

NOTICE OF DECISION

PLANNING DIVISION
555 LIBERTY ST. SE, RM 305
SALEM, OREGON 97301
PHONE: 503-588-6173
FAX: 503-588-6005



*Si necesita ayuda para comprender esta información, por favor llame
503-588-6173*

DECISION OF THE HISTORIC LANDMARKS COMMISSION

CLASS 3 MAJOR HISTORIC DESIGN REVIEW CASE NO.: HIS23-06

APPLICATION NO.: 23-108797-PLN

NOTICE OF DECISION DATE: May 19, 2023

SUMMARY: A proposal to replace the existing front walkway, porch steps and handrail on the Cashatt House (c. 1925).

REQUEST: Class 3 Historic Review of a proposal to replace the existing front walkway, porch steps and handrail on the Cashatt House (c.1925), a contributing resource within the Gaiety Hill/Bush's Pasture Park Historic District, on property approximately 0.18 acres in size, zoned RS (Residential Single Family), and located at 1015 High Street SE (Marion County Assessors Map and Tax Lot number: 073W27CA-02900).

APPLICANT: Edward and Karen Arabas

LOCATION: 1015 High St SE, Salem OR 97302

CRITERIA: Salem Revised Code (SRC) Chapters 230.025 (d) Porches and (l) Site Features

FINDINGS: The findings are in the attached Decision dated May 18, 2023.

DECISION: The **Historic Landmarks Commission APPROVED** Class 3 Major Historic Design Review Case No. HIS23-06 based upon the application materials deemed complete on April 26, 2023 and the findings as presented in this report.

VOTE:

Yes 7 No 0 Absent 1 (Maglinte-Timbrook)

Andrew Zimmerman, Chair
Historic Landmarks Commission

The rights granted by the attached decision must be exercised, or an extension granted, by June 6, 2025, or this approval shall be null and void.

Application Deemed Complete:	<u>April 26, 2023</u>
Public Hearing Date:	<u>May 18, 2023</u>
Notice of Decision Mailing Date:	<u>May 19, 2023</u>
Decision Effective Date:	<u>June 6, 2023</u>
State Mandate Date:	<u>August 24, 2023</u>

Case Manager: Kimberli Fitzgerald, kfitzgerald@cityofsalem.net, 503-540-2397

This decision is final unless written appeal and associated fee (if applicable) from an aggrieved party is filed with the City of Salem Planning Division, Room 320, 555 Liberty Street SE, Salem OR 97301, or by email at planning@cityofsalem.net, no later than 5:00 p.m. Monday, June 5, 2023. Any person who presented evidence or testimony at the hearing may appeal the decision. The notice of appeal must contain the information required by SRC 300.1020 and must state where the decision failed to conform to the provisions of the applicable code section, SRC Chapter(s) 230. The appeal fee must be paid at the time of filing. If the appeal is untimely and/or lacks the proper fee, the appeal will be rejected. The Hearings Officer will review the appeal at a public hearing. After the hearing, the Hearings Officer may amend, rescind, or affirm the action, or refer the matter to staff for additional information.

The complete case file, including findings, conclusions and conditions of approval, if any, is available for review by contacting the case manager, or at the Planning Desk in the Permit Application Center, Room 305, City Hall, 555 Liberty Street SE, during regular business hours.

<http://www.cityofsalem.net/planning>

DECISION OF THE SALEM HISTORIC LANDMARKS COMMISSION

CASE NO.: Historic Design Review Case No. HIS23-06

FINDINGS: Based upon the application materials, the facts and findings in the Staff Report incorporated herein by reference, and testimony provided at the Public Hearing of the May 18, 2023 Historic Landmarks Commission (HLC) finds that the applicant adequately demonstrated that their proposal complies with the applicable provisions of the Salem Revised Code (SRC) 230.025 as follows:

FINDINGS

Criteria:

230.025(d) Porches

(1) ***Materials. All features of the porch shall be replaced with material that duplicate, to the greatest degree possible, the appearance and structural qualities of the original porch.***

Findings: The HLC finds that the applicant is proposing to replace the existing non-original flagstone porch material with concrete. Historic photos of the Cashatt House confirm that the original porch steps were concrete, therefore the HLC finds that the proposed building materials will be replaced with material that duplicates to the greatest degree possible the appearance and structural qualities of the original porch stairs and that SRC 230.025(d)(1) has been met.

(2) ***Design. The overall design of the porch shall reproduce, to the greatest degree possible, the appearance of the original porch.***

Findings: The HLC finds that the applicant is proposing to replace the existing non-original flagstone porch steps with new concrete porch steps that reproduce the appearance of the original porch steps. The applicant is proposing to remove the existing non-original central metal handrail on the steps leading to the porch with a new wooden handrail with square spindles reflecting the design of the porch rail. While historic photos confirm that there was no handrail on these steps originally, current building code requires a handrail, and the proposed design and material of the handrail reflects the design and material of the original porch rail. The HLC finds that SRC 230.025(d)(2) has been met.

