



NOTICE of FILING

LAND USE REQUEST AFFECTING THIS AREA

There is a development proposal for the property listed in this notice and shown on the attached map. The City is seeking input from neighbors on the proposal. If you have questions or comments about the proposal, contact the case manager.

Esta carta es un aviso sobre una propuesta de desarrollo para la propiedad enumerada y que se muestra en el mapa adjunto. La ciudad está buscando la opinión de los vecinos sobre la propuesta. Si tiene preguntas o comentarios sobre la propuesta, póngase en contacto con nosotros al 503-588-6213.

CASE NUMBER:	Class 3 Site Plan Review / Class 2 Adjustment Case No. SPR-ADJ23-20
PROPERTY LOCATION:	1035 Commercial St SE and 160 Bush St S, Salem OR 97302
NOTICE MAILING DATE:	June 9, 2023
PROPOSAL SUMMARY:	A consolidated application for the development of a 45-unit mixed-use building.
COMMENT PERIOD:	All written comments must be submitted to City Staff no later than 5:00 p.m. Friday, June 23, 2023. Please direct any questions and/or comments to the Case Manager listed below. Comments received after the close of the comment period will not be considered. Note: Comments submitted are <u>public record</u>. This includes any personal information provided in your comment such as name, email, physical address and phone number.
CASE MANAGER:	Aaron Panko, Planner III , City of Salem Planning Division, 555 Liberty Street SE, Room 305, Salem, Oregon 97301. Telephone: 503-540-2356; E-mail: APanko@cityofsalem.net
NEIGHBORHOOD ASSOCIATION:	<i>Neighborhood associations are volunteer organizations of neighbors coming together to make neighborhoods the best they can be. They receive notice of land use applications within their boundaries, and they often submit comments on the applications to the City. Neighborhood association meetings are open to everyone. Contact your neighborhood association to get involved:</i> South Central Association of Neighbors (SCAN), Roz Shirack, Land Use Chair; Email: rozshirack7@gmail.com .
ACCESS:	The Americans with Disabilities Act (ADA) accommodations will be provided on request.
CRITERIA TO BE CONSIDERED:	Salem Revised Code (SRC) Chapter(s) 220.005(f)(3) – Class 3 Site Plan Review; 250.005(d)(2) – Class 2 Adjustment Salem Revised Code (SRC) is available to view at this link: http://bit.ly/salemorcode . Type in the chapter number(s) listed above to view the applicable criteria.

PROPERTY OWNER(S):	Customer Care Inc (Rex Robertson and Lois Robertson)
APPLICANT(S):	Gretchen Stone
PROPOSAL REQUEST:	<p>Class 3 Site Plan Review for the development of 45 residential units, including four work/live units, mixed-use building with dedicated office, storage, trash enclosure, and off-street parking area, with Class 2 Adjustments:</p> <ol style="list-style-type: none"> 1) A reduction to the minimum building height requirement for buildings in the MU-I zone from 20 feet to 14 feet for the single-story office building. 2) A reduction to the building frontage requirement along Commercial Street SE from a minimum of 75 percent to approximately 35 percent. 3) A reduction to the minimum building setback adjacent to a street for the proposed single story office building within the Saginaw Street Overlay Zone from 30 feet to five feet which is consistent with the MU-I zone setback standard. 4) An increase to the fence height from four feet to five feet, and an increase to the opacity standard for a proposed masonry wall/decorative metal fence adjacent to Commercial Street SE. 5) To allow three staple racks with six required bicycle parking spaces to be placed within the public right-of-way. <p>The subject property is approximately 0.58 acres in size, zoned MU-I (Mixed Use-I), partially within the Saginaw Street Overlay, and located at 1035 Commercial Street SE and 160 Bush Street S 97302 (Marion County Assessor map and tax lot numbers: 073W27CA / 9300 and 10400).</p>
APPLICATION PROCESS:	<p>Following the close of the Public Comment Period, a decision will be issued and mailed to the applicant, property owner, affected neighborhood association, anyone who submitted written comments, and anyone who received notice of the land use request.</p> <p>Failure to raise an issue in writing prior to the close of the Public Comment Period with sufficient specificity to provide the opportunity to respond to the issue, precludes appeal to the Land Use Board of Appeals (LUBA) on this issue. A similar failure to raise constitutional issues relating to proposed conditions of approval precludes an action for damages in circuit court.</p>
MORE INFORMATION:	All documents and evidence submitted by the applicant are available on the City's online Permit Application Center at https://permits.cityofsalem.net . You can use the search function without registering and enter the permit number listed here: 23 101981. Paper copies can be obtained for a reasonable cost.

