

# NOTICE OF DECISION

PLANNING DIVISION  
555 LIBERTY ST. SE, RM 305  
SALEM, OREGON 97301  
PHONE: 503-588-6173  
FAX: 503-588-6005



*Si necesita ayuda para comprender esta información, por favor llame  
503-588-6173*

## DECISION OF THE HISTORIC PRESERVATION OFFICER

**CLASS 2 MINOR HISTORIC DESIGN REVIEW CASE NO.:** HIS23-02

**APPLICATION NO.:** 23-101741-PLN

**NOTICE OF DECISION DATE:** March 3, 2023

**SUMMARY:** A proposal to install a ADA ramp on the east side of the Oregon Building (1914).

**REQUEST:** A Class 2 Minor Historic Design review of a proposal to install a ADA ramp on the east facade of the Oregon Building (1914), a historic contributing building in the Salem Downtown Historic District in the CB (Central Business District) zone, and located at 494 State Street (aka 105 High St SE) - 97301 (Marion County Assessor Map and Tax Lot Number: 073W27AB03100).

**APPLICANT:** Blake Bural

**LOCATION:** 105 High St SE, Salem OR 97301

**CRITERIA:** Salem Revised Code (SRC) Chapters 230.040(h) – Standards for Historic Contributing Buildings in Commercial Historic Districts - Accessibility

**FINDINGS:** The findings are in the attached Decision dated March 3, 2023.

**DECISION:** The **Historic Preservation Officer (a Planning Administrator designee)** **APPROVED** Class 2 Minor Historic Design Review Case No. HIS23-02 subject to the following conditions of approval:

**Condition 1:** Handrail brackets shall be installed into the mortar and not the historic brick masonry on the eastern façade of the Oregon Building.

The rights granted by the attached decision must be exercised, or an extension granted, by March 21, 2025, or this approval shall be null and void.

Application Deemed Complete:	<u>February 9, 2023</u>
Notice of Decision Mailing Date:	<u>March 3, 2023</u>
Decision Effective Date:	<u>March 21, 2023</u>
State Mandate Date:	<u>June 9, 2023</u>

**Case Manager:** Kimberli Fitzgerald, [kfitzgerald@cityofsalem.net](mailto:kfitzgerald@cityofsalem.net), 503-540-2397

This decision is final unless written appeal and associated fee (if applicable) from an aggrieved party is filed with the City of Salem Planning Division, Room 320, 555 Liberty Street SE, Salem OR 97301, or by email at [planning@cityofsalem.net](mailto:planning@cityofsalem.net), no later than 5:00 p.m. Monday, March 20, 2023. The notice of appeal must contain the information required by SRC 300.1020 and must state where the decision failed to conform to the provisions of the applicable code section, SRC Chapter(s) 230. The

appeal fee must be paid at the time of filing. If the appeal is untimely and/or lacks the proper fee, the appeal will be rejected. The Historic Landmarks Commission will review the appeal at a public hearing. After the hearing, the Historic Landmarks Commission may amend, rescind, or affirm the action, or refer the matter to staff for additional information.

The complete case file, including findings, conclusions and conditions of approval, if any, is available for review by contacting the case manager, or at the Planning Desk in the Permit Application Center, Room 305, City Hall, 555 Liberty Street SE, during regular business hours.

<http://www.cityofsalem.net/planning>

**BEFORE THE PLANNING ADMINISTRATOR OF THE CITY OF SALEM**

**DECISION**

**IN THE MATTER OF APPROVAL OF ) MINOR HISTORIC DESIGN REVIEW**  
**HISTORIC DESIGN REVIEW )**  
**CASE NO. HIS23-02 )**  
**494 STATE STREET (105 HIGH ST SE) ) March 3, 2023**

In the matter of the application for a Minor Historic Design Review submitted by Blake Bural on behalf of 494 State Street Salem, Inc, the Historic Preservation Officer (a Planning Administrator Designee), having received and reviewed evidence and the application materials, makes the following findings and adopts the following order as set forth herein.

**REQUEST**

**Summary:** A proposal to install a ADA ramp on the east side of the Oregon Building (1914).

**Request:** A Class 2 Minor Historic Design review of a proposal to install a ADA ramp on the east facade of the Oregon Building (1914), a historic contributing building in the Salem Downtown Historic District in the CB (Central Business District) zone, and located at 494 State Street (aka 105 High St SE) - 97301 (Marion County Assessor Map and Tax Lot Number: 073W27AB03100).

A vicinity map illustrating the location of the property is attached hereto, and made a part of this decision (**Attachment A**).

**FINDINGS**

1. Minor Historic Design Review Applicability

SRC230.020(f) requires Historic Design Review approval for any alterations to historic resources as those terms and procedures are defined in SRC 230. The Planning Administrator shall render a decision supported by findings that explain conformance or lack thereof with relevant design standards, state the facts relied upon in rendering the decision, and explain justification for the decision.

**BACKGROUND & PROPOSAL**

The applicant is proposing to install a new handicap access ramp, landing and stair perpendicular to the building with access to the High Street entrance to the building on the eastern façade. The ramp will be located on the northern side of the 7’5” concrete landing, and will be of poured concrete with a light broom finish, 3’ wide and 5’7” long with a 1:12 slope. Two concrete stairs are proposed on the southern side of the landing. A welded steel pipe handrail is proposed adjacent to both the stairs and the ramp, and will be installed on the exterior of the ramp and stairs into 5” deep pockets or to the top of the existing sidewalk. The handrail will be attached with brackets to the building exterior. The applicant’s submittal plans are included as **Attachment B**.

**SUMMARY OF RECORD**

The following items are submitted to the record and are available: 1) all materials and

testimony submitted by the applicant, including any applicable professional studies such as traffic impact analysis, geologic assessments, stormwater reports, and; 2) materials, testimony, and comments from public agencies, City Departments, neighborhood associations, and the public. All application materials are available on the City's online Permit Application Center at <https://permits.cityofsalem.net>. You may use the search function without registering and enter the permit number listed here: 23 101741.

## **APPLICANT'S STATEMENT**

A request for historic design review must be supported by proof that it conforms to all applicable criteria imposed by the Salem Revised Code. The applicants submitted a written statement, which is included as **Attachment B** in this staff report.