230.025 (l) Site Features

(1) ***Materials. Materials shall duplicate, to the greatest degree possible, the appearance and physical qualities of the original materials. Example: Rhododendron hedge planted during the period of significance is replanted with heritage varieties available during the period of significance.***

Findings: The HLC finds that the applicant is proposing to replace the existing non-original flagstone steps and non-original walkway with new concrete steps and concrete pavers to duplicate to the greatest degree possible the appearance of the original walkway steps, which historic photos confirm were concrete. The addition of the brick paver border, while not replicating an original, is a material that is compatible with the original materials found

throughout the Cashatt House. The HLC finds that SRC 230.025(l)(1) has been met.

(2) Design. The design shall reproduce, to the greatest extent possible, the appearance of the original site feature. Example: If the site contains a Lord and Schryver garden, the replacements shall be allowed provided the original design and location of plantings of the historical garden are retained.

Findings: The HLC finds that the existing walkway is not from the historic period of significance for either the Cashatt House or the Gaiety Hill/Bush's Pasture Park Historic District. While the proposed design of the front walkway will be slightly different than the design of the original walkway, the applicant is not proposing to alter the footprint of the front walkway or walkway steps, and the proposed design of the walkway and steps will restore to a large degree the overall appearance of these original site features. The HLC finds that SRC 230.025 (l)(2) has been met.

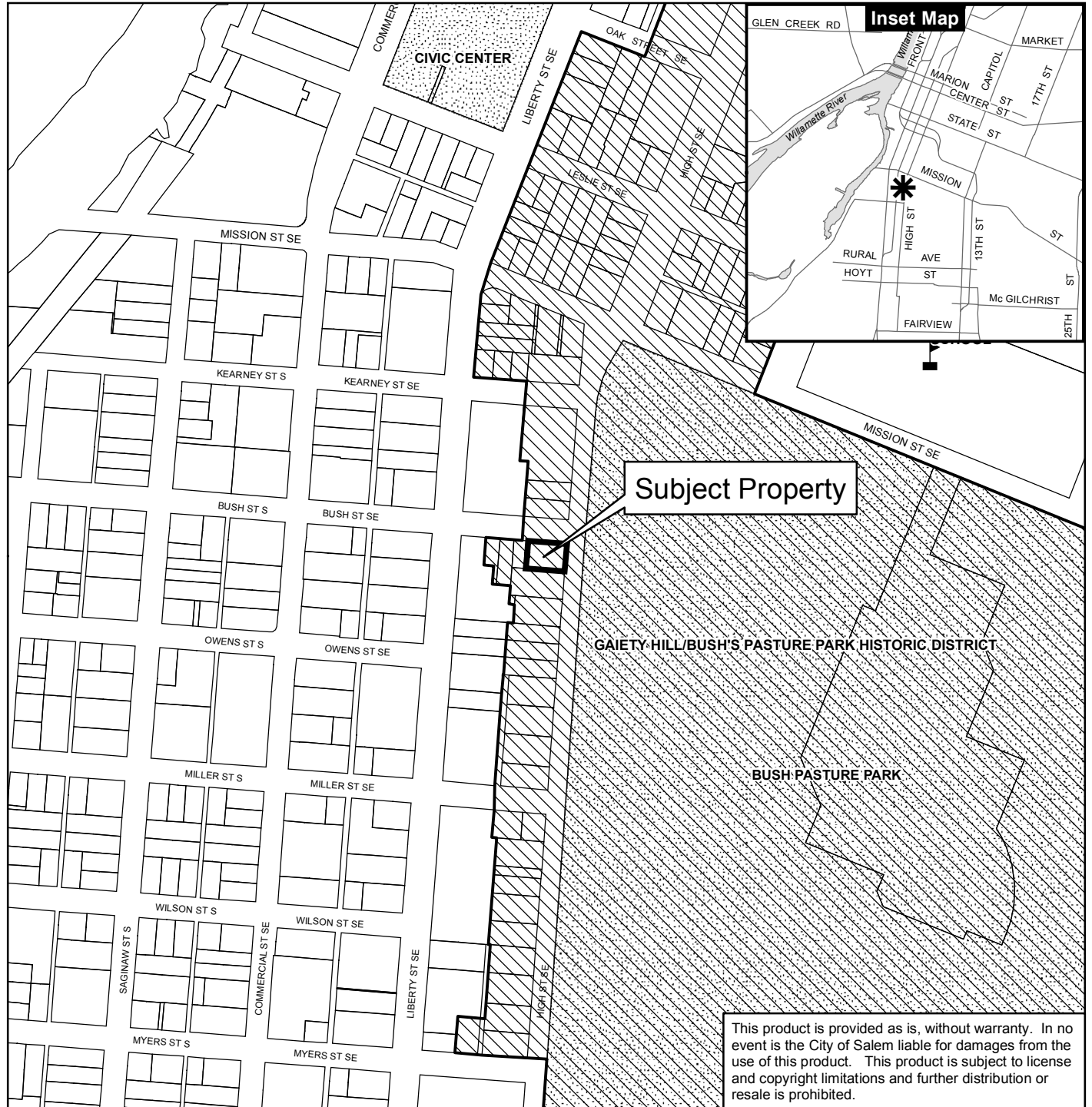
The Historic Landmarks Commission **APPROVES** HIS23-06.