PLEASE PROMPTLY FORWARD A COPY OF THIS NOTICE TO ANY OTHER OWNER, TENANT OR LESSEE

For more information about Planning in Salem:

<http://www.cityofsalem.net/planning>

It is the City of Salem's policy to assure that no person shall be discriminated against on the grounds of race, religion, color, sex, marital status, familial status, national origin, age, mental or physical disability, sexual orientation, gender identity and source of income, as provided by Salem Revised Code Chapter 97. The City of Salem also fully complies with Title VI of the Civil Rights Act of 1964, and related statutes and regulations, in all programs and activities. Disability-related modification or accommodation, including auxiliary aids or services, in order to participate in this meeting or event, are available upon request. Sign language and interpreters for languages other than English are also available upon request. To request such an accommodation or interpretation, contact the Community Development Department at 503-588-6173 at least three business days before this meeting or event.

TTD/TTY telephone 503-588-6439 is also available 24/7

REQUEST FOR COMMENTS

Si necesita ayuda para comprender esta información, por favor llame 503-588-6173

REGARDING: Class 3 Site Plan Review / Class 2 Adjustment Case No. SPR-ADJ23-20

PROJECT ADDRESS: 1035 Commercial St SE and 160 Bush St S, Salem OR 97302

AMANDA Application No.: 23-101981-PLN

COMMENT PERIOD ENDS: June 23, 2023

SUMMARY: A consolidated application for the development of a 45-unit mixed-use building.

REQUEST: Class 3 Site Plan Review for the development of 45 residential units, including four work/live units, mixed-use building with dedicated office, storage, trash enclosure, and off-street parking area, with Class 2 Adjustments:

- 1) A reduction to the minimum building height requirement for buildings in the MU-I zone from 20 feet to 14 feet for the single-story office building.
- 2) A reduction to the building frontage requirement along Commercial Street SE from a minimum of 75 percent to approximately 35 percent.
- 3) A reduction to the minimum building setback adjacent to a street for the proposed single story office building within the Saginaw Street Overlay Zone from 30 feet to five feet which is consistent with the MU-I zone setback standard.
- 4) An increase to the fence height from four feet to five feet, and an increase to the opacity standard for a proposed masonry wall/decorative metal fence adjacent to Commercial Street SE.
- 5) To allow three staple racks with six required bicycle parking spaces to be placed within the public right-of-way.

The subject property is approximately 0.58 acres in size, zoned MU-I (Mixed Use-I), partially within the Saginaw Street Overlay, and located at 1035 Commercial Street SE and 160 Bush Street S, 97302 (Marion County Assessor map and tax lot numbers: 073W27CA / 9300 and 10400).

The Planning Division is interested in hearing from you about the attached proposal. Staff will prepare a Decision that includes consideration of comments received during this comment period. We are interested in receiving pertinent, factual information such as neighborhood association recommendations and comments of affected property owners or residents. The complete case file, including all materials submitted by the applicant and any applicable professional studies such as traffic impact analysis, geologic assessments, and stormwater reports, are available upon request.

Comments received by 5:00 p.m. Friday, June 23, 2023, will be considered in the decision process. Comments received after this date will be not considered. *Comments submitted are public record. This includes any personal information provided in your comment such as name, email, physical address and phone number. Mailed comments can take up to 7 calendar days to arrive at our office. To ensure that your comments are received by the deadline, we recommend that you e-mail your comments to the Case Manager listed below.*

CASE MANAGER: Aaron Panko, Planner III, City of Salem, Planning Division; 555 Liberty St SE, Room 305, Salem, OR 97301; Phone: 503-540-2356; E-Mail: APanko@cityofsalem.net.

For information about Planning in Salem, please visit: <http://www.cityofsalem.net/planning>

PLEASE CHECK THE FOLLOWING THAT APPLY:

1. I have reviewed the proposal and have no objections to it.
2. I have reviewed the proposal and have the following comments: _____