Staff utilized the information from the applicant's statements to evaluate the applicant's proposal and to compose the facts and findings within the staff report. Salem Revised Code (SRC) 230.0040(h) *Accessibility Standards for historic contributing buildings in Commercial Historic Districts* are the applicable criteria for evaluation of this proposal.

## **FACTS & FINDINGS**

### **1. Historic Designation**

Under Salem Revised Code (SRC) Chapter 230, no exterior portion of a local historic resource, contributing, non-contributing building or new construction in a historic district shall be erected, altered, restored, moved or demolished until historic design review approval has been granted on the basis of the project's conformity with the applicable criteria in SRC 230. Conditions of approval, if any, shall be limited to project modifications required to meet the applicable criteria.

According to SRC 230.020(f), historic design review approval shall be granted if the application satisfies the applicable standards set forth in Chapter 230. For Class 1 and Class 2 Minor Historic Design Review decisions HLC staff, the Historic Preservation Officer (a designee of the Planning Administrator), shall render their decision supported by findings that explain conformance or lack thereof with relevant design standards, state the facts relied upon in rendering the decision, and explain justification for the decision.

### **2. Historic Significance**

According to nomination documents the Oregon Building was constructed in 1913. The building served as the original Salem depot for the Oregon Electric Railway, whose Salem-to-Eugene tracks ran down High Street. The Oregon Building also housed the Globe Theater from 1913-1915 and the Oregon Theater from 1917-1928. This four story building was designed by architects W.P. Dawson and Matt Flanagan in association with well-known Oregon architects, Ellis F. Lawrence.

### **3. Neighborhood and Citizen Comments**

The subject property is located within the Central Area Downtown Neighborhood Association

(CANDO). A Request for Comments was sent to the neighborhood association, and surrounding property owners within 250 feet of the property pursuant to Salem Revised Code (SRC) requirements on February 9, 2023. The CANDO Neighborhood Association submitted an email on February 14, 2022, stating that CANDO supports the proposal to install a new ADA ramp. No additional comments were received from the neighborhood association or from adjoining property owners.

#### **4. City Department and Public Agency Comments**

The Building and Safety Division indicates that the applicant must obtain required building permits. The Planning Division has reviewed the proposal and states that there are no concerns with the proposal. The Fire Department had no concerns regarding the proposal. The Public Works Department stated that the applicant is required to obtain a revokable encroachment permit because the proposed ramp is within the right of way.

#### **5. Historic Design Review**

(SRC) 230.0040(h) *Accessibility Standards for historic contributing buildings in Commercial Historic Districts* are the applicable criteria for this case. Table 230-1 defines this activity as a Class 2 Minor Historic Design Review. Historic Landmarks Commission staff reviewed the project proposal and has the following findings for the applicable criterion.

#### **FINDINGS:**

##### ***Criteria 230.040 (h) Accessibility Standards***

(1) ***Materials.*** *Materials shall be, to the greatest extent practicable, of the same type, quality, design, size, finish, proportions and configuration of the original materials in the building.*

**Finding:** The proposed new ADA ramp, stairs and landing will be constructed of concrete, a material which can be found throughout the Oregon Building. The proposed metal handrails are of a similar material and design as the existing metal tube rail system located just to the north, adjacent to the eastern façade of the Oregon Building, surrounding the recently covered access to the basement level of the building. Staff finds that this standard has been met.

##### **(2) *Design***

*(A) Design additions or alterations to improve accessibility in a manner that identifies the building's character-defining spaces and features and prevents their damage or loss.*

**Finding:** The proposed new ADA ramp, landing and stairs improves access to the Oregon Building while ensuring that the character defining features of this façade are retained. Overall, no significant historic materials or features will be adversely affected by the installation of this ramp, which is located on a secondary façade of the Oregon Building. However, it will be necessary to install handrail brackets into the historic masonry wall of the Oregon Building, adjacent to the ramp and the stairs. In order to better meet this standard and to preserve the original brick masonry, the following CONDITION is adopted:

**Condition 1:** Handrail brackets shall be installed into the mortar and not the historic brick masonry on the eastern façade of the Oregon Building.

*(B) Additions and alterations to improve accessibility should be designed in a manner that is compatible with the building and its setting.*

**Finding:** The proposed new ADA ramp, stairs and landing are designed in a manner that is compatible with the Oregon Building and the surrounding Downtown National Register Historic District. The scale of the proposed ramp, landing and stairs is small relative to the size of this four story commercial building, and the alteration is located along a secondary façade of the building, minimizing any adverse effects to character defining features. Staff finds that this standard has been met.

### DECISION

Based upon the application materials deemed complete on February 9, 2023 and the findings as presented in this report, the application for HIS23-02 is **APPROVED** with the following

**CONDITION of APPROVAL:**

**Condition 1:** Handrail brackets shall be installed into the mortar and not the historic brick masonry on the eastern façade of the Oregon Building.