VOTE: Yes 7 No 0 Absent 0 Abstain 1 (Timbrook)

Attachments: A. Vicinity Map
B. Excerpt from Applicant's Submittal Materials

Prepared by Kimberli Fitzgerald, Historic Preservation Officer

Vicinity Map 1015 High Street SE (taxlot 073W27CA02900)



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Legend

- Outside Salem City Limits
- Historic District
- Urban Growth Boundary
- Schools
- Taxlots
- Parks

0 100 200 400 Feet

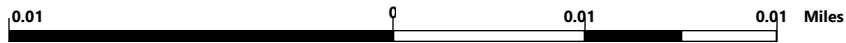




Legend

- Centerline (Labels)
- Historic Buildings
- ▨ Historic Districts
- ▭ Annexations (delayed)
- Taxlots
- Creeks
 - 50 - 200
 - 200 - 640
 - 640 - 6400
 - GT 6400
- Hydrology
- Street Class
 - Future Minor Arterial
 - Future Collector
 - Major Arterial
 - Minor Arterial
 - Parkway
 - Collector
 - Highway/Freeway
- Overlay Zones
 - ▨ Overlay Zones
 - ▨ Compact Development Overlay Zor
 - ▨ Mixed-Use Overlay Zone
- ▭ Urban Growth Boundary
- ▭ City Limit

1:399



WGS_1984_Web_Mercator_Auxiliary_Sphere
City of Salem, Oregon

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes
Enter notes here...



ALL INTRODUCED ELEMENTS IN THIS CONCEPT ARE TO BE INTERPRETED AND VERIFIED TO SITE CONDITIONS BY INSTALLER.

TITLE

ARABAS L2 NEW ENTRY
VIEW 1

DRAWING NUMBER

1

ACCOUNT NUMBER

20220793 - 1015 HIGH
STREET SE

DRAWN BY

ANDREW WALKER

DATE

4/21/2023

THIS PRELIMINARY DESIGN PRODUCT ILLUSTRATES PROPOSED NEW SPATIAL COMPOSITIONS + CONCEPTUAL HARDSCAPE LAYOUT. THIS PRODUCT IS PRELIMINARY IN NATURE, IS UNFINISHED, AND MAY NOT SHOW ALL EXISTING SITE DETAILS. ALL DIMENSIONS NEED TO BE VERIFIED BY CONTRACTOR AND ARE SUBJECT TO CHANGE DUE TO SITE CONDITIONS AND MATERIALS AVAILABLE.