Name/Agency: _____

Address: _____

Phone: _____

Email: _____

Date: _____

IMPORTANT: IF YOU MAIL COMMENTS, PLEASE FOLD AND RETURN THIS POSTAGE-PAID FORM



NO POSTAGE
NECESSARY
IF MAILED
IN THE
UNITED STATES

BUSINESS REPLY MAIL
FIRST-CLASS MAIL PERMIT NO. 1508 SALEM, OR

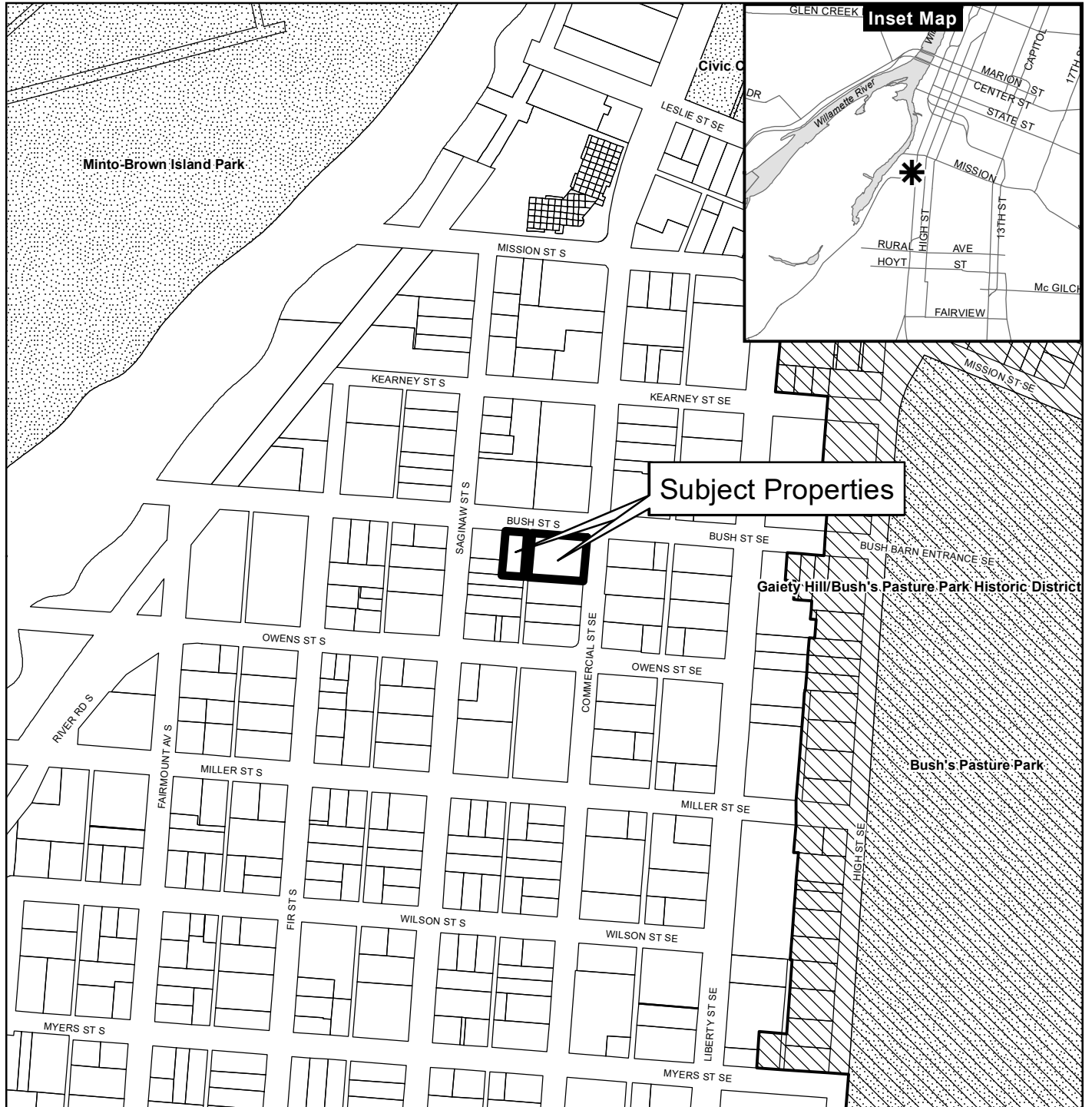
POSTAGE WILL BE PAID BY ADDRESSEE

PLANNING DIVISION
CITY OF SALEM RM 305
555 LIBERTY ST SE
SALEM OR 97301-9907










Vicinity Map

1035 Commercial Street SE and 160 Bush Street South (taxlots 073W27CA09300 and 073W27CA10400)



Legend

