKING LANDSCAPE	= 7,281 SF	
PERCENTAGE	= 3.7%	1% MIN. COMPLES
TOTAL LOT COVERAGE	= 10.33%	
PERCENTAGE	= 29%	
BUILDING HEIGHT	= 30'-0"	MAX 35' COMPLES
AERIAL FIRE ACCESS	= NOT APPLICABLE	
PARKING		
FULL	= 102	6 VAN/POOL, CARPOOL
COMPACT	= 7	
HANDICAP	= 8	
TOTAL	= 117	82 REQUIRED COMPLES
MAX ALLOWABLE	= NOT APPLICABLE	
LOADING DOCK	= NOT APPLICABLE	SRG TABLE SRG-B
BIKE PARKING	= 30 EXIST, 52 NEW	82 REQUIRED COMPLES
FLOOR AREA RATIO (FAR)	= NOT APPLICABLE	

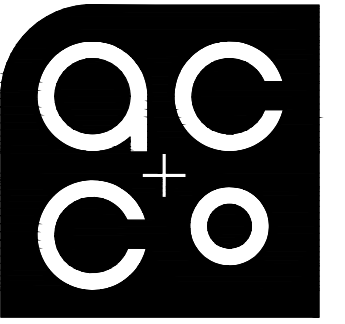
EXISTING AND NEW SIDEWALKS
 EXISTING AND NEW PAINTED CROSSWALKS
 UNMARKED PATH WITH NO OBSTRUCTION



In the event conflicts are discovered between the original signed and sealed documents prepared by the Architects and/or their Consultants, and any copy of the documents transmitted by mail, fax, electronically or otherwise, the original signed and sealed documents shall govern.