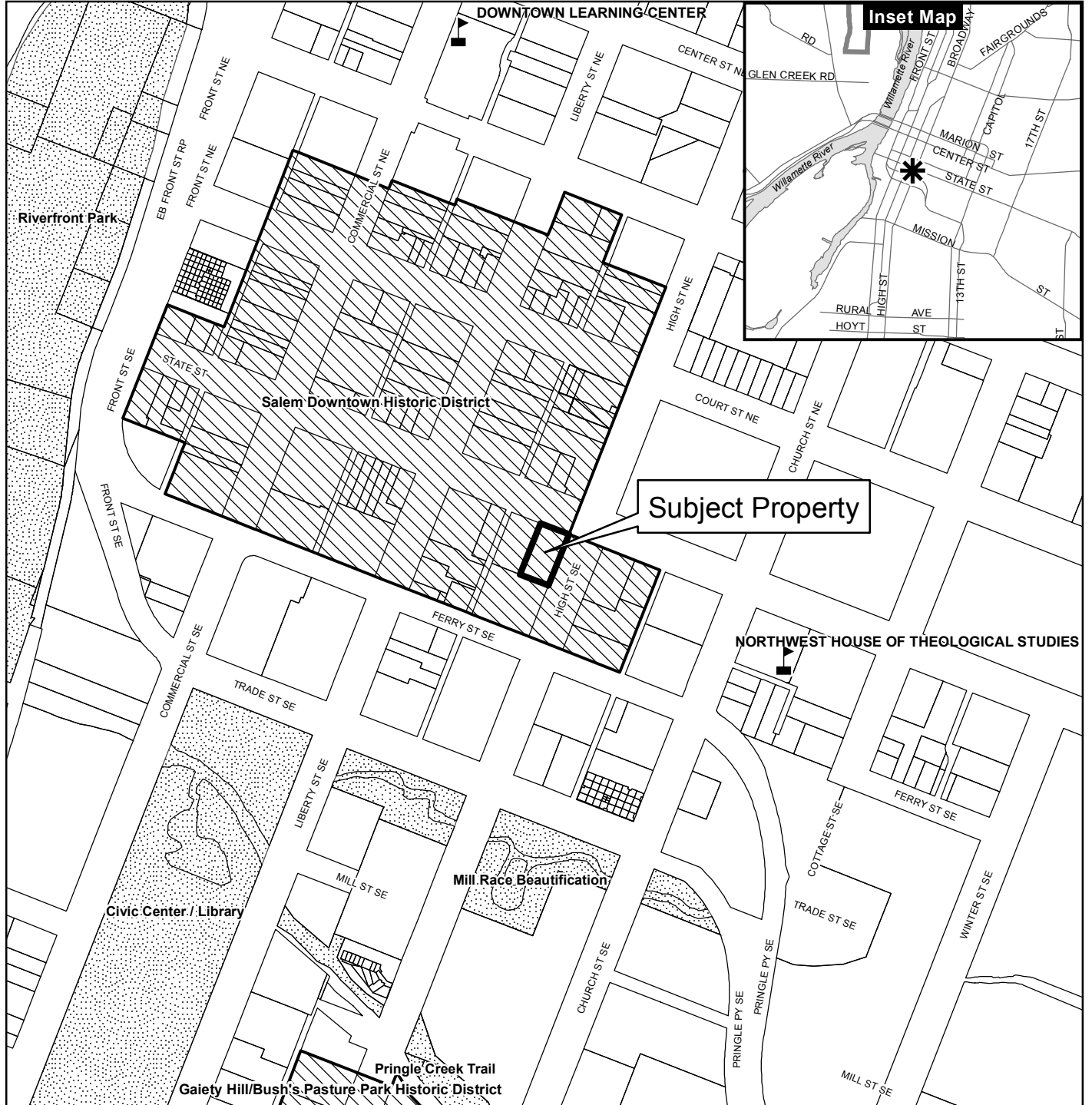
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Kimberli Fitzgerald, AICP  
Historic Preservation Officer  
Planning Administrator Designee