ELIZABETH POWERS, LCP
PRINCIPAL SITE DESIGNER

ELLEN SELANDER
HORTICULTURIST/
PERMACULTURIST

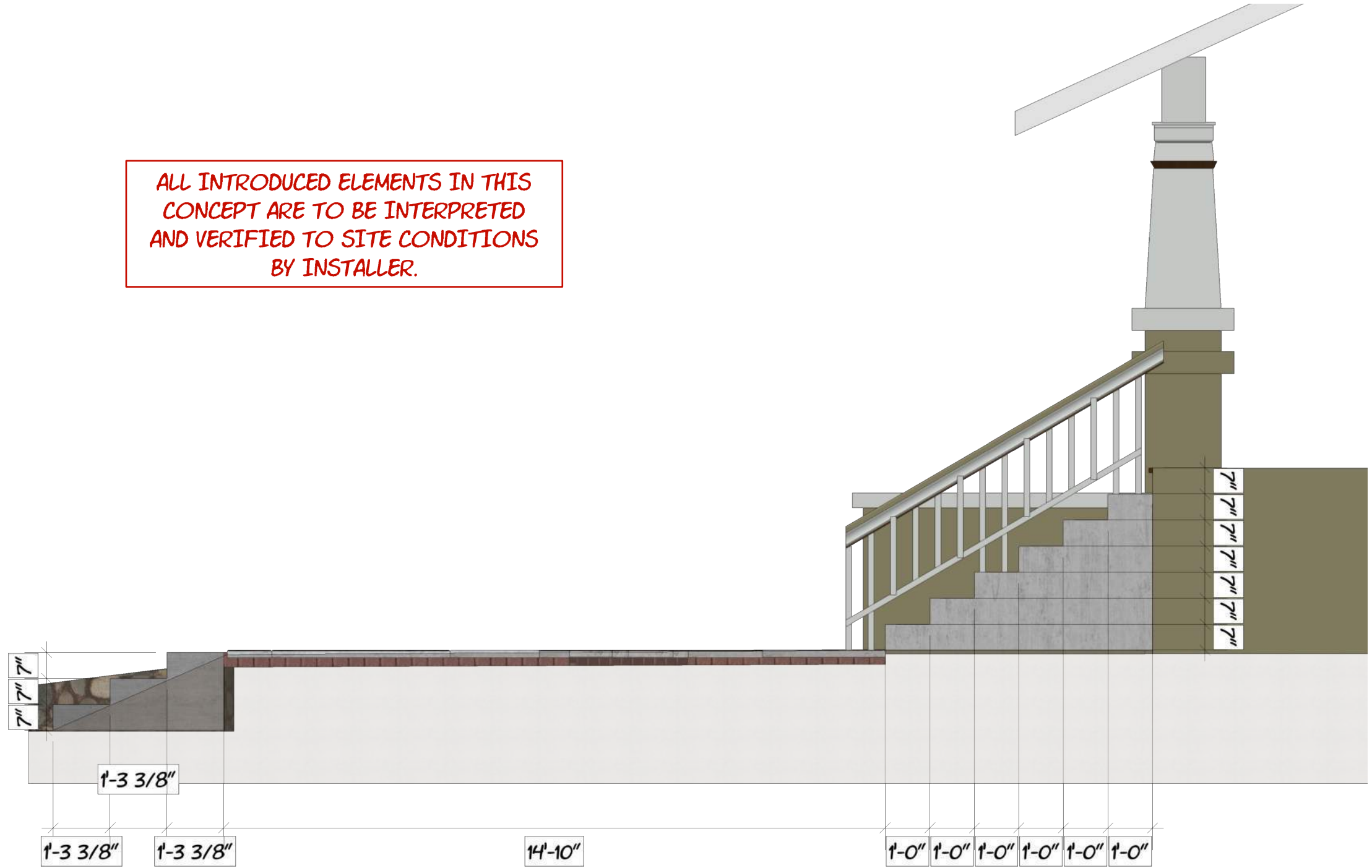
ANDREW WALKER
BIO-ECOLOGICAL
SYSTEMS ENGINEER

THE GARDEN ANGELS
PO BOX 3313 - 910
MADRONA AVENUE SE



MADRONA POCKET
SALEM, OR 97302
503-932-5840
THEGARDENANGELS.COM

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ON 11" X 17" PAPER:
4 New Entry Section
 Scale: 3/8" = 1'-0"