JOB NO. 2020.0059
 DATE DEC 10, 2021
 DRAWN SED

REVISIONS
 6 SPR REVIEW 08.19.2022 14 SPR REVIEW 01.27.2023
 10 SPR REV 11.21.2022
 12 SPR REV 01.03.2023



**ARCHITECTURE
 COMMUNITY**
 1100 Liberty St SE, Suite 200
 Salem, OR 97302
 P: 503.581.4114
 www.accoac.com

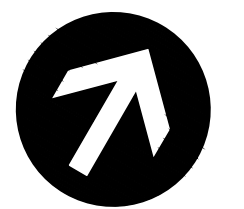
**WALKER
 MIDDLE
 SCHOOL**

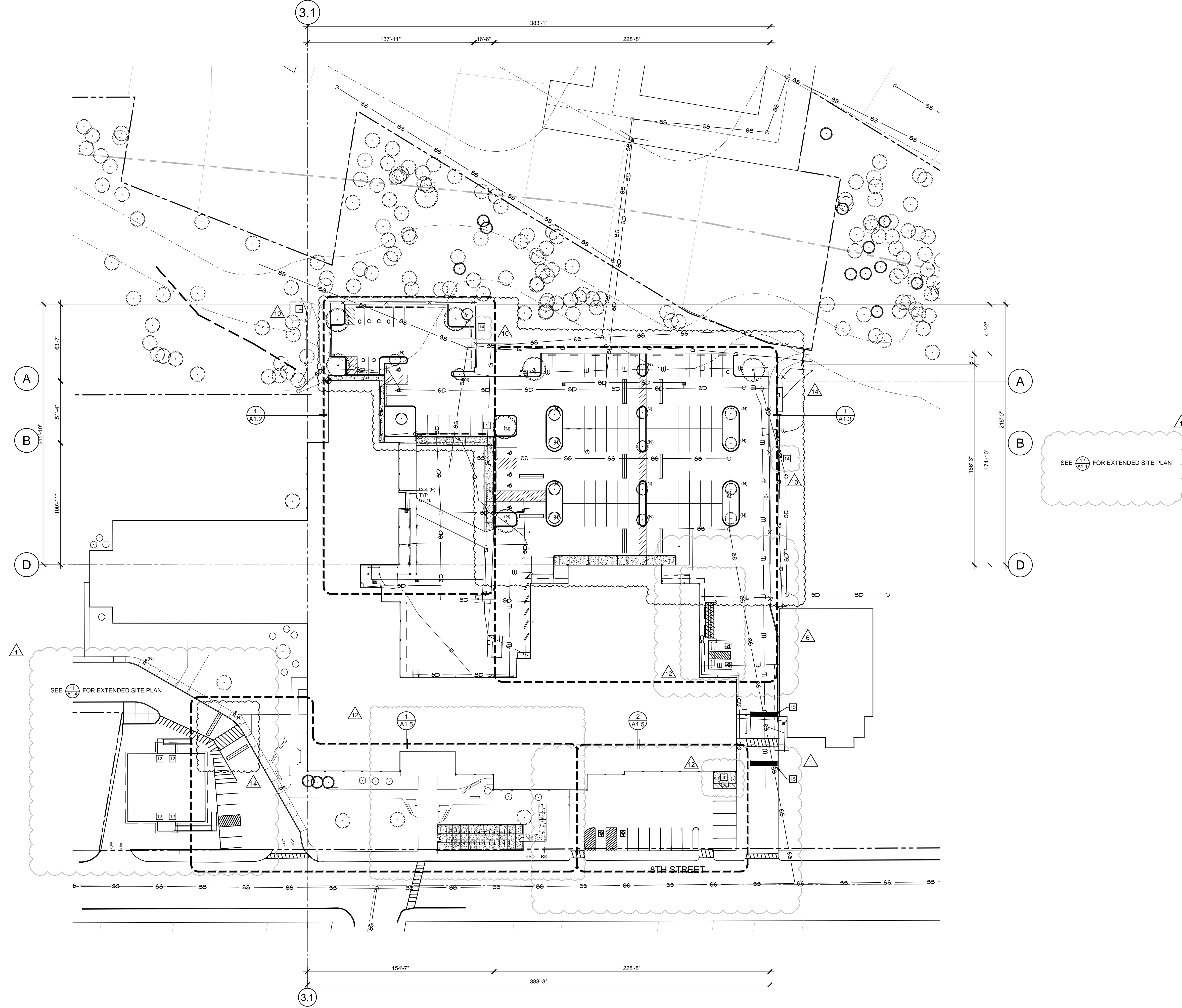
1075 8TH STREET NW
 SALEM, OREGON 97304

SHEET

A1.0

1 OVERALL SITE PLAN - FOR REFERENCE ONLY
 SCALE: 1" = 60'-0"





- GENERAL NOTES:**
- GENERAL NOTES APPLY TO ALL DRAWINGS.
 - DIMENSIONS ARE TO EXISTING FACE OF STUDS, FACE OF MASONRY AND FACE OF CONCRETE, UNLESS OTHERWISE NOTED. ("CLEAR" DIMENSION IS TO FACE OF FINISHED SURFACE).
 - DRAWINGS ARE DIAGRAMMATIC ONLY AND SHOULD NOT BE SCALED. NOTIFY ARCHITECT OF ANY DISCREPANCIES OR QUESTIONABLE DIMENSIONS FOR CLARIFICATION PRIOR TO PROCEEDING WITH AREA OF REQUIRED WORK.
 - IN CASE OF ANY CONFLICTS IN THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, THE CONTRACTOR IS REQUIRED TO INCLUDE THE BETTER QUALITY AND LARGER QUANTITY OF THE WORK.
 - CONTRACTOR AND BIDDERS SHALL USE COMPLETE SETS OF CONTRACT DOCUMENTS; NEITHER THE OWNER NOR ARCHITECT ASSUMES RESPONSIBILITY FOR ERRORS OR MISINTERPRETATIONS RESULTING FROM THE USE OF INCOMPLETE SETS OF CONTRACT DOCUMENTS.
 - THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THEIR REPRESENTATIVES. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
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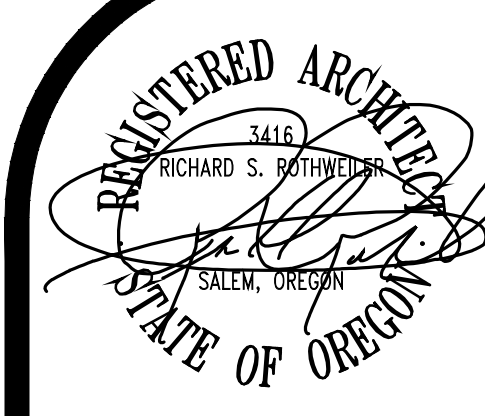
- SYMBOL LEGEND (NEW):**