Attachments: A. Vicinity Map  
B. Applicant's Submittal Materials

# Vicinity Map

## 105 High Street SE (073W27AB03100)



**Legend**

-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools
-  Parks

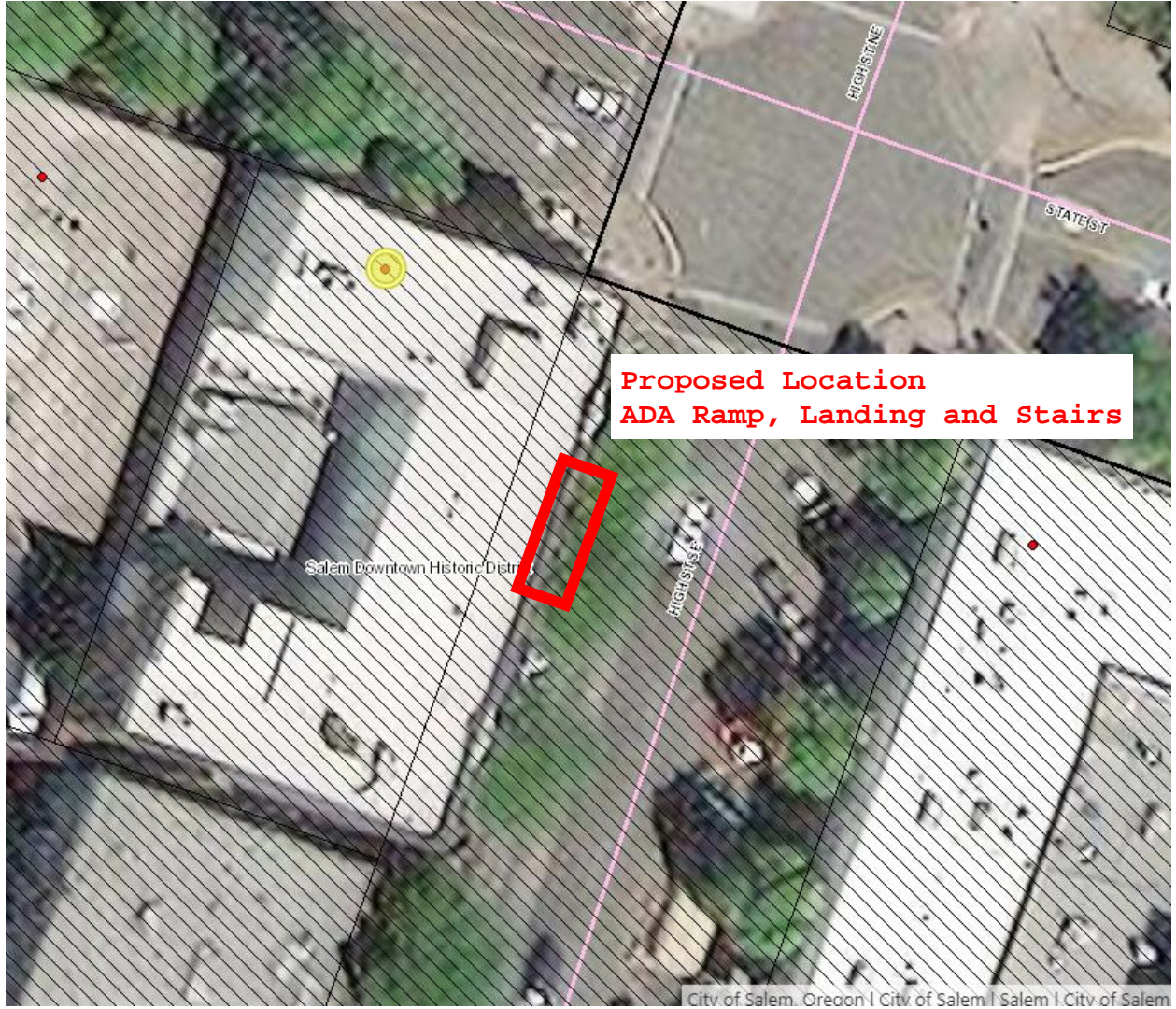


0 100 200 400 Feet



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# HIS23-02 SITE PLAN



494 State Street – ADA Ramp



## Historic Alteration Review Worksheet

Site Address: 105 HIGH STREET SE

Resource Status: Contributing  Non- Contributing  Individual Landmark

Type of Work Activity Proposed: Major  Minor

Chose One: Commercial District  Individual Resource  Public District   
Residential District  Sign

### Replacement, Alteration, Restoration or Addition of:

**Architectural Feature:**

- Awning
- Door
- Exterior Trim, Lintel
- Other architectural feature
- Roof/Cornice
- Masonry/Siding
- Storefront
- Window(s) Number of windows: \_\_\_\_\_

**Landscape Feature:**

- Fence
- Streetscape
- Other Site feature (describe) \_\_\_\_\_

**New:**

- Addition
- Accessory Structure
- Sign
- Mural
- Accessibility Ramp
- Energy Improvements
- Mechanical Equipment
- Primary Structure

Will the proposed alteration be visible from any public right-of-way?  Yes  No

Project's Existing Material: STEEL GUARDRAIL Project's New Material: STEEL GUARDRAIL

### Project Description

Briefly provide an overview of the type of work proposed. Describe how it meets the applicable design criteria in SRC Chapter 230. Please attach any additional information (i.e., product specification sheets) that will help staff and the HLC clearly understand the proposed work:

CONSTRUCT A NEW HANDICAP ACCESS RAMP/STAIR IN THE RIGHT-OF-WAY AT THE 105 HIGH STREET ENTRANCE TO BUILDING. THE NEW REQUIRED WELDED GUARDRAIL/HANDRAIL ASSEMBLY IS TO BE OF SIMILAR HEIGHT, AND OF PAINTED STEEL, LIKE THE EXISTING ADJACENT GUARDRAIL, ALTHOUGH THERE ARE MINOR DIFFERENCES; THEY COULD BE CONSIDERED COUSINS, IN A WAY.

THERE IS NO WORK PROPOSED TO THE BUILDING. THE EXISTING STEEL GUARDRAIL WILL REMAIN.

Blake Bural

Digitally signed by Blake Bural  
DN: C=US, E=bbural@ccoac.com, O="AC+Co Architecture", OU="AC+Co Architecture", CN=Blake Bural  
Date: 2022.07.30 11:21:40-07'00'

DEC 14, 2022

Signature of Applicant

Date Submitted/Signed

**GENERAL INFORMATION**

**PROJECT:** OREGON BUILDING, 494 STATE STREET, AND 105 HIGH STREET, SALEM, OR 97301  
 PROJECT NO.: 2022.0020

**SCOPE OF WORK:** CONSTRUCT NEW HANDICAP-ACCESS RAMP IN RIGHT-OF-WAY AT 105 HIGH ST ENTRANCE TO BUILDING.

**CODES:** 2019 OREGON STRUCTURAL SPECIALTY CODE BASED ON 2018 IBC  
 2019 OREGON FIRE CODE

**OWNER:** OREGON BUILDING  
 494 STATE ST.  
 PORTLAND, OR 97201  
 ATTN: GEORGE KIRK  
 gkirk@kirk-group.com

**ARCHITECT:** AC + Co ARCHITECTURE | COMMUNITY  
 1100 LIBERTY STREET SE, SUITE 200, SALEM, OR 97302  
 PH: (503) 581-4114  
 FAX: (503) 581-3655  
 PRINCIPAL ARCHITECT: RICHARD GABRIEL, AIA