-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools
-  Parks

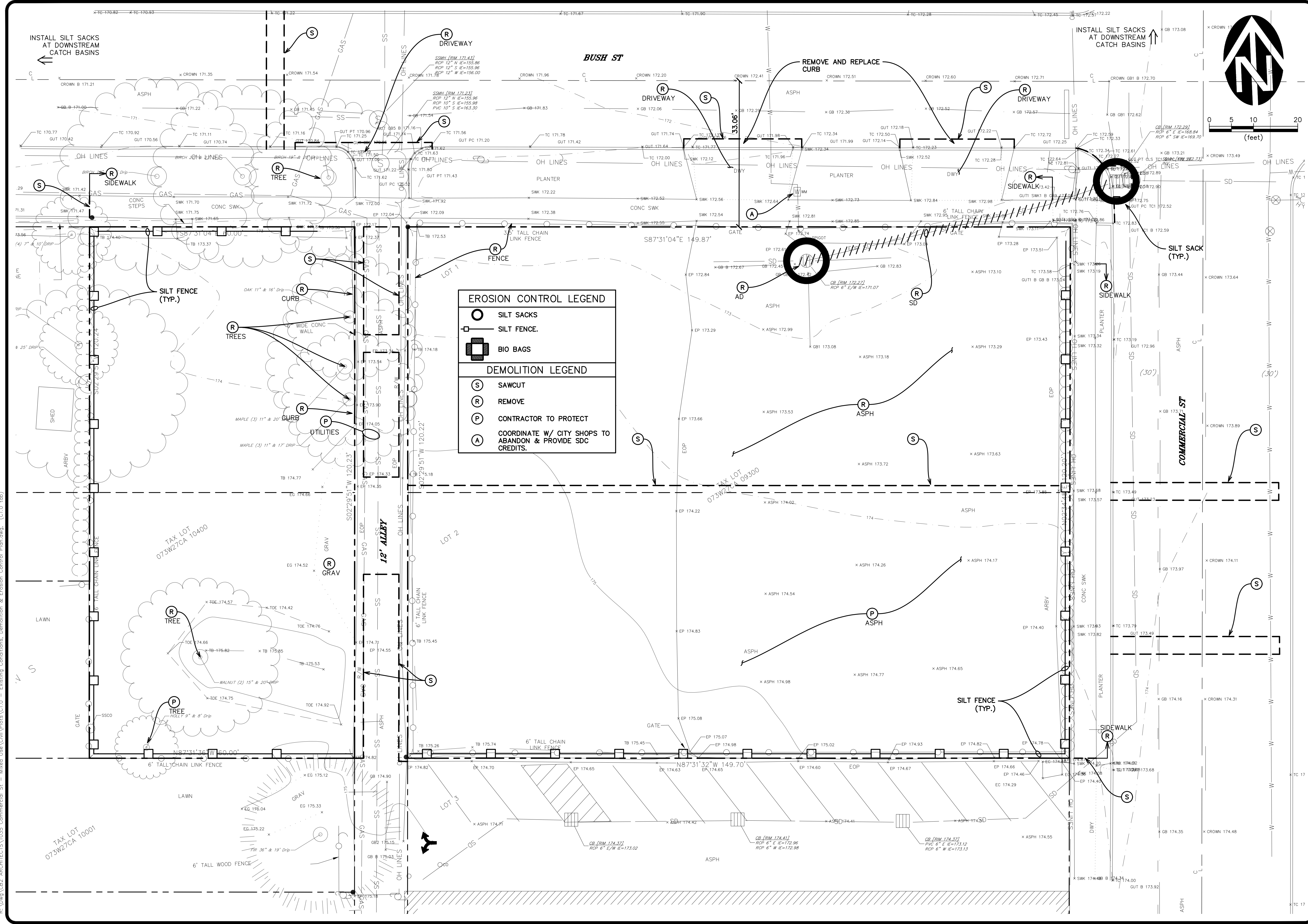


0 100 200 400 Feet

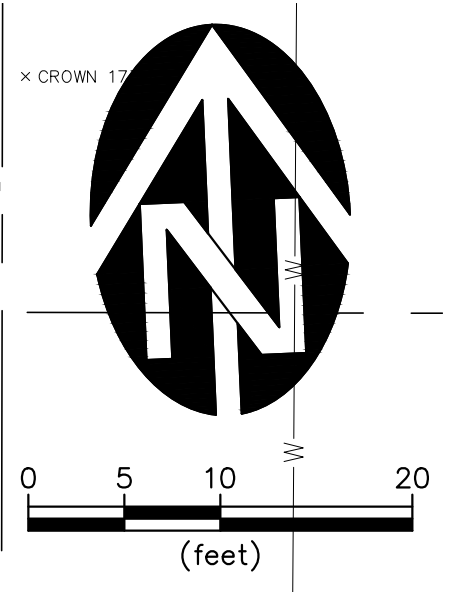


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5/2/2023, 3:23:41 PM
 R:\pws\c2 ARCHITECTS\1035 Commercial St - Mixed Use\Civil\Plots\C1.0 - Existing Conditions, Demolition & Erosion Control Plan.dwg, (C1.0 tab)



EROSION CONTROL LEGEND	
	SILT SACKS
	SILT FENCE
	BIO BAGS
DEMOLITION LEGEND	
	SAWCUT
	REMOVE
	CONTRACTOR TO PROTECT
	COORDINATE W/ CITY SHOPS TO ABANDON & PROVIDE SDC CREDITS.