- NEW CURB, PROVIDE ASPHALT PAVING PATCH AS REQUIRED, NEW ASPHALT PAVING TO PATCH EXISTING, REFER TO CIVIL DRAWINGS
 - NEW CONCRETE, REFER TO CIVIL DRAWINGS AND/OR STRUCTURAL DRAWINGS
 - NEW ASPHALT PAVING AND SUB-BASE TO MATCH EXISTING, REFER TO CIVIL DRAWINGS
 - NEW CONTROL / EXPANSION JOINT, REFER TO CIVIL DRAWINGS
 - NEW CONCRETE WHEEL STOP, REFER TO CIVIL DRAWINGS
 - PROPERTY LINE
 - PROPERTY SETBACK LINE
 - EASEMENT LINE, REFER TO SURVEY
 - EXISTING FENCE TO REMAIN; (D) DESIGNATES EXISTING TO BE REMOVED, (N) DESIGNATES NEW FENCE
 - EXISTING SANITARY SEWER LINE TO REMAIN, REFER TO CIVIL DRAWINGS
 - EXISTING STORM DRAIN LINE TO REMAIN, REFER TO CIVIL DRAWINGS
 - EXISTING GAS LINE TO REMAIN, REFER TO CIVIL DRAWINGS
 - EXISTING WATER LINE TO REMAIN, REFER TO CIVIL DRAWINGS
 - EXISTING CONCRETE CURB TO REMAIN, REFER TO CIVIL DRAWINGS
 - EXISTING TREE TO REMAIN, (N) DESIGNATES NEW TREE, REFER TO LANDSCAPE DRAWINGS
 - EXISTING COLUMN TO REMAIN, (N) DESIGNATES NEW, REFER TO STRUCTURAL DRAWINGS
 - EXISTING DOWNSPOUT TO REMAIN, (N) DESIGNATES NEW, REFER TO CIVIL DRAWINGS
 - NEW SIGN, (E) DESIGNATES EXISTING TO REMAIN, (D) DESIGNATES EXISTING TO BE REMOVED, (RR) DESIGNATES EXISTING TO BE REMOVED AND REINSTALLED, REFER TO CIVIL DRAWINGS
 - EXISTING SANITARY SEWER MANHOLE TO REMAIN, REFER TO CIVIL DRAWINGS
 - EXISTING STORM DRAIN MANHOLE TO REMAIN, REFER TO CIVIL DRAWINGS
 - EXISTING AREA DRAIN TO REMAIN, REFER TO CIVIL DRAWINGS
 - EXISTING LIGHT TO REMAIN, (D) DESIGNATES EXISTING TO BE REMOVED, (N) DESIGNATES NEW, REFER TO CIVIL AND ELECTRICAL DRAWINGS