**AGENT:** A.J. NASH, PRINCIPAL BROKER  
 PH: (503) 559-9279  
 aj@TraditionREP.com

**PROJECT ARCHITECT:** BLAKE BURAL, AIA  
 bbural@accoac.com  
 RICHARD GABRIEL, AIA  
 rgabriel@accoac.com

# OREGON BUILDING

494 STATE STREET AND 105 HIGH STREET, SALEM, OR 97301

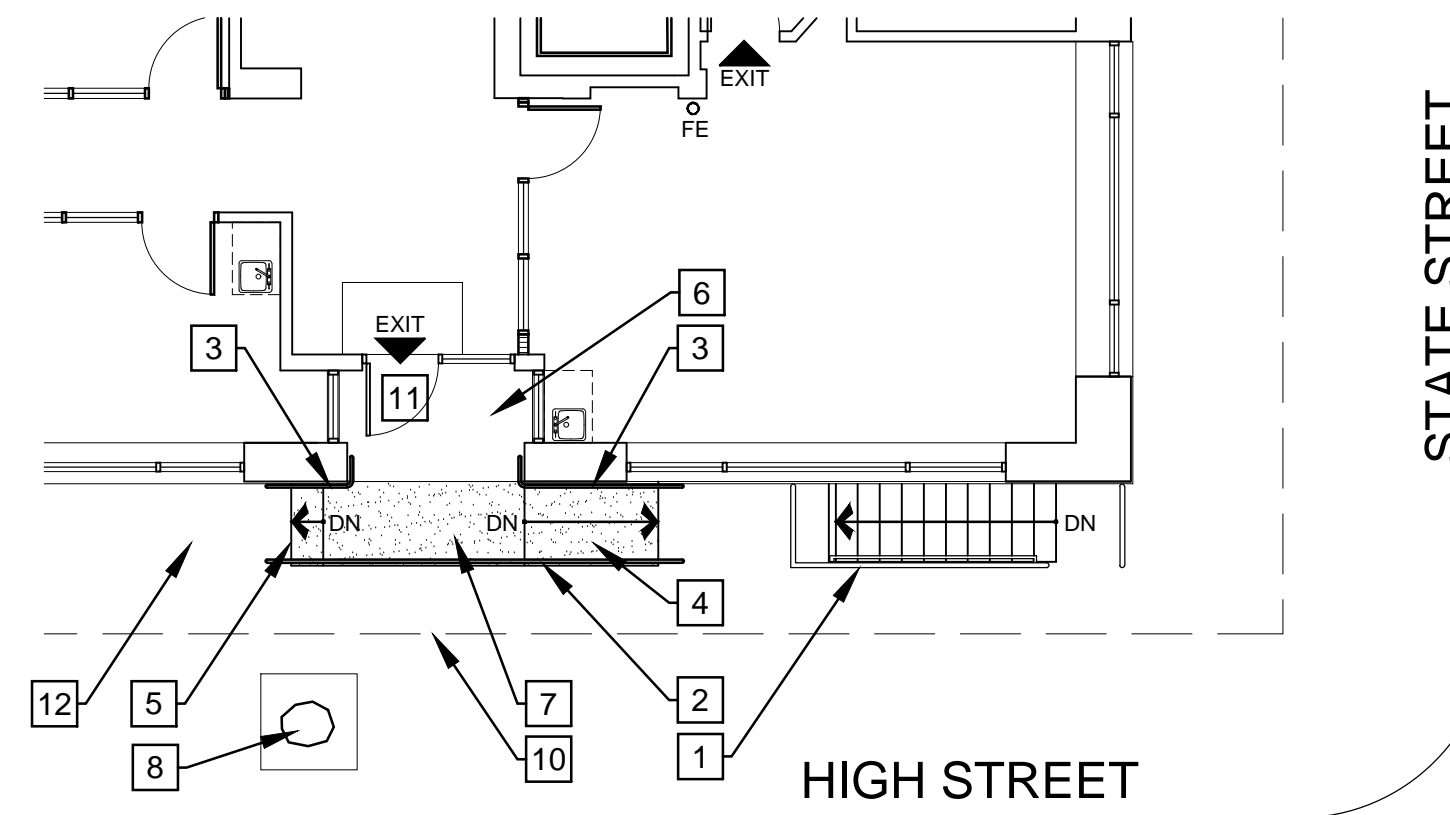
## NEW EXTERIOR HANDICAP ACCESS RAMP AT 105 HIGH STREET ENTRANCE



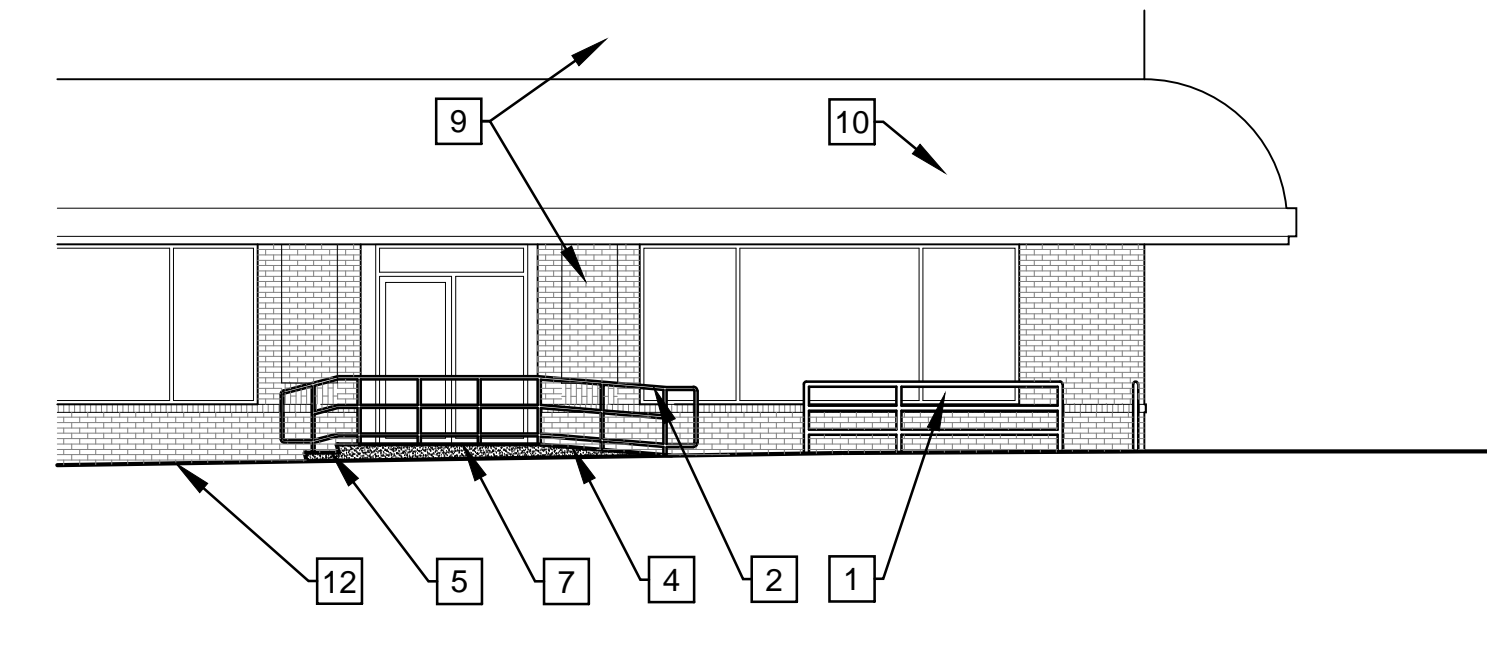
**1 OREGON BLDG - EAST ELEVATION**  
 SCALE: NTS



