



100 HIGH STREET S.E., Suite 200 | SALEM, OREGON 97301 | www.mwvcog.org
T: 503.588.6177 | F: 503-588-6094 | E: mwvcog@mwvcog.org
An equal opportunity lender, provider, and employer

Memorandum

Date: June 6, 2023
To: City of Salem Staff
From: Scott Whyte and Kim Sapunar, MWVCOG
Re: **Technical memo #7**

From the Scope of Work:

4.3 Preliminary Evaluation of Existing Development Standards and Potential Changes necessary to comply with OAR 660-012-0320 – [0315(4)(e)]

Based on the work in Technical Memo #4 (existing and alternative development standards) and working with each local jurisdiction, Consultant will do a preliminary analysis summarizing whether existing development standards in the City will be sufficient to comply with OAR 660-012-0320 in potential climate friendly areas and/or if any changes are necessary to comply with OAR 660-012-0320. Consultant shall include the results in draft **Technical Memo #7** for the jurisdictions' review.

4.4 Analysis of how each potential climate friendly area complies, or may be brought into compliance, with the requirements of OAR 660-012-0310(1)– [0315(4)(d)]

Consultant will work with City staff to produce an analysis of how each potential CFA complies or may be brought into compliance with OAR 660-012-0310(1). Consultant shall include this analysis in draft Technical Memo #7.

Background

Technical memo #7 calls for identifying existing development standards and identifying potential changes to standards in order to make CFA/Walkable Mixed-Use Areas in compliance with OAR 660-012-0320. As work was conducted initially identifying candidate areas, and estimating housing potential, it was necessary to conduct the majority of this process associated with Step 2. Development standards for each zoning category associated with the three draft location areas are documented in technical memo #4 by using a candidate score sheets. These sheets identified the appropriate CFA rule and associated development. At the

time the scope was being drafted, it was unclear if enough analysis of the standards, potential alternative standards, and evaluation of compliance would take place early in task 2. Task 4 and technical memo #7 was included in the event that additional analysis on compliance was needed.

The analysis provided in technical memo #4 shows that the majority of the city's existing development standards meet the requirements of OAR 660-012-0310 and OAR 660-012-0320 outline in a score sheet format. Under current development standards for height, the three designated areas meet the required target housing numbers. This memo will summarize the factors that would need to be updated by the city for compliance.

Study areas of three WaMUA locations

The work has focused