TITLE
ARABAS L2 SECTION VIEW

DRAWING NUMBER
4

ACCOUNT NUMBER
20220793 - 1015 HIGH STREET SE

DRAWN BY
ANDREW WALKER

DATE
4/21/2023

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 PRINCIPAL SITE DESIGNER

ELLEN SELANDER
 HORTICULTURIST/
 PERMACULTURIST

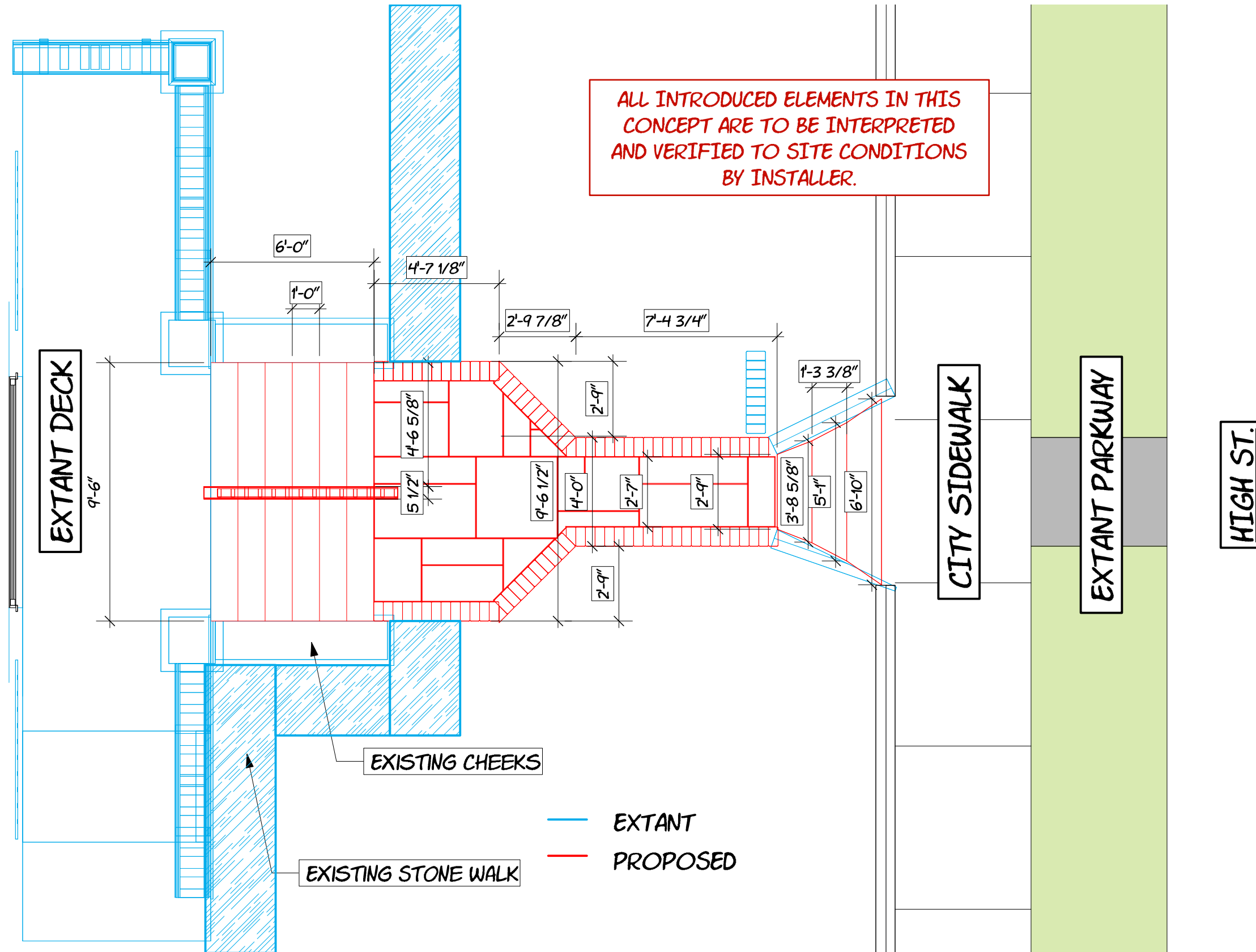
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The Garden Angels
 HEAVENLY LANDSCAPE DESIGN


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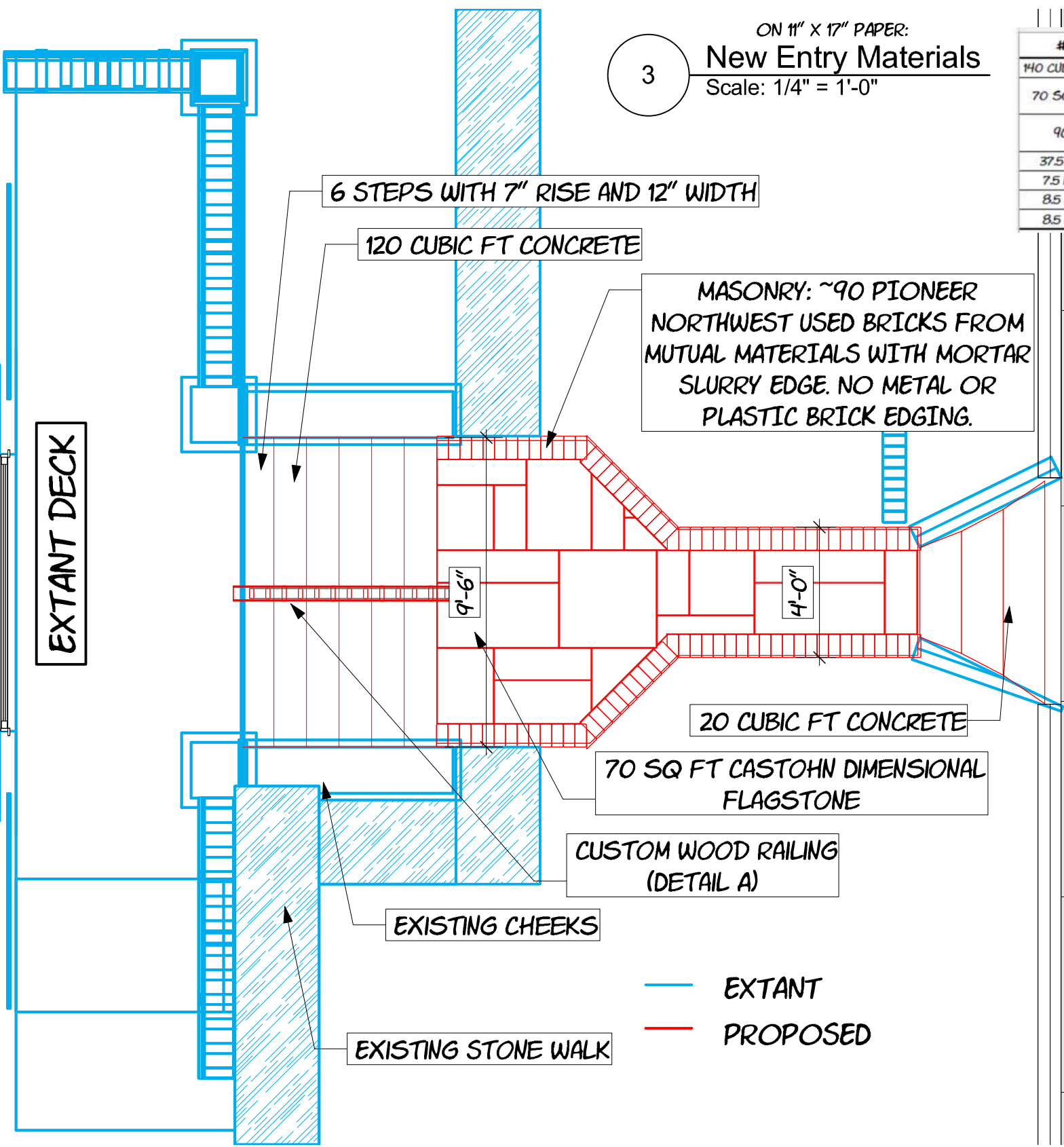


