



# NOTICE of FILING

## LAND USE REQUEST AFFECTING THIS AREA

*There is a development proposal for the property listed in this notice and shown on the attached map. The City is seeking input from neighbors on the proposal. If you have questions or comments about the proposal, contact the case manager.*

*Esta carta es un aviso sobre una propuesta de desarrollo para la propiedad enumerada y que se muestra en el mapa adjunto. La ciudad está buscando la opinión de los vecinos sobre la propuesta. Si tiene preguntas o comentarios sobre la propuesta, póngase en contacto con nosotros al 503-588-6213.*

<b>CASE NUMBER:</b>	Tentative Partition Plan / Class 2 Adjustment Case No. PAR-ADJ23-04
<b>PROPERTY LOCATION:</b>	5791 Skyline Rd S, Salem OR 97306
<b>NOTICE MAILING DATE:</b>	July 12, 2023
<b>PROPOSAL SUMMARY:</b>	A partition application to divide 20.5 acres into three parcels.
<b>COMMENT PERIOD:</b>	<b>All written comments must be submitted to City Staff no later than 5:00 p.m. Wednesday, July 26, 2023. Please direct any questions and/or comments to the Case Manager listed below. Comments received after the close of the comment period will not be considered. Note: Comments submitted are <u>public record</u>. This includes any personal information provided in your comment such as name, email, physical address and phone number.</b>
<b>CASE MANAGER:</b>	<b>Jamie Donaldson, Planner II</b> , City of Salem Planning Division, 555 Liberty Street SE, Room 305, Salem, Oregon 97301. Telephone: 503-540-2328; E-mail: <a href="mailto:jdonaldson@cityofsalem.net">jdonaldson@cityofsalem.net</a>
<b>NEIGHBORHOOD ASSOCIATION:</b>	<i>Neighborhood associations are volunteer organizations of neighbors coming together to make neighborhoods the best they can be. They receive notice of land use applications within their boundaries, and they often submit comments on the applications to the City. Neighborhood association meetings are open to everyone. Contact your neighborhood association to get involved:</i>  Sunnyslope Neighborhood Association, Henry Neugass, Land Use Chair; Email: <a href="mailto:henry.ssna@gmail.com">henry.ssna@gmail.com</a> .
<b>ACCESS:</b>	The Americans with Disabilities Act (ADA) accommodations will be provided on request.
<b>CRITERIA TO BE CONSIDERED:</b>	Salem Revised Code (SRC) Chapter(s) 205.005(d) – Partition Tentative Plan; 250.005(d)(2) – Class 2 Adjustment  Salem Revised Code (SRC) is available to view at this link: <a href="http://bit.ly/salemorcode">http://bit.ly/salemorcode</a> . Type in the chapter number(s) listed above to view the applicable criteria.

<b>PROPERTY OWNER(S):</b>	Tara Dugger
<b>APPLICANT(S):</b>	Sean Dugger, Axiom Construction Inc
<b>PROPOSAL REQUEST:</b>	<p>A consolidated Tentative Partition Plan to divide a 20.5-acre lot into three parcels, with Parcel 1 and Parcel 2 consisting of approximately 5 acres each, and Parcel 3 consisting of approximately 10.5 acres, with two Class 2 Adjustment requests to:</p> <p>(1) To allow a flag lot accessway length greater than the maximum 400 feet allowed to serve 3-4 units on residential zoned property (SRC 800.025)(c)); and</p> <p>(2) To allow newly created lots to take access through an existing driveway onto Skyline Road S, a Minor Arterial Street (SRC 804.035(c)(4)).</p> <p>The subject property is approximately 20.5 acres in size, zoned RA (Residential Agriculture), and located at 5791 Skyline Rd S (Marion County Assessors Map and Tax Lot Number: 083W17C / 100).</p>
<b>APPLICATION PROCESS:</b>	<p>Following the close of the Public Comment Period, a decision will be issued and mailed to the applicant, property owner, affected neighborhood association, anyone who submitted written comments, and anyone who received notice of the land use request.</p> <p>Failure to raise an issue in writing prior to the close of the Public Comment Period with sufficient specificity to provide the opportunity to respond to the issue, precludes appeal to the Land Use Board of Appeals (LUBA) on this issue. A similar failure to raise constitutional issues relating to proposed conditions of approval precludes an action for damages in circuit court.</p>
<b>MORE INFORMATION:</b>	All documents and evidence submitted by the applicant are available on the City's online Permit Application Center at <a href="https://permits.cityofsalem.net">https://permits.cityofsalem.net</a> . You can use the search function without registering and enter the permit number listed here: 23 105895. Paper copies can be obtained for a reasonable cost.