**2 105 HIGH STREET ENTRANCE - EXISTING**  
 SCALE: NTS



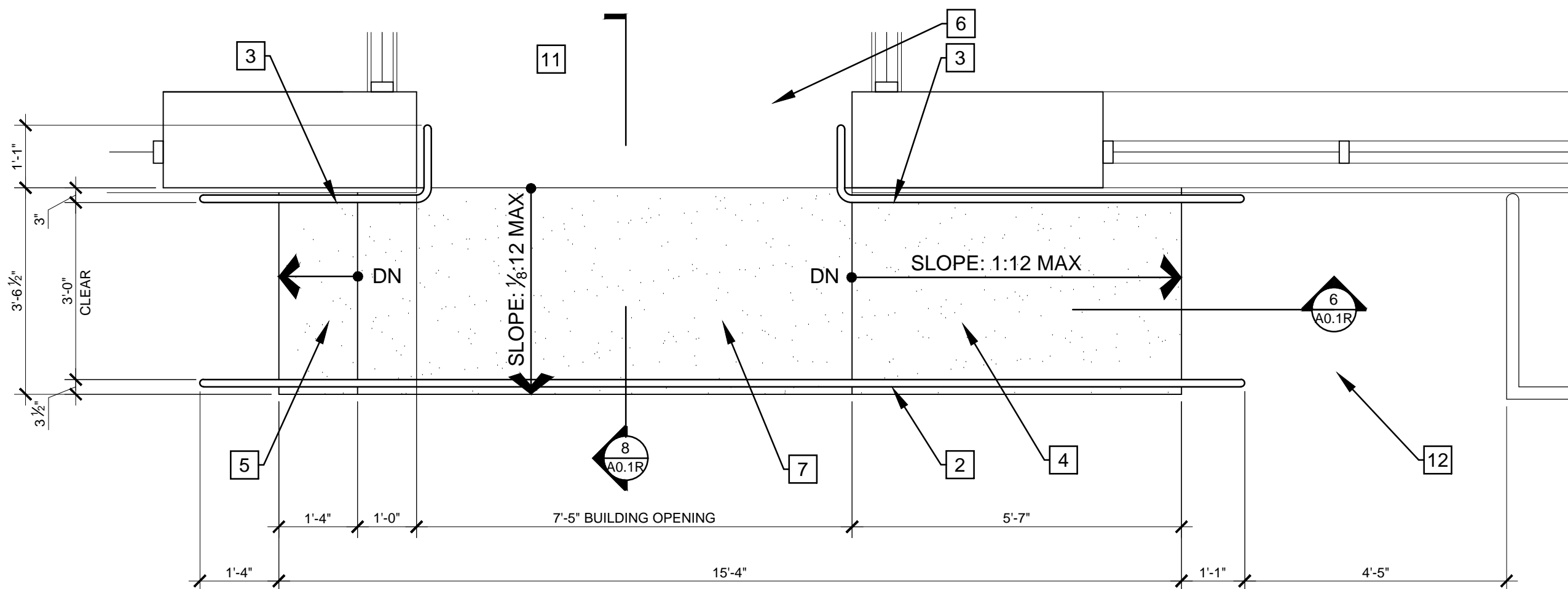
**3 FLOOR PLAN - NEW RAMP & STAIRS**  
 SCALE: 1/8" = 1'-0"



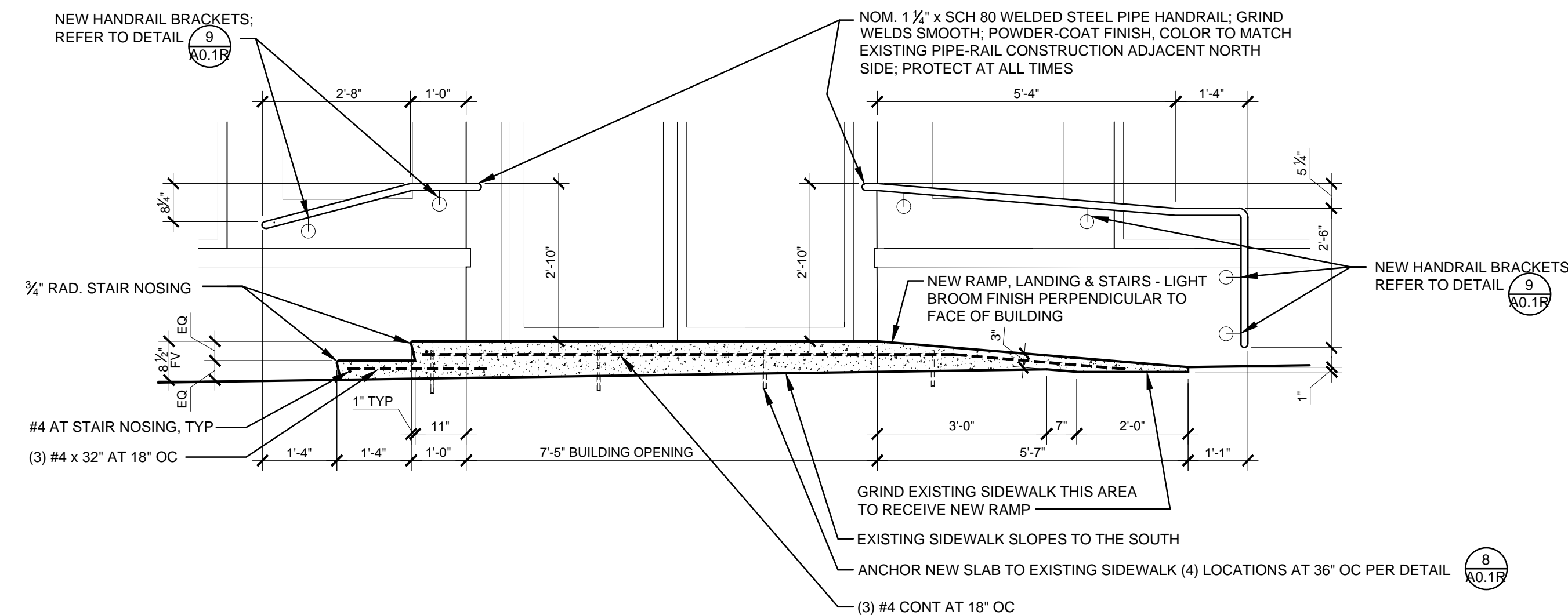
**4 EAST ELEVATION - NEW RAMP & STAIRS**  
 SCALE: 1/8" = 1'-0"