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— EXTANT
— PROPOSED

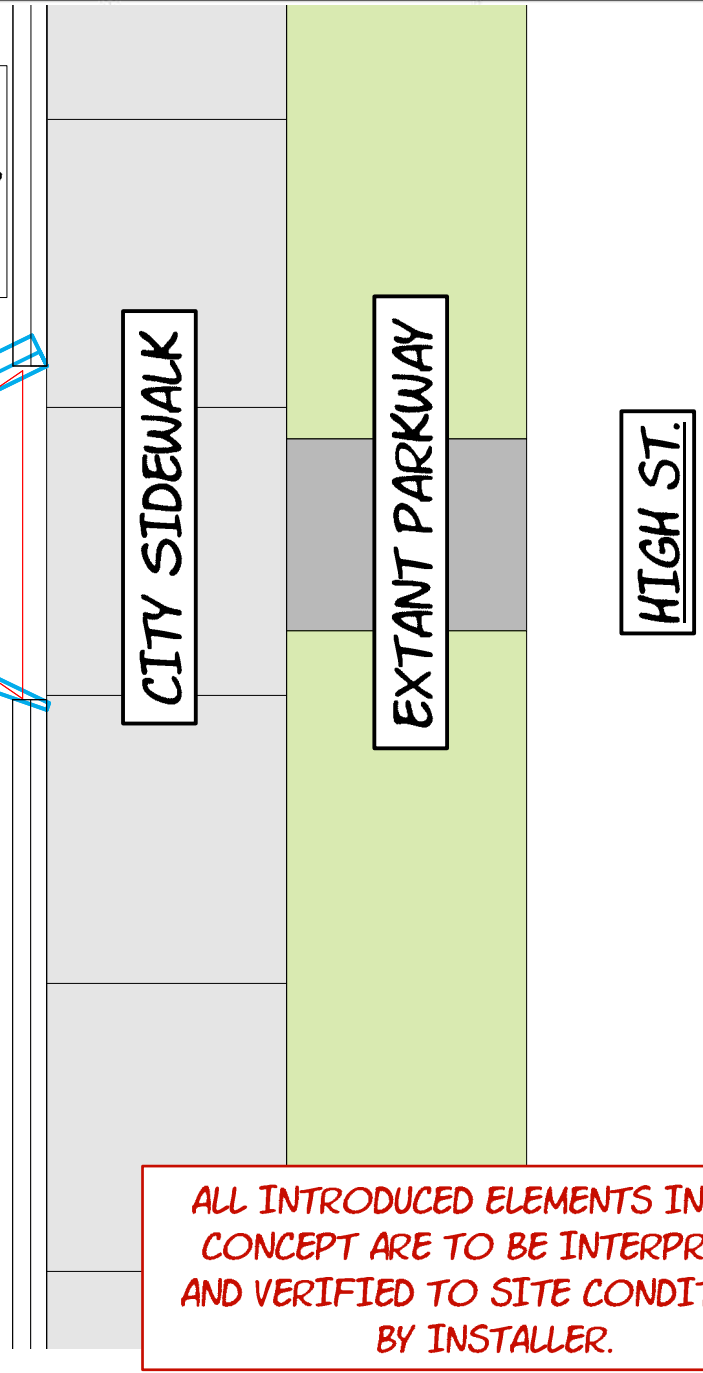
ON 11" X 17" PAPER:
2 New Entry Dimensions
 Scale: 1/4" = 1'-0"