**PLEASE PROMPTLY FORWARD A COPY OF THIS NOTICE TO ANY OTHER OWNER, TENANT OR LESSEE**  
**For more information about Planning in Salem:**

<http://www.cityofsalem.net/planning>

*It is the City of Salem's policy to assure that no person shall be discriminated against on the grounds of race, religion, color, sex, marital status, familial status, national origin, age, mental or physical disability, sexual orientation, gender identity and source of income, as provided by Salem Revised Code Chapter 97. The City of Salem also fully complies with Title VI of the Civil Rights Act of 1964, and related statutes and regulations, in all programs and activities. Disability-related modification or accommodation, including auxiliary aids or services, in order to participate in this meeting or event, are available upon request. Sign language and interpreters for languages other than English are also available upon request. To request such an accommodation or interpretation, contact the Community Development Department at 503-588-6173 at least three business days before this meeting or event.*

TTD/TTY telephone 503-588-6439 is also available 24/7

# REQUEST FOR COMMENTS

*Si necesita ayuda para comprender esta información, por favor llame 503-588-6173*

**REGARDING:** Tentative Partition Plan / Class 2 Adjustment Case No. PAR-ADJ23-04

**PROJECT ADDRESS:** 5791 Skyline Rd S, Salem OR 97306

**AMANDA Application No.:** 23-105895-PLN

**COMMENT PERIOD ENDS:** July 26, 2023

**SUMMARY:** A partition application to divide 20.5 acres into three parcels.

**REQUEST:** A consolidated Tentative Partition Plan to divide a 20.5-acre lot into three parcels, with Parcel 1 and Parcel 2 consisting of approximately 5 acres each, and Parcel 3 consisting of approximately 10.5 acres, with two Class 2 Adjustment requests to:

- (1) To allow a flag lot accessway length greater than the maximum 400 feet allowed to serve 3-4 units on residential zoned property (SRC 800.025)(c)); and
- (2) To allow newly created lots to take access through an existing driveway onto Skyline Road S, a Minor Arterial Street (SRC 804.035(c)(4)).

The subject property is approximately 20.5 acres in size, zoned RA (Residential Agriculture), and located at 5791 Skyline Rd S (Marion County Assessors Map and Tax Lot Number: 083W17C / 100).

The Planning Division is interested in hearing from you about the attached proposal. Staff will prepare a Decision that includes consideration of comments received during this comment period. We are interested in receiving pertinent, factual information such as neighborhood association recommendations and comments of affected property owners or residents. The complete case file, including all materials submitted by the applicant and any applicable professional studies such as traffic impact analysis, geologic assessments, and stormwater reports, are available upon request.

**Comments received by 5:00 p.m. Wednesday, July 26, 2023**, will be considered in the decision process. Comments received after this date will be not considered. *Comments submitted are public record. This includes any personal information provided in your comment such as name, email, physical address and phone number. Mailed comments can take up to 7 calendar days to arrive at our office. To ensure that your comments are received by the deadline, we recommend that you e-mail your comments to the Case Manager listed below.*

**CASE MANAGER:** Jamie Donaldson, Planner II, City of Salem, Planning Division; 555 Liberty St SE, Room 305, Salem, OR 97301; Phone: 503-540-2328; E-Mail: [jdonaldson@cityofsalem.net](mailto:jdonaldson@cityofsalem.net).

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**PLEASE CHECK THE FOLLOWING THAT APPLY:**

- 1. I have reviewed the proposal and have no objections to it.
- 2. I have reviewed the proposal and have the following comments: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Name/Agency: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone: \_\_\_\_\_  
Email: \_\_\_\_\_  
Date: \_\_\_\_\_