- REFERENCE NOTES:**
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 - EXISTING EDGE OF ASPHALT TO REMAIN, REFER TO CIVIL DRAWINGS
 - NEW END OR BEGINNING OF NEW CONCRETE CURB, REFER TO CIVIL DRAWINGS
 - NOT USED
 - NEW PAINTED PARKING STRIPES AND ACCESS AREAS
 - NEW PAINTED HANDICAP PARKING SYMBOL
 - NEW POLE MOUNTED AND/OR BUILDING MOUNTED HANDICAP PARKING SIGNAGE
 - NEW LANDSCAPE AND PLANTER AREA, REFER TO LANDSCAPE DRAWINGS
 - NEW SECURITY ACCESS, REFER TO ELECTRICAL DRAWINGS
 - NEW BIKE RACK
 - EXISTING FENCE TO REMAIN AS TREE PROTECTION
 - EXISTING SPEED BUMP TO REMAIN
 - EXISTING SIGN TO BE REMOVED AND REINSTALLED
 - EXISTING BENCH TO REMAIN
 - NEW SPEED BUMP
 - NEW CARPOOL SIGN

SEE 12 FOR EXTENDED SITE PLAN

SEE 11 FOR EXTENDED SITE PLAN

1 SITE PLAN
SCALE: 1" = 40'-0"



In the event conflicts are discovered between the original signed and sealed documents prepared by the Architects and/or their Consultants, and any copy of the documents transmitted by mail, fax, electronically or otherwise, the original signed and sealed documents shall govern.

JOB NO. 2020.0059
DATE DEC 10, 2021
DRAWN MLH

REVISIONS

ADD #	DATE	BY	REVISION
ADD #2	01.21.2022	SPR	REVIEW
ADD #4	01.31.2022	SPR	REVIEW
ADD #6	08.25.2022	SPR	REVIEW
ADD #10	11.21.2022	SPR	REVIEW
ADD #12	01.03.2023	SPR	REVIEW
ADD #14	01.27.2023	SPR	REVIEW