TITLE	ARABAS L2 PLAN DIMENSIONS
DRAWING NUMBER	2
ACCOUNT NUMBER	20220793 - 1015 HIGH STREET SE
DRAWN BY	ANDREW WALKER
DATE	4/21/2023
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<p>ELIZABETH POWERS, LCP PRINCIPAL SITE DESIGNER</p> <p>ELLEN SELANDER HORTICULTURIST/ PERMACULTURIST</p> <p>ANDREW WALKER BIO-ECOLOGICAL SYSTEMS ENGINEER</p>	
<p>THE GARDEN ANGELS PO BOX 3313 - 910 MADRONA AVENUE SE</p> <p> <i>The Garden Angels</i> <small>HEAVENLY LANDSCAPE DESIGN</small></p> <p>MADRONA POCKET SALEM, OR 97302 503-932-5840 THEGARDENANGELS.COM</p>	



ON 11" X 17" PAPER:
3 New Entry Materials
 Scale: 1/4" = 1'-0"

#	MATERIAL	LINK
140 CUBIC FT	CONCRETE	
70 SQ FT	CASTOHN DIMENSIONAL FLAGSTONE	HTTPS://WWW.CASTOHN.COM/PRODUCTS-WEST/DIMENSIONAL-FLAGSTONE
90	PIONEER NORTHWEST USED BRICKS WITH MORTAR SLURRY	HTTPS://WWW.MUTUALMATERIALS.COM/PRODUCTS/CLAY-BRICK-PAVERS/
37.5 FT	2" X 4" BOARDS	
7.5 FT	2" X 6" BOARDS	
8.5 FT	6" X 6" BOARD	
8.5 FT	1" X 6" BOARD	



TITLE
ARABAS L2 MATERIALS

DRAWING NUMBER
3

ACCOUNT NUMBER
 20220793 - 1015 HIGH STREET SE

DRAWN BY
ANDREW WALKER

DATE
4/21/2023


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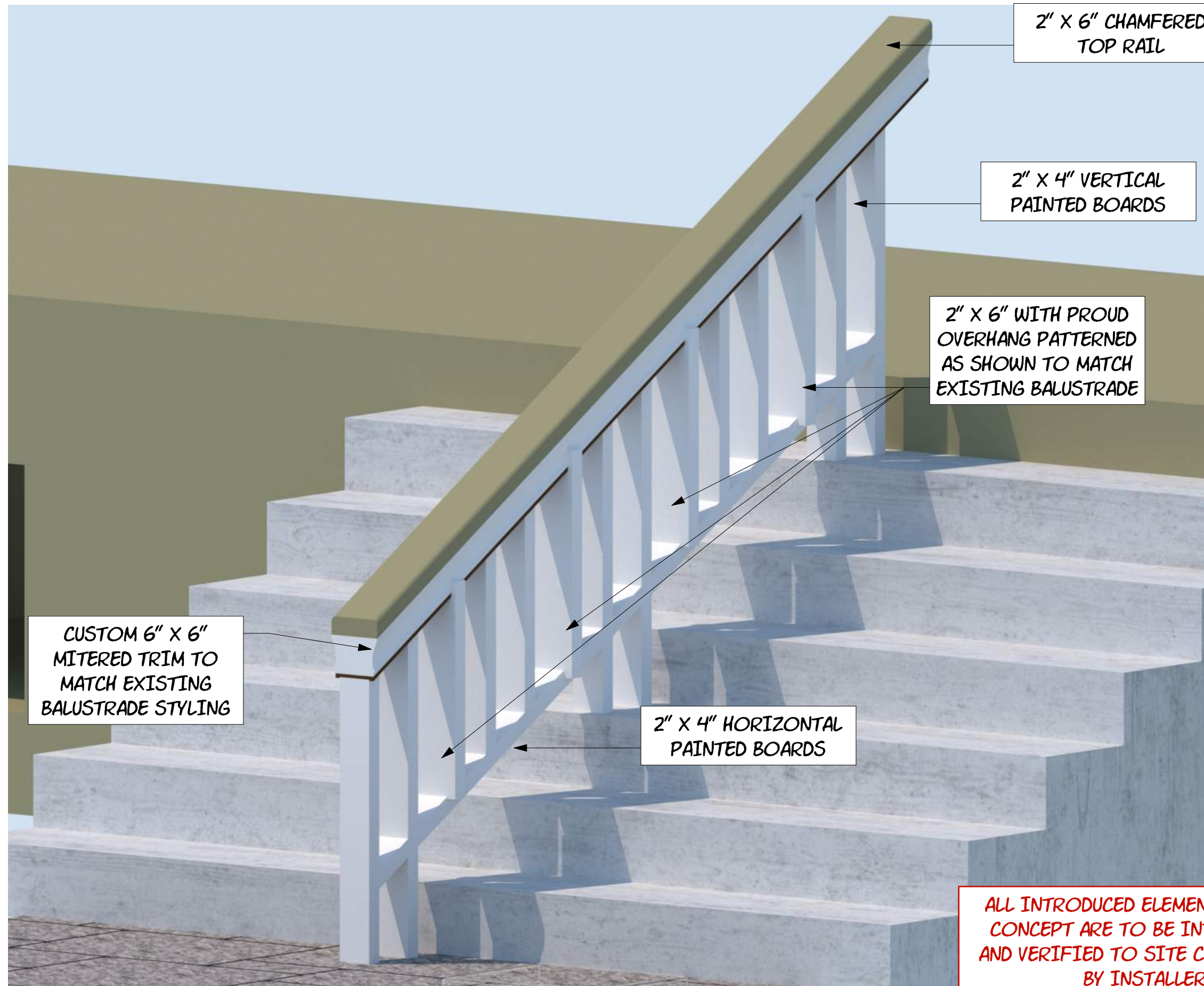
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TITLE	DETAIL A: ARABAS L2 RAILING
DRAWING NUMBER	1
ACCOUNT NUMBER	20220793 - 1015 HIGH STREET SE
DRAWN BY	ANDREW WALKER
DATE	4/21/2023
<p>THIS PRELIMINARY DESIGN PRODUCT ILLUSTRATES PROPOSED NEW SPATIAL COMPOSITIONS + CONCEPTUAL HARDSCAPE LAYOUT. THIS PRODUCT IS PRELIMINARY IN NATURE, IS NOT FULLY DEVELOPED; AND MAY NOT SHOW ALL EXISTING SITE DETAILS. ALL DIMENSIONS NEED TO BE VERIFIED BY CONTRACTOR AND ARE SUBJECT TO CHANGE DUE TO SITE CONDITIONS AND MATERIALS AVAILABLE.</p>	
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Features