**IMPORTANT: IF YOU MAIL COMMENTS, PLEASE FOLD AND RETURN THIS POSTAGE-PAID FORM**



NO POSTAGE  
NECESSARY  
IF MAILED  
IN THE  
UNITED STATES

**BUSINESS REPLY MAIL**  
FIRST-CLASS MAIL PERMIT NO. 1508 SALEM, OR

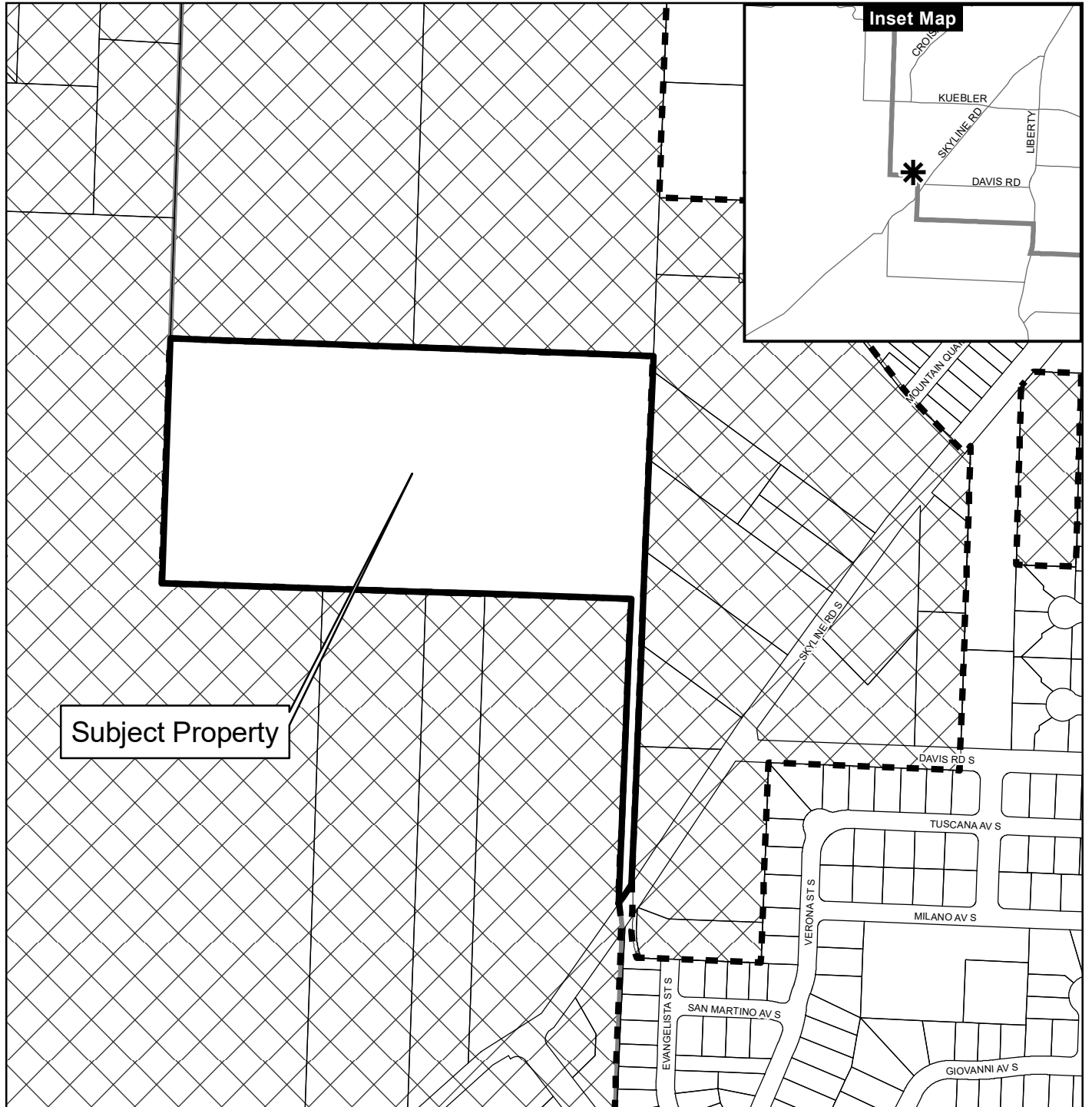
POSTAGE WILL BE PAID BY ADDRESSEE

PLANNING DIVISION  
CITY OF SALEM RM 305  
555 LIBERTY ST SE  
SALEM OR 97301-9907










# Vicinity Map

## 5791 Skyline Road S



Subject Property

### Legend

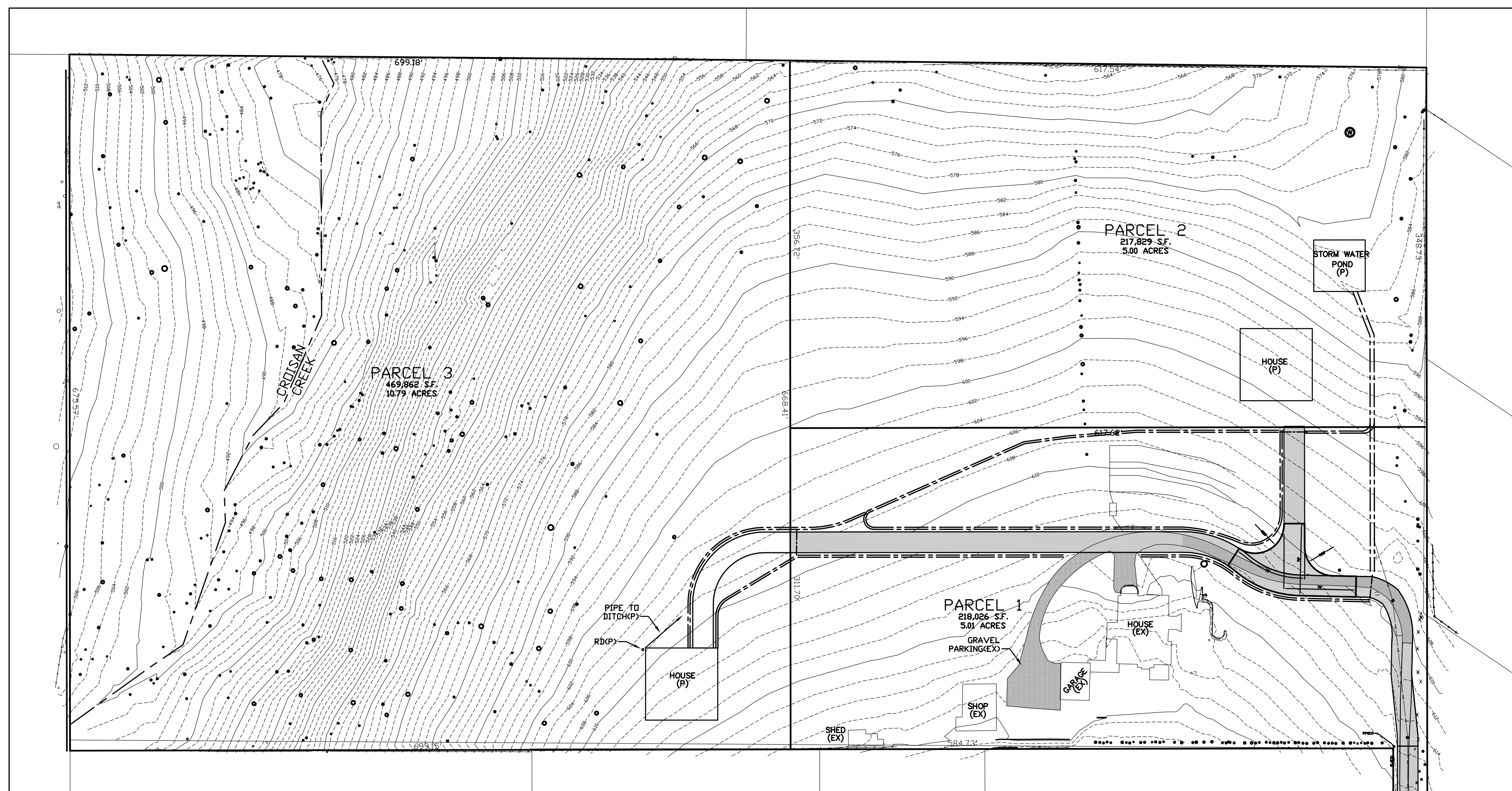
-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools
-  Parks



0 100 200 400 Feet



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**OVERALL SITE PLAN**  
 22x34 SCALE: 1"=80'  
 11x17 SCALE: 1"=160'

**DEVELOPER**

SEAN & TARA DUGGER  
 5791 SKYLINE RD S  
 SALEM, OR 97306

**SUBDIVISION DATA:**

SW 1/4 SEC. 17,  
 T.8.S, R.3.W, W.M.  
 TAX LOT 100,  
 MAP 083W17C00100  
 MARION COUNTY

**LOT DATA:**

LOTS - 3  
 AVERAGE S.F. - 6.93 ACRES  
 LOTS/ACRE - 0.144  
 TOTAL ACREAGE - 20.79

**BENCHMARK DATUM:**

ELEVATIONS ARE ON NAVD 1929 DATUM  
 BASED ON ODOT DRGN (NAVD 88) AND  
 CONVERTED USING VERTCON. A CHECK  
 MEASUREMENT WAS MADE TO CITY OF SALEM  
 BENCHMARK B474 (ELEVATION 181.788 NGVD  
 29), WHICH IS A BRASS DISK IN A CONCRETE  
 HEADWALL LOCATED AT THE UNION PACIFIC  
 RAILROAD AT MCGILCRIST.