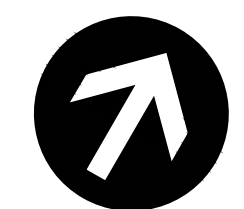


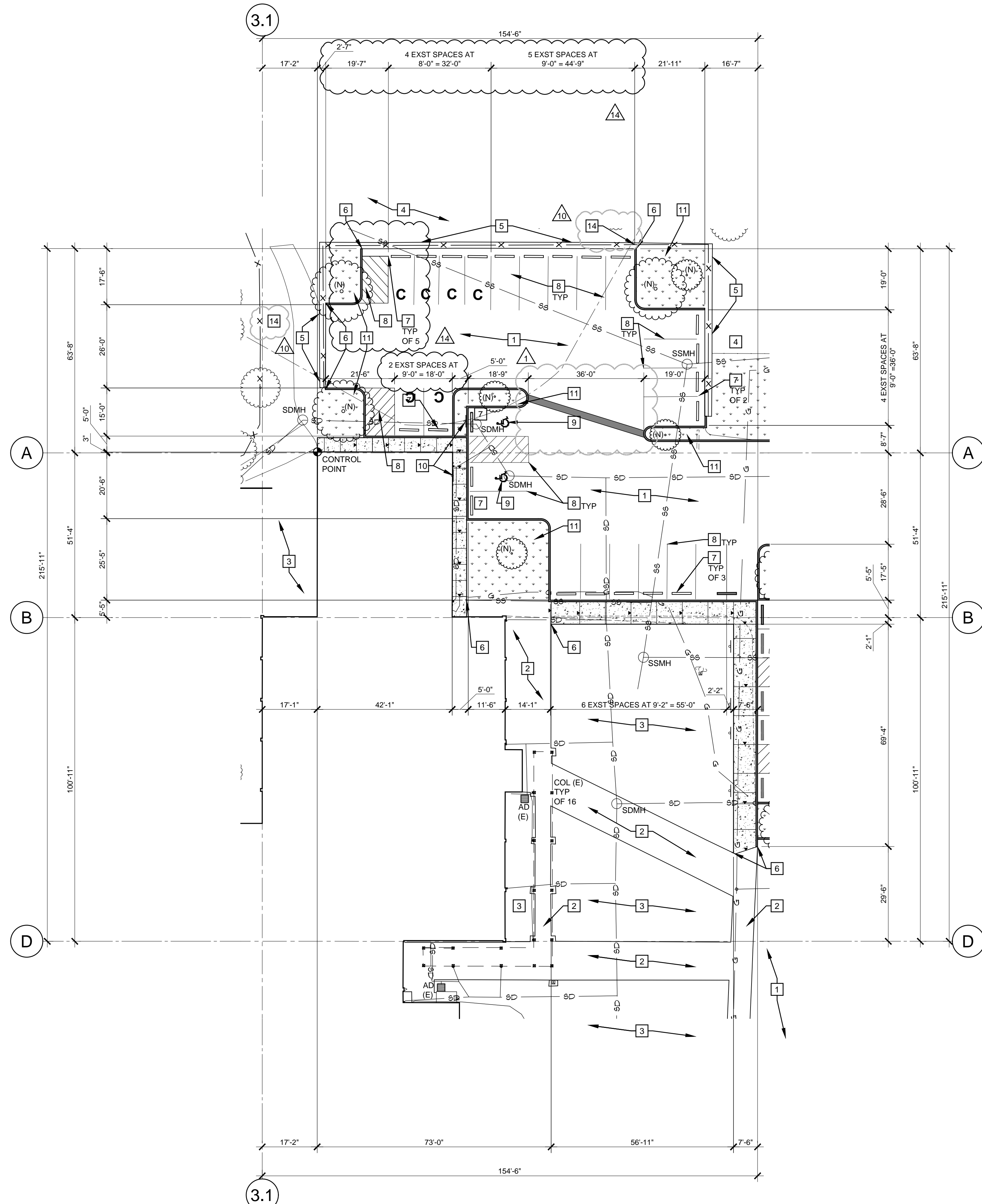
WALKER MIDDLE SCHOOL

1075 8TH STREET NW
SALEM, OREGON 97304

SHEET

A1.1





REFERENCE NOTES:

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- 6 NEW END OR BEGINNING OF NEW CONCRETE CURB, REFER TO CIVIL DRAWINGS
- 7 NOT USED
- 8 NEW PAINTED PARKING STRIPES AND ACCESS AREAS
- 9 NEW PAINTED HANDICAP PARKING SYMBOL (A1.4)
- 10 NEW POLE MOUNTED AND/OR BUILDING MOUNTED HANDICAP PARKING SIGNAGE (A1.4)
- 11 NEW LANDSCAPE AND PLANTER AREA, REFER TO LANDSCAPE DRAWINGS
- 12 NEW SECURITY ACCESS, REFER TO ELECTRICAL DRAWINGS
- 13 NEW BIKE RACK (A1.4)
- 14 EXISTING FENCE TO REMAIN AS TREE PROTECTION
- 15 EXISTING SPEED BUMP TO REMAIN
- 16 EXISTING SIGN TO BE REMOVED AND REINSTALLED
- 17 EXISTING BENCH TO REMAIN
- 18 NEW SPEED BUMP (A1.4)
- 19 NEW CARPOOL SIGN (A1.4) SIM

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SYMBOL LEGEND (NEW):