- Authentic, natural, slate texture
- 6 unique shapes, 24 unique stone textures
- All sizes on every pallet = simple installation
- Uniform thickness and accurate dimensions = Fast installation and a beautiful end result
- Natural appearance due to slight color variations
- Consistent 2" thickness.

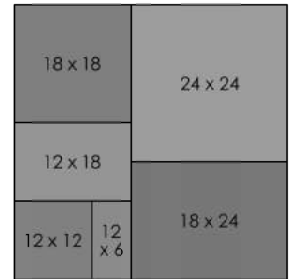
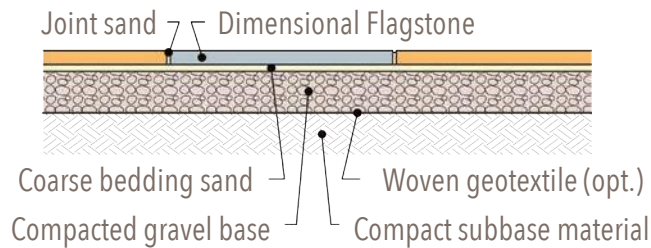
Product Data

- Six pieces per layer
- One layer = 1 pattern (12.25 sq ft)
- One layer = 42" x 42" x 2"

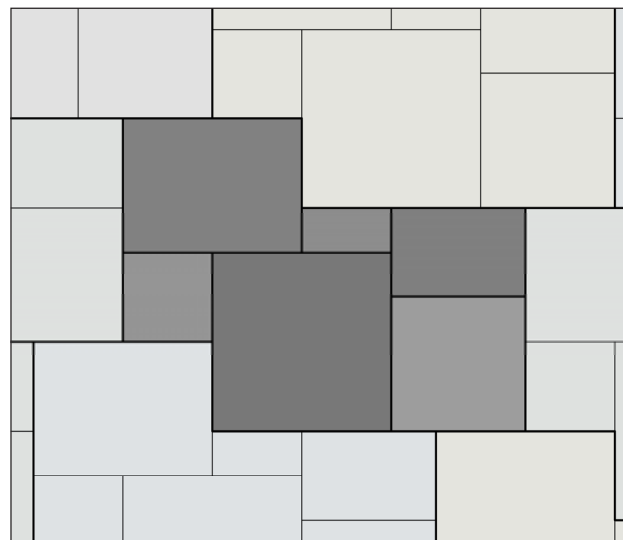
Pallet

- Pallet weight = ±2,375 pounds
- 98 square feet per pallet
- 48 pieces per pallet in 8 layers shown below

Typical Installation



Patio Layout



Available Colors* - West Region



Silver Legacy



Western Buff



Pacific Mist

Made to Order:

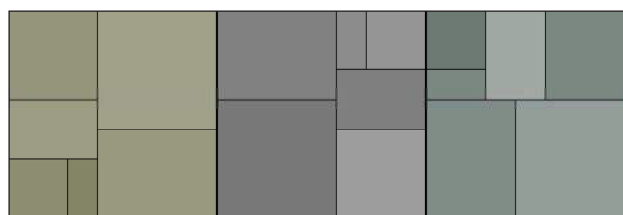


Bluestone (premium price)

*colors may vary,
see actual pallets



Walkway Layout



ROMAN CLAY PAVERS: 8" L x 4" W x 2 3/8" H