**REFERENCE NOTES:**

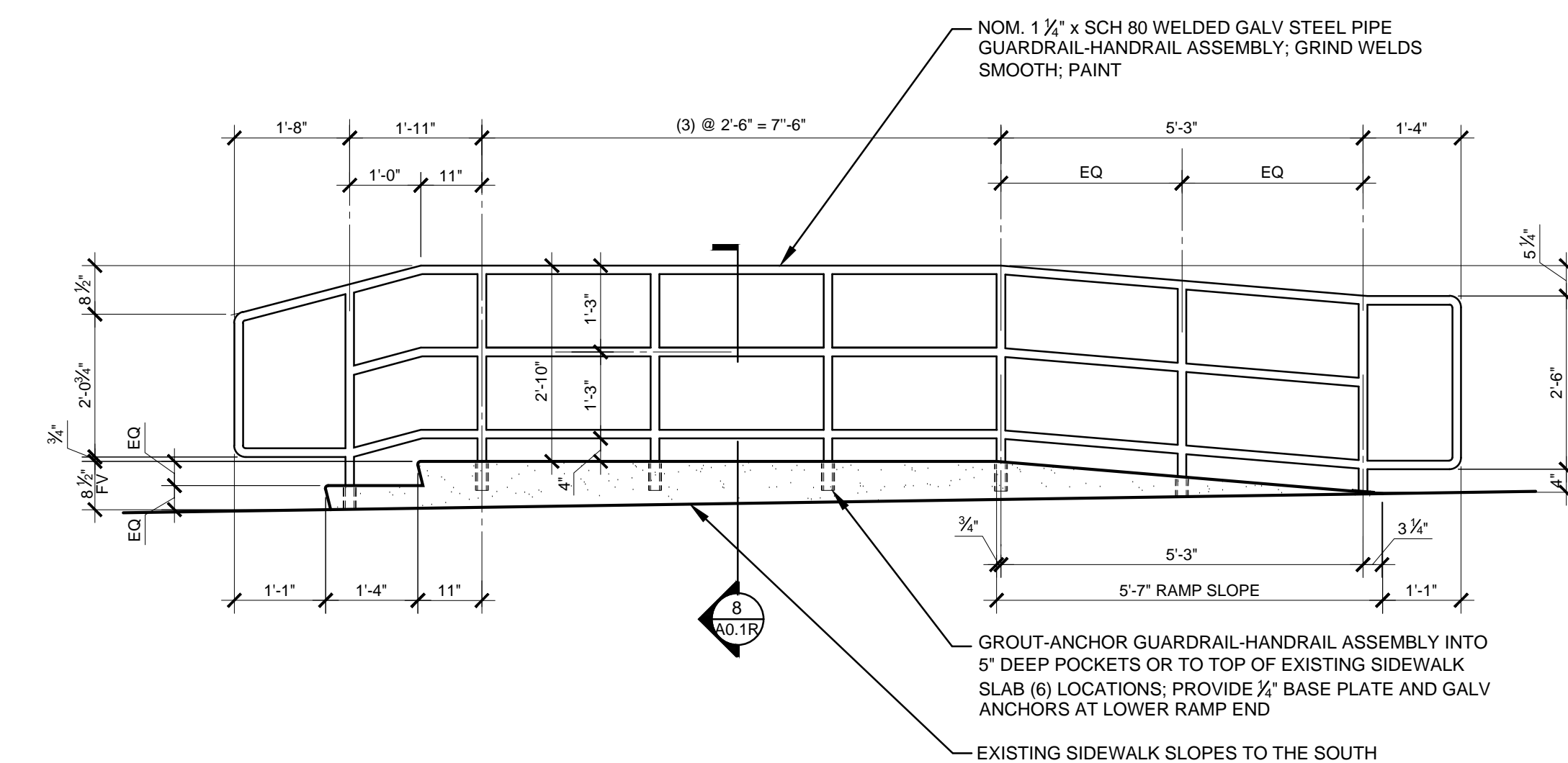
- 1 EXISTING GUARDRAIL
- 2 NEW 1 1/2" OD GUARDRAIL-HANDRAIL
- 3 NEW 1 1/2" OD HANDRAIL
- 4 NEW RAMP 1:12 SLOPE MAX
- 5 NEW STAIRS: R = 4 1/4", T = 16" (FV)
- 6 EXISTING ENTRANCE PORCH
- 7 NEW LANDING FLUSH WITH EXISTING ENTRANCE PORCH
- 8 EXISTING TREE
- 9 FACE OF EXISTING BUILDING
- 10 EXISTING CANOPY OVERHANG
- 11 EXISTING 105 HIGH ST ENTRANCE
- 12 EXISTING SIDEWALK