- 12 NEW CURB, PROVIDE ASPHALT PAVING PATCH AS REQUIRED, NEW ASPHALT PAVING TO PATCH EXISTING, REFER TO CIVIL DRAWINGS (A1.4)
- 1 NEW ASPHALT PAVING AND SUB-BASE TO MATCH EXISTING, REFER TO CIVIL DRAWINGS
- 1 NEW CONTROL / EXPANSION JOINT, REFER TO CIVIL DRAWINGS (A1.4)
- 4 NEW CONCRETE WHEEL STOP, REFER TO CIVIL DRAWINGS (A1.4)
- PROPERTY LINE
- PROPERTY SETBACK LINE
- EASEMENT LINE, REFER TO SURVEY
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- SS EXISTING SANITARY SEWER LINE TO REMAIN, REFER TO CIVIL DRAWINGS
- SD EXISTING STORM DRAIN LINE TO REMAIN, REFER TO CIVIL DRAWINGS
- G EXISTING GAS LINE TO REMAIN, REFER TO CIVIL DRAWINGS
- W EXISTING WATER LINE TO REMAIN, REFER TO CIVIL DRAWINGS
- EXISTING CONCRETE CURB TO REMAIN, REFER TO CIVIL DRAWINGS
- EXISTING TREE TO REMAIN, (N) DESIGNATES NEW TREE, REFER TO LANDSCAPE DRAWINGS
- COL (E) EXISTING COLUMN TO REMAIN, (N) DESIGNATES NEW, REFER TO STRUCTURAL DRAWINGS
- DS (E) EXISTING DOWNSPOUT TO REMAIN, (N) DESIGNATES NEW, REFER TO CIVIL DRAWINGS
- NEW SIGN, (E) DESIGNATES EXISTING TO REMAIN, (D) DESIGNATES EXISTING TO BE REMOVED, (RR) DESIGNATES EXISTING TO BE REMOVED AND REINSTALLED, REFER TO CIVIL DRAWINGS
- SSMH EXISTING SANITARY SEWER MANHOLE TO REMAIN, REFER TO CIVIL DRAWINGS
- SDMH EXISTING STORM DRAIN MANHOLE TO REMAIN, REFER TO CIVIL DRAWINGS
- AD (E) EXISTING AREA DRAIN TO REMAIN, REFER TO CIVIL DRAWINGS
- △ (N) EXISTING LIGHT TO REMAIN, (D) DESIGNATES EXISTING TO BE REMOVED, (N) DESIGNATES NEW, REFER TO CIVIL AND ELECTRICAL DRAWINGS



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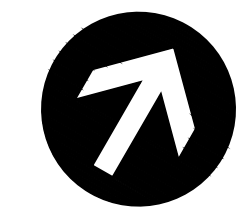