**PARTITION DRAWING LIST:**

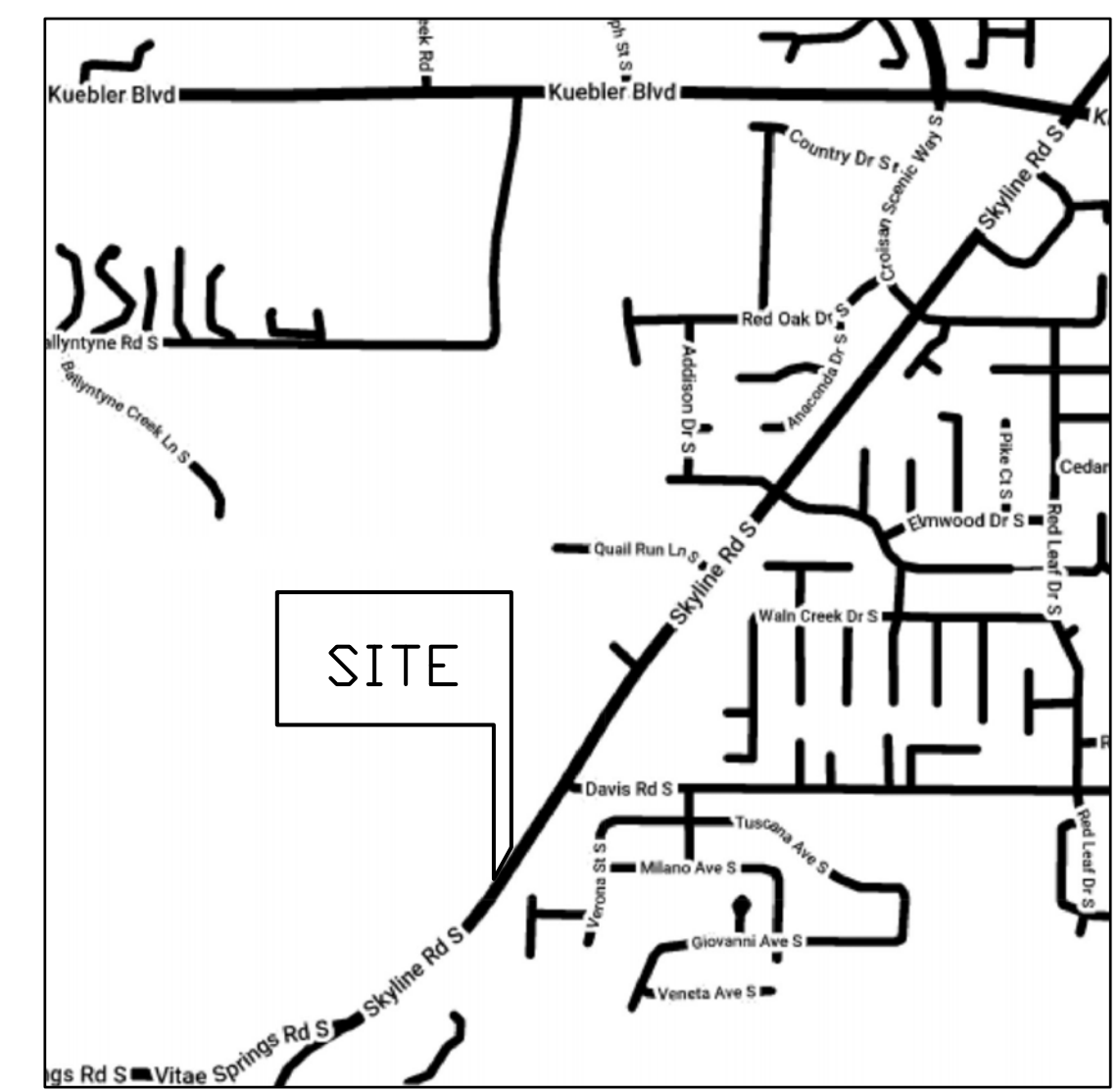
- C1 OVERALL SITE PLAN, TITLE SHEET, VICINITY MAP,  
 PROJECT DATA, DRAWING LIST, SYMBOLS AND  
 ABBREVIATIONS.
- C1A TENTATIVE PARTITION PLAN
- C2 EXISTING CONDITIONS
- C3 SHADOW PLAT FOR FUTURE DEVELOPMENT
- C4 DRIVEWAY PLAN AND PROFILE
- C5 DRIVEWAY PLAN AND PROFILE
- C6 DRIVEWAY SECTIONS AND DETAILS
- C7 PARCELS 2 & 3 ACCESS LANE DESIGN
- C8 STORM WATER PLAN
- C9 UTILITY PLAN
- T1 DRIVEWAY TREE PRESERVATION PLAN
- T2 MAIN SITE TREE PRESERVATION PLAN