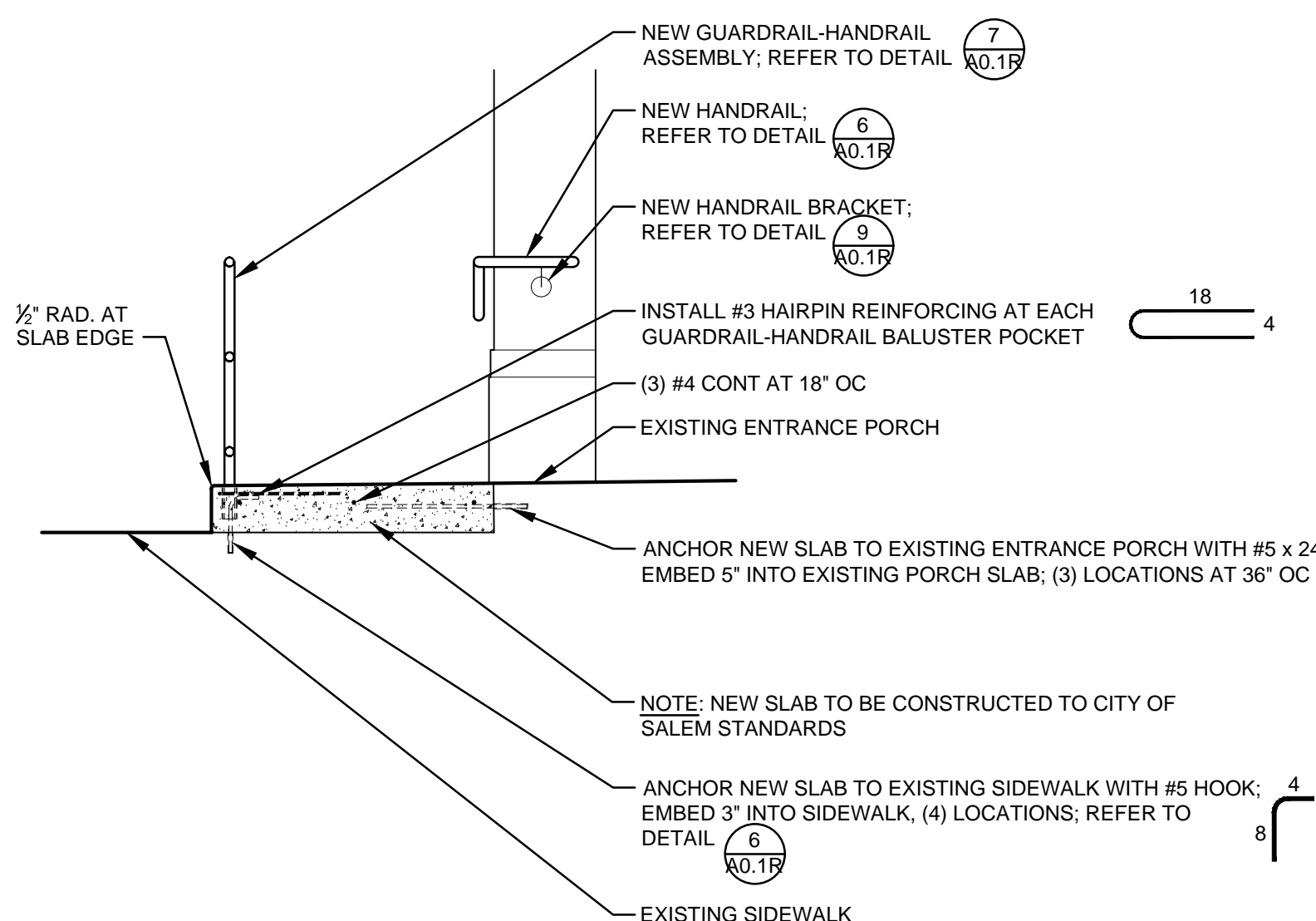
**5 FLOOR PLAN - NEW RAMP & STAIRS**  
 SCALE: 1/2" = 1'-0"



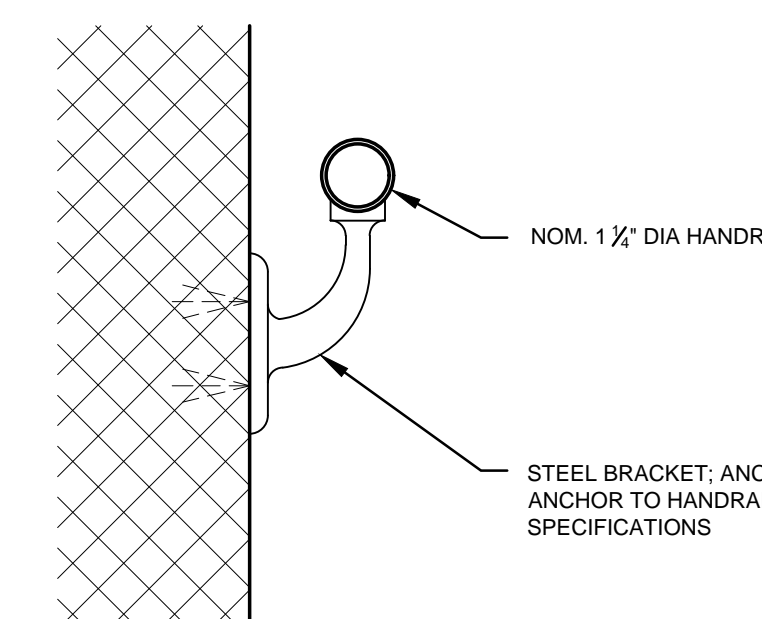
**6 N-S SECTION - NEW RAMP & STAIRS**  
 SCALE: 1/2" = 1'-0"



**7 EAST ELEVATION - GUARDRAIL-HANDRAIL AT NEW RAMP & STAIRS**  
 SCALE: 1/2" = 1'-0"



**8 E-W SECTION - NEW RAMP & STAIRS**  
 SCALE: 1/2" = 1'-0"



**9 HANDRAIL & BRACKET**  
 SCALE: 3" = 1'-0"

**GENERAL NOTES:**

1. GENERAL NOTES APPLY TO ALL DRAWINGS.
2. DIMENSIONS ARE TO EXISTING FACE OF WALL, FACE OF NEW FRAMING, AND FACE OF EXISTING CONCRETE UNLESS NOTED OTHERWISE.
3. DRAWINGS ARE DIAGRAMMATIC ONLY AND SHOULD NOT BE SCALED.
4. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR QUESTIONABLE DIMENSIONS PRIOR TO PROCEEDING WITH AREA OF WORK IN QUESTION.
5. PRIOR TO COMPLETE DEMOLITION OF WALLS, VERIFY STRUCTURAL SYSTEM TO VERIFY LOAD BEARING COMPONENTS.
6. REFER TO OWNER FOR ALL FINISHES
7. REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DESIGN BUILD DRAWINGS FOR ADDITIONAL INFORMATION



In the event conflicts are discovered between the original signed and sealed documents prepared by the Architect and/or their Consultants, and any copy of the documents transmitted by mail, fax, electronically or otherwise, the original signed and sealed documents shall govern.

JOB NO. 2022.0020  
 DATE DEC 14, 2022  
 DRAWN RG  
 REVISIONS



OREGON BUILDING  
 494 STATE STREET  
 SALEM, OR 97301  
 1st FLOOR RENOVATIONS

NEW EXTERIOR  
 HANDICAP ACCESS  
 RAMP

SHEET

A0.1R