VERIFY SCALE THIS IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON SCALES ACCURACLY	DATE: 11/2022
DSN. JW	NO. 1
DRN. JW	DATE
CKD. JW	DESCRIPTION
BY	REVISIONS

REVIEW

REGISTERED PROFESSIONAL ENGINEER
 WILLIAM J. WELLS
 No. 12345
 STATE OF OREGON
 6/20/2024

WESTECH ENGINEERING, INC.
 CONSULTING ENGINEERS AND PLANNERS

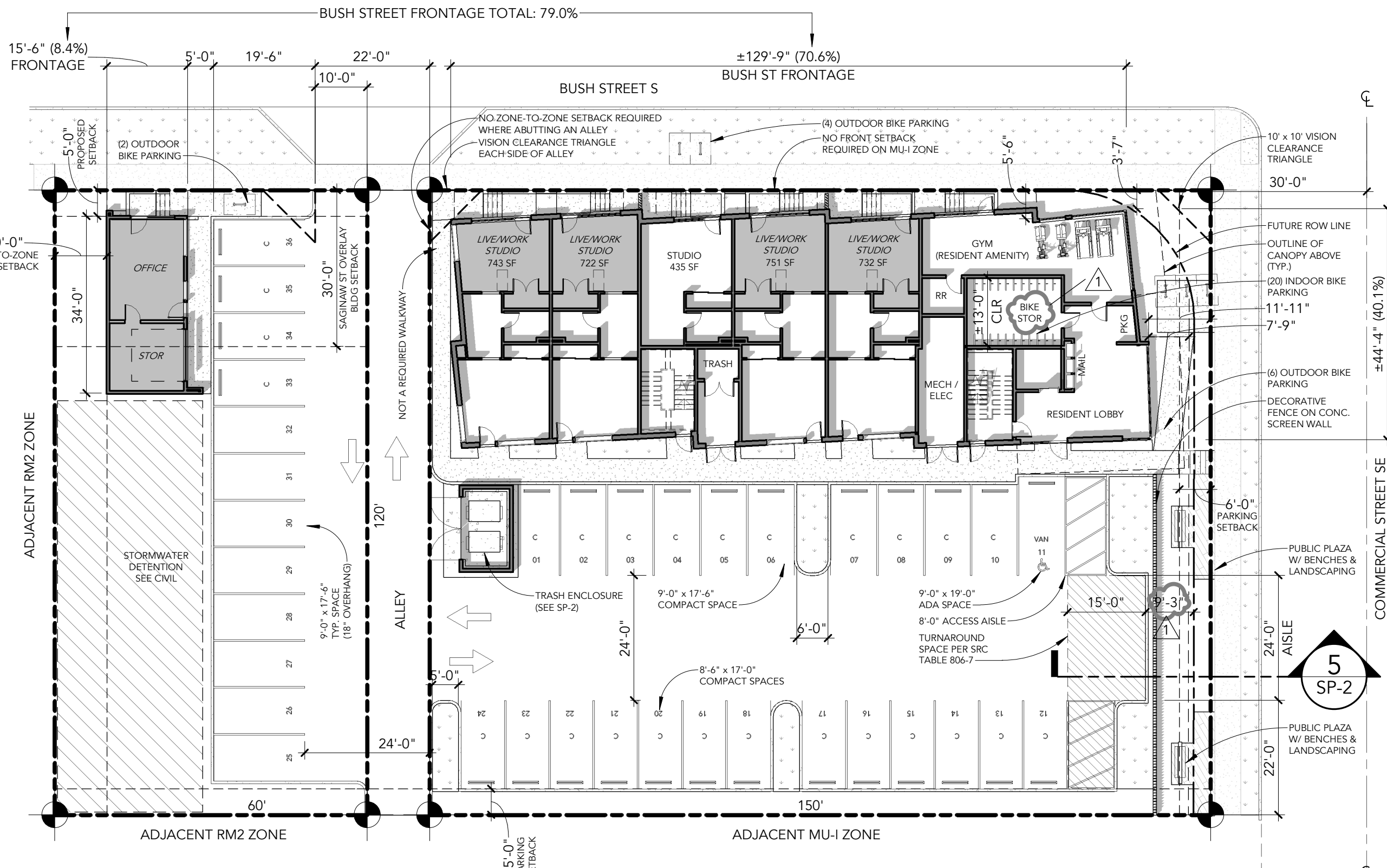
3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
 Phone: (503) 585-2474 Fax: (503) 585-3986
 E-mail: westech@westech-eng.com