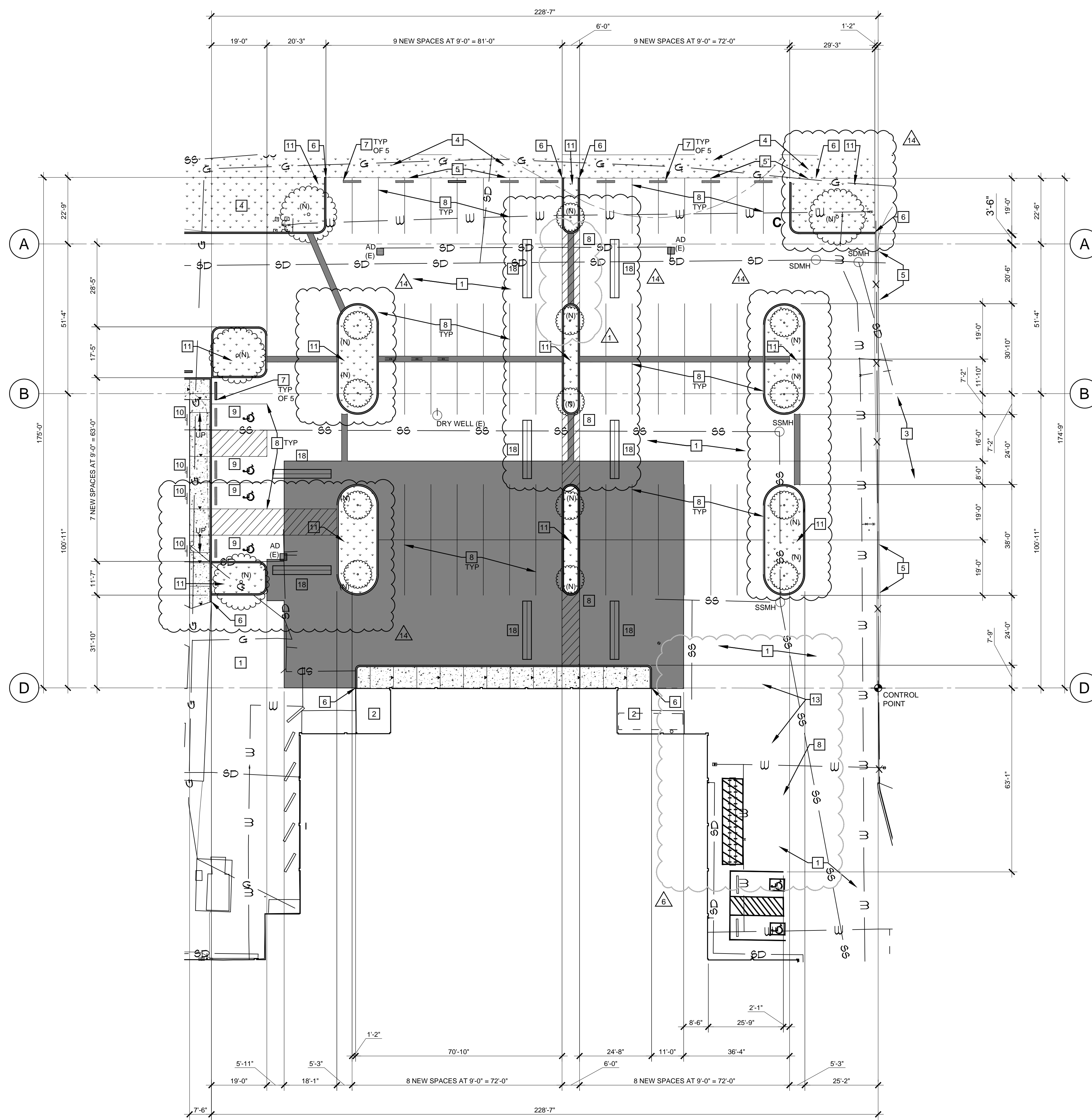
WALKER MIDDLE SCHOOL

1075 8TH STREET NW
SALEM, OREGON 97304

SHEET

A1.2





REFERENCE NOTES:

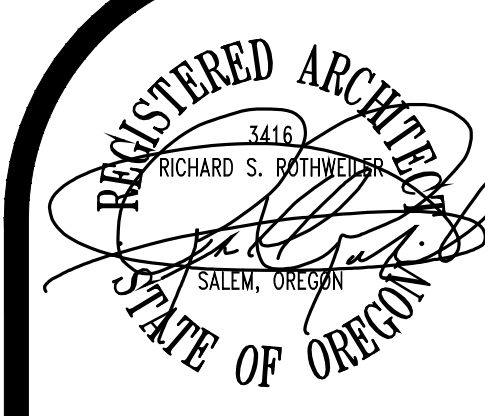
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- 6 NEW END OR BEGINNING OF NEW CONCRETE CURB, REFER TO CIVIL DRAWINGS
- 7 NOT USED
- 8 NEW PAINTED PARKING STRIPES AND ACCESS AREAS
- 9 NEW PAINTED HANDICAP PARKING SYMBOL (3 AT.4)
- 10 NEW POLE MOUNTED AND/OR BUILDING MOUNTED HANDICAP PARKING SIGNAGE (2 AT.4)
- 11 NEW LANDSCAPE AND PLANTER AREA, REFER TO LANDSCAPE DRAWINGS
- 12 NEW SECURITY ACCESS, REFER TO ELECTRICAL DRAWINGS
- 13 NEW BIKE RACK (13 AT.4)
- 14 EXISTING FENCE TO REMAIN AS TREE PROTECTION
- 15 EXISTING SPEED BUMP TO REMAIN
- 16 EXISTING SIGN TO BE REMOVED AND REINSTALLED
- 17 EXISTING BENCH TO REMAIN
- 18 NEW SPEED BUMP (2 AT.4 SIM)
- 19 NEW CARPOOL SIGN (2 AT.4 SIM)