**ABBREVIATIONS:**

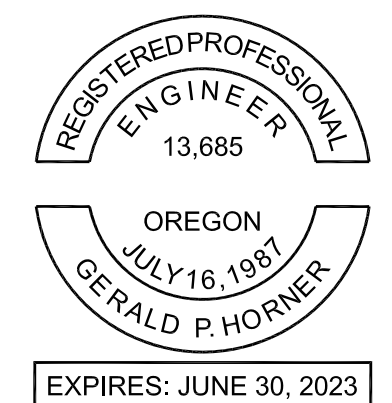
- |                                                  |                              |                                        |
|--------------------------------------------------|------------------------------|----------------------------------------|
| AC - ASPHALTIC CONCRETE                          | AL - ELEVATION               | P - PROPOSED                           |
| AD - ALGEBRAIC DIFFERENCE                        | ELEC - ELECTRIC              | PC - POINT OF CURVE                    |
| ALCSP - ALUMINIZED CORRUGATED STEEL              | EP - EDGE OF PAVEMENT        | PED - PEDESTAL                         |
| PIPE                                             | ER - ENTERING RADIUS         | PERF - PERFORATED                      |
| ASSY - ASSEMBLY                                  | EVCE - ENDING V.C. ELEVATION | PL - PROPERTY LINE                     |
| BO - BLOW OFF                                    | EVCS - ENDING V.C. STATION   | PP - POWER POLE                        |
| BFV - BUTTERFLY VALVE                            | EX - EXISTING                | PT - POINT OF TANGENT                  |
| BVC - BEGINNING V.C. ELEVATION                   | FF - FINISH FLOOR            | PVC - POLYVINYL CHLORIDE               |
| BVCS - BEGIN V.C. STATION                        | FG - FINISH GRADE            | R - RADIUS                             |
| CB - CATCH BASIN                                 | FH - FIRE HYDRANT            | RD - ROOF DRAIN                        |
| CHDPE - CORRUGATED HIGH DENSITY<br>POLYPROPYLENE | FM - FORCE MAIN              | RDW - RIGHT-OF-WAY                     |
| CL - CENTERLINE                                  | FT - FEET                    | S - SLOPE                              |
| CMP - CORRUGATED METAL PIPE                      | GR BK - GRADE BREAK          | SCH - SCHEDULE                         |
| CMU - CENTRAL MAIL UNIT                          | GV - GATE VALVE              | SD - STORM DRAIN                       |
| CD - CLEANDUT                                    | INT - INTERSECTION           | SS - SANITARY SEWER                    |
| CDNC - CONCRETE                                  | INV - INVERT                 | ST - STATION                           |
| CDSSD - CITY OF SALEM STANDARD<br>DRAWING        | K - DESIGN CONSTANT          | STD - STANDARD                         |
| CUB - CENTRAL BOX UNIT                           | L - LENGTH, LINE             | SVC - SERVICE                          |
| CUL - CULVERT                                    | LP - LIGHT POLE              | TEL - TELEPHONE                        |
| DI - DUCTILE IRON                                | M - METER                    | TC - TOP OF CURB                       |
| DS - DOWN SPOUT                                  | MC - MARION COUNTY           | TYP - TYPICAL                          |
| DWG - DRAWING                                    | MH - MANHOLE                 | USPS - UNITED STATES POSTAL<br>SERVICE |
| E - EXISTING                                     | MJ - MECHANICAL JOINT        | VC - VERTICAL CURVE                    |
| EG - EXISTING GROUND/GRADE                       | ML - MEGALUG JOINT           | WM - WATER MAIN                        |
|                                                  | NTS - NOT TO SCALE           |                                        |

**SYMBOLS:**

- BLOW OFF ASSY. EXISTING
- BLOW OFF ASSY. PROPOSED
- CATCH BASIN
- CATCH BASIN
- ▣ CATCH BASIN CLEANOUT EXISTING
- ▣ CATCH BASIN CLEANOUT PROPOSED
- CLEANOUT EXISTING
- CLEANOUT PROPOSED
- FIRE HYDRANT EXISTING
- FIRE HYDRANT PROPOSED
- GATE VALVE EXISTING
- GATE VALVE PROPOSED
- GAS VALVE
- MANHOLE STORM DRAIN EXISTING
- MANHOLE STORM DRAIN PROPOSED
- MANHOLE SAN. SEWER EXISTING
- MANHOLE SAN. SEWER PROPOSED
- REDUCER/INCREASER
- STREET LIGHT EXISTING
- STREET LIGHT PROPOSED
- 3/4"-1" WATER METER EXISTING
- 3/4"-1" WATER METER PROPOSED
- UTILITY/POWER POLE
- CENTER LINE
- EASEMENT LINE
- ELECTRICAL LINE
- GAS MAIN
- SANITARY SEWER
- STORM DRAIN
- TELEPHONE
- WATER MAIN
- ▽ THRUST BLOCK