CB/TWO ARCHITECTS

1035 COMMERCIAL ST - MIXED USE
 EXISTING CONDITIONS,
 DEMOLITION & EROSION
 CONTROL PLAN

DRAWING
C1.0

JOB NUMBER
3429.0000



SITE INFORMATION	
LOT AREA	25,200 SF
ZONE	MU-I MIXED-USE I
USES	MULTIPLE FAMILY LIVE-WORK UNITS
# UNITS	45
LOT WIDTH	120'-0"
LOT DEPTH	210'-0"

BUILDING COVERAGE		
TYPE	AREA	%
BUILDING FOOTPRINT	6,386 SF	25.3%
LANDSCAPING (SEE SP-3)	6,193 SF	24.5%
PAVING AREA	10,815 SF	42.9%
SIDEWALK	1,806 SF	7.3%
TOTAL SITE AREA	25,200 SF	100%

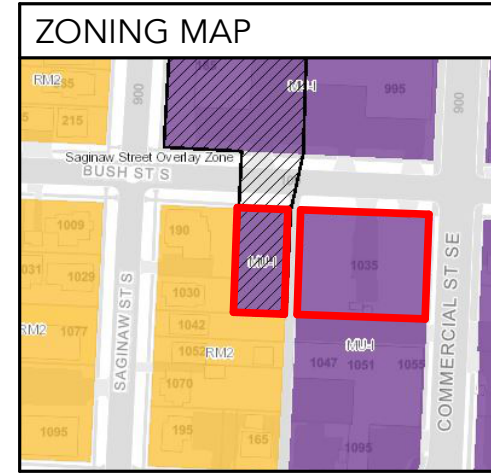
NO MAXIMUM LOT COVERAGE PER MU-I ZONE

PARKING SCHEDULE	
TYPE	COUNT
FULL SIZE STALLS	8
ADA STALLS	2 (1 VAN)
COMPACT STALLS	27
TOTAL PARKING	37

MINIMUM PARKING REQUIRED:
 NO SPACES REQUIRED PER SRC 806.005(d), SINCE PROPERTY IS WITHIN 1/4 MILE OF CORE NETWORK AND IS DEVELOPED WITH MULTIPLE FAMILY

COMPACT SPACES (SRC 806.015.b)
 MAXIMUM = 75% OF MINIMUM REQUIRED
 37 x 75% = 27 27 ≤ 27; **OK**

BICYCLE PARKING: 1 SPACE PER DWELLING UNIT IF WITHIN 1/4 MILE OF THE CORE NETWORK
 OFFICE COMPLEX: 4 SPACES
BIKE SPACES REQUIRED: 49
 OUTDOOR BIKE PARKING: 12
 INDOOR COMMON BIKE STORAGE: 20
 BIKE HOOKS IN UNITS: 17



SITE PLAN

SCALE: 1" = 20'-0"



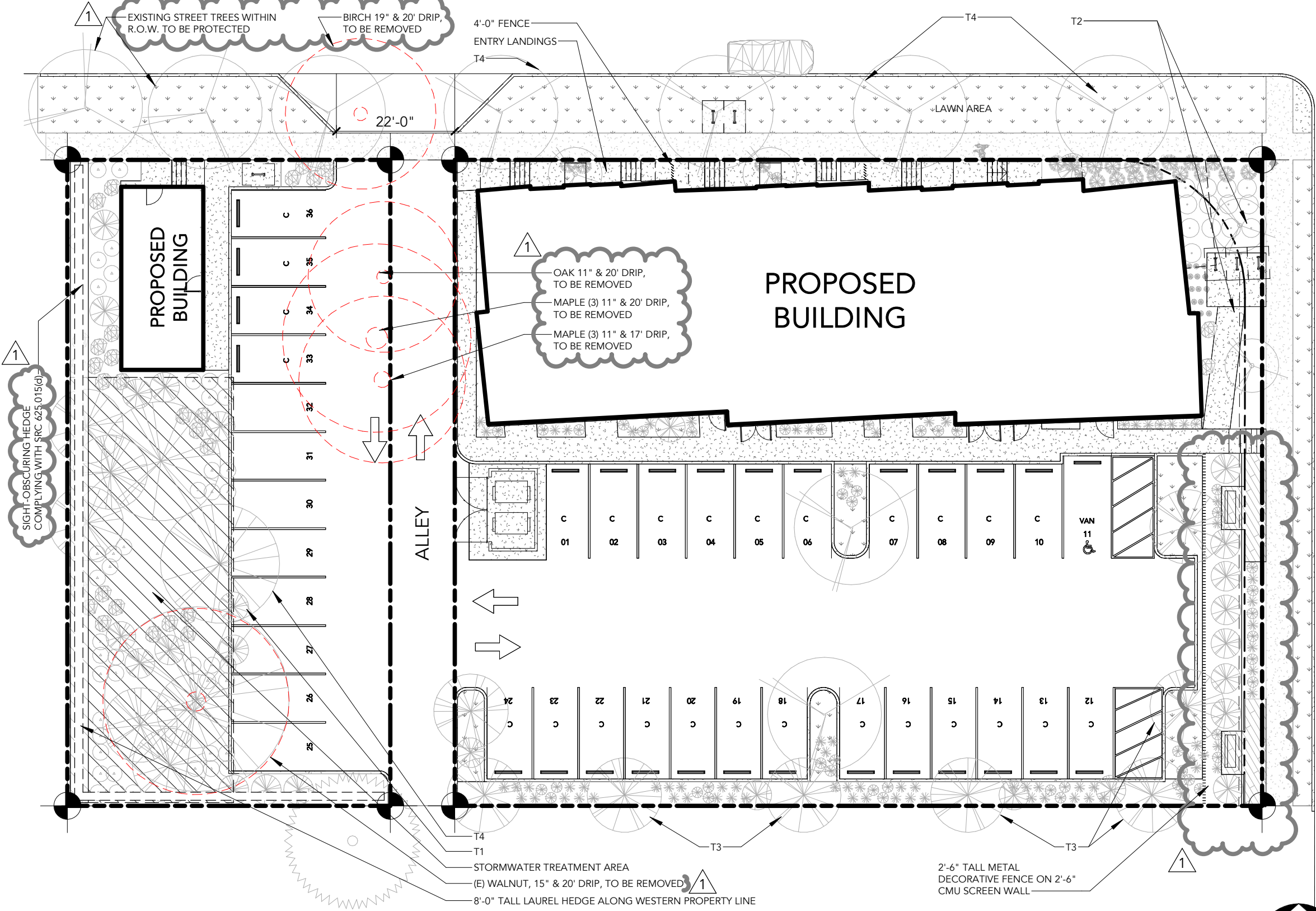
PROJECT/LOCATION:

COZY RESIDENTIAL
 1035 COMMERCIAL ST SE SALEM, OR 97302

SITE PLAN & FIRST FLOOR PLAN

SP-1

DATE: 03.16.2023



LANDSCAPE / TREE PRESERVATION PLAN

SCALE: 1" = 20'-0"

PLANT SCHEDULE

TREES

- T1 VINE MAPLE
- T2 SWEDISH COLUMNAR ASPEN
- T3 MADRONE
- T4 BIG LEAF MAPLE

SHRUB OPTIONS (TBD)

- S1 BLUE ANGEL HOSTA
- S2 BLUE OAT GRASS
- S3 HAKONE GRASS
- S4 BUTTERSCOTCH, 2 GAL.
- S5 MONDO GRASS
- S6 LILIROPE, 1 GAL.
- S7 PACHYSANDRA
- S8 WESTERN SWORD FERN
- S11 NEW ZEALAND FLAX

INTERIOR LANDSCAPING	
TYPE	AREA
INTERIOR OFF-STREET PARKING	9,218 SF
INTERIOR LANDSCAPING	557 SF
PERCENTAGE	6% - OK
5% INTERIOR LANDSCAPING REQUIRED WHEN INTERIOR OFF-STREET PARKING AREA IS <50,000 SF (SRC TABLE 806-5)	



PROJECT/LOCATION:

COZY RESIDENTIAL
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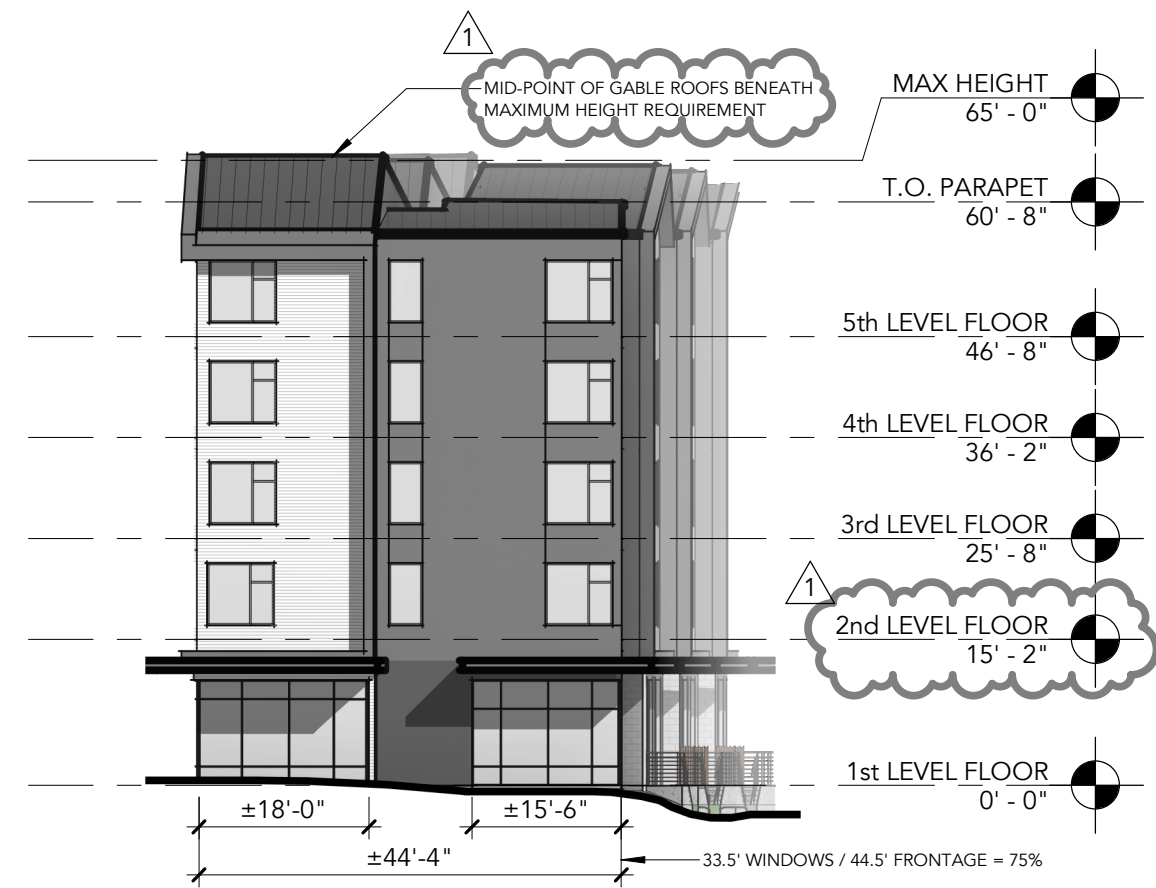
LANDSCAPING PLAN

SP-3

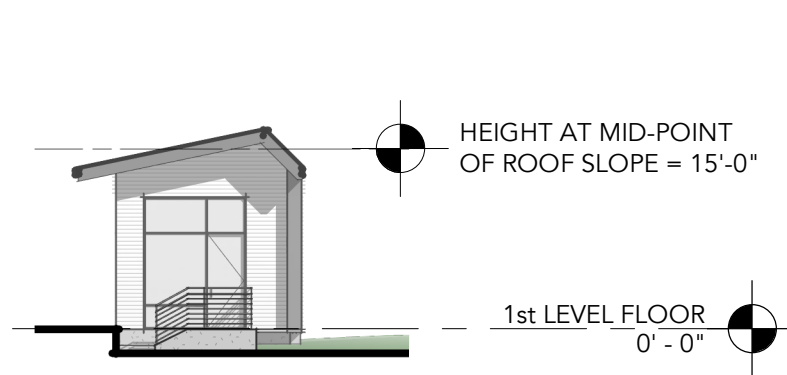
DATE: 03.16.2023



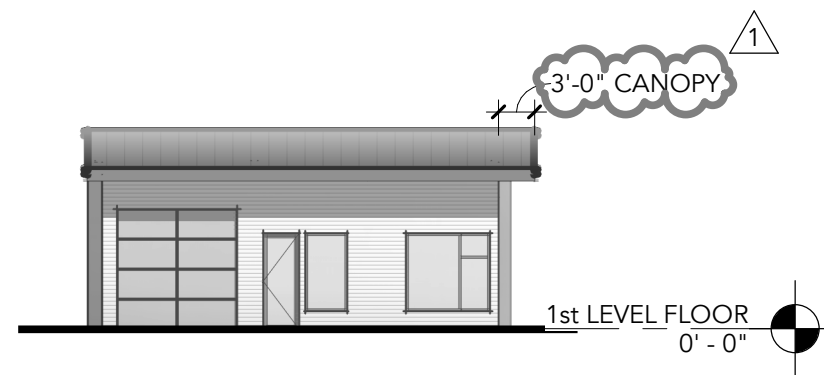
1 NORTH ELEVATION
SCALE: 1" = 20'-0"



2 EAST ELEVATION
SCALE: 1" = 20'-0"



3 OFFICE - NORTH ELEVATION
SCALE: 1/16" = 1'-0"



4 OFFICE - EAST ELEVATION
SCALE: 1/16" = 1'-0"



CBTWO
ARCHITECTS LLC

PROJECT/LOCATION:

COZY RESIDENTIAL
1035 COMMERCIAL ST SE SALEM, OR 97302

RENDERINGS

SP-8

DATE:

03.16.2023