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SYMBOL LEGEND (NEW):

- 12 NEW CURB, PROVIDE ASPHALT PAVING PATCH AS REQUIRED, NEW ASPHALT PAVING TO PATCH EXISTING, REFER TO CIVIL DRAWINGS (5 AT.4) (2)
- NEW CONCRETE, REFER TO CIVIL DRAWINGS AND/OR STRUCTURAL DRAWINGS
- NEW ASPHALT PAVING AND SUB-BASE TO MATCH EXISTING, REFER TO CIVIL DRAWINGS
- NEW CONTROL / EXPANSION JOINT, REFER TO CIVIL DRAWINGS (1 AT.4) (2)
- NEW CONCRETE WHEEL STOP, REFER TO CIVIL DRAWINGS (4 AT.4)
- PROPERTY LINE
- PROPERTY SETBACK LINE
- EASEMENT LINE, REFER TO SURVEY (2)
- X EXISTING FENCE TO REMAIN; (D) DESIGNATES EXISTING TO BE REMOVED, (N) DESIGNATES NEW FENCE
- SS EXISTING SANITARY SEWER LINE TO REMAIN, REFER TO CIVIL DRAWINGS
- SD EXISTING STORM DRAIN LINE TO REMAIN, REFER TO CIVIL DRAWINGS
- G EXISTING GAS LINE TO REMAIN, REFER TO CIVIL DRAWINGS
- W EXISTING WATER LINE TO REMAIN, REFER TO CIVIL DRAWINGS
- EXISTING CONCRETE CURB TO REMAIN, REFER TO CIVIL DRAWINGS
- EXISTING TREE TO REMAIN, (N) DESIGNATES NEW TREE, REFER TO LANDSCAPE DRAWINGS
- COL (E) EXISTING COLUMN TO REMAIN, (N) DESIGNATES NEW, REFER TO STRUCTURAL DRAWINGS
- DS (E) EXISTING DOWNSPOUT TO REMAIN, (N) DESIGNATES NEW, REFER TO CIVIL DRAWINGS
- NEW SIGN, (E) DESIGNATES EXISTING TO REMAIN, (D) DESIGNATES EXISTING TO BE REMOVED, (RR) DESIGNATES EXISTING TO BE REMOVED AND REINSTALLED, REFER TO CIVIL DRAWINGS
- SSMH EXISTING SANITARY SEWER MANHOLE TO REMAIN, REFER TO CIVIL DRAWINGS
- SDMH EXISTING STORM DRAIN MANHOLE TO REMAIN, REFER TO CIVIL DRAWINGS
- AD (E) EXISTING AREA DRAIN TO REMAIN, REFER TO CIVIL DRAWINGS
- EXISTING LIGHT TO REMAIN, (D) DESIGNATES EXISTING TO BE REMOVED, (N) DESIGNATES NEW, REFER TO CIVIL AND ELECTRICAL DRAWINGS



In the event conflicts are discovered between the original signed and sealed documents prepared by the Architect and/or their Consultants, and any copy of the documents transmitted by mail, fax, electronically or otherwise, the original signed and sealed documents shall govern.

JOB NO. 2020.0059

DATE DEC 10, 2021

DRAWN MLH

REVISIONS

ADD #2	01.21.2022	SPR REV	10	11.21.2022
ADD #4	01.31.2022	SPR REV	12	01.27.2022
SITE PLAN REVIEW				
6	08.25.2022			

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SHEET

A1.3

1 ENLARGED SITE PLAN
 SCALE: 1" = 20'-0"