**VICINITY MAP**



EXPIRES: JUNE 30, 2023

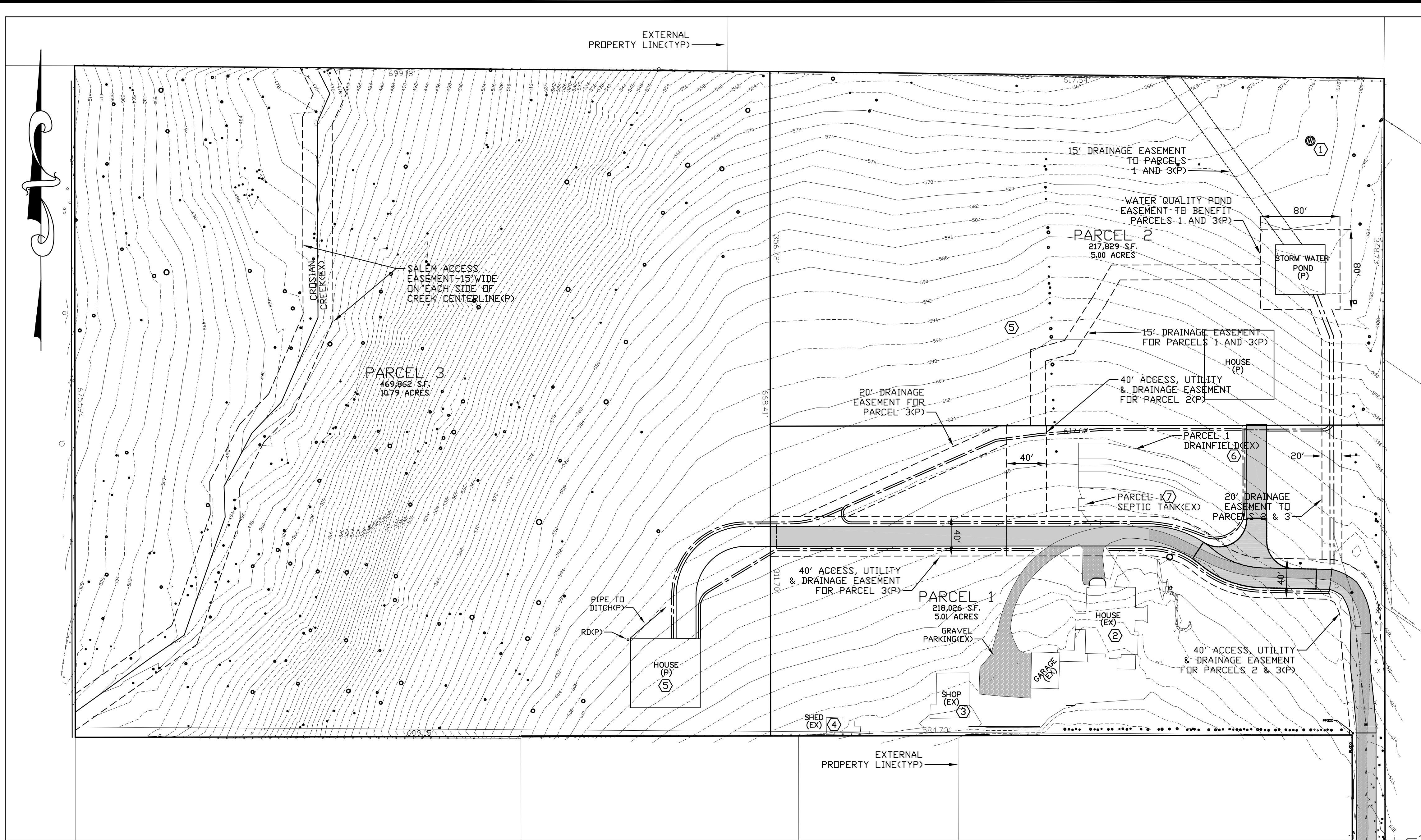
REV.	DATE	BY	DESCRIPTION
0	01-31-23	GPH	FOR PARTITION APPLICATION

ENGINEER:  
 WILLAMETTE ENGINEERING INC.  
 P.O. BOX 9032  
 SALEM, OREGON 97305  
 PH: 503-304-0905  
 FAX: 503-304-9512

TITLE SHEET, VICINITY MAP,  
 PROJECT DATA, DWG LIST,  
 SYMBOLS AND  
 ABBREVIATIONS

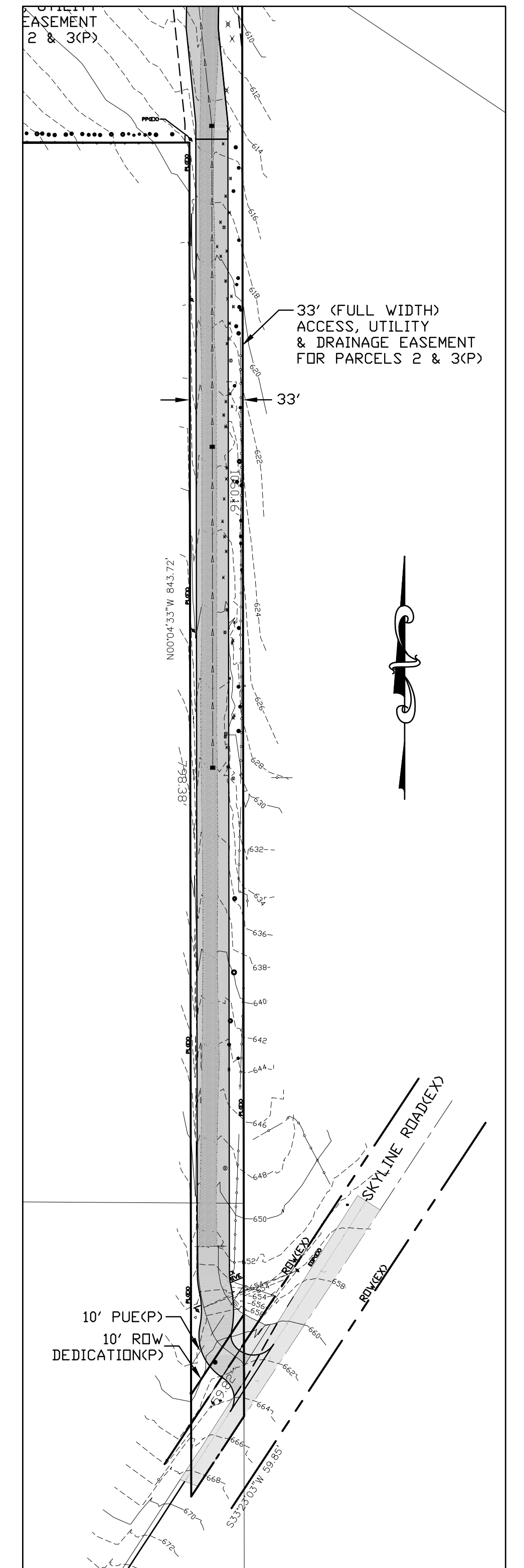
SKYLINE PARTITION  
 THREE PARCELS  
 5791 SKYLINE RD S  
 SALEM, OREGON, 97306

DESIGNED BY:	GPH
DRAWN BY:	RW
DATE:	01-18-23
JOB NO.:	2020-86
CLIENT NO.:	
DRAWING NO.:	



**TENTATIVE PLAN AT PARCELS**  
 22x34 SCALE: 1"=60'  
 11x17 SCALE: 1"=120'

- TENTATIVE PLAN NOTES:**
- EXISTING WELL TO BE USED FOR PARCEL 2.
  - HOUSE TO REMAIN.
  - SHOP TO REMAIN.
  - SHED TO REMAIN.
  - PROPOSED LOCATION OF NEW HOUSE.
  - DRAINFIELD TO REMAIN.
  - SEPTIC TANK TO REMAIN.

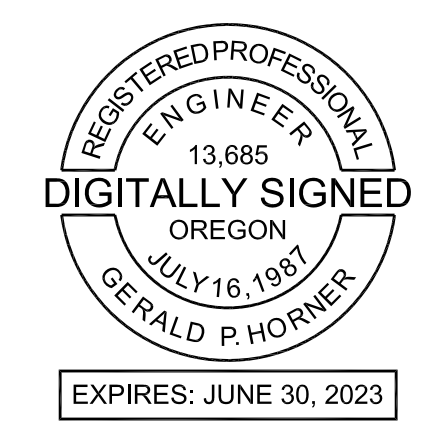


**TENTATIVE SITE PLAN AT ACCESS**  
 22x34 SCALE: 1"=60'  
 11x17 SCALE: 1"=120'

**ENGINEER:**  
 WILLAMETTE ENGINEERING INC.  
 P.O. BOX 9032  
 SALEM, OREGON 97305  
 PH: 503-304-0905  
 FAX: 503-304-9512

**TENTATIVE  
 PARTITION PLAN**

**SKYLINE PARTITION  
 THREE PARCELS**  
 5791 SKYLINE RD S  
 SALEM, OREGON, 97306



REV.	DATE	BY	DESCRIPTION
0	01-31-23	GPH	FOR PARTITION APPLICATION

DESIGNED BY:	GPH
DRAWN BY:	RW
DATE:	01-31-23
JOB NO.:	2020-86
CLIENT NO.:	
DRAWING NO.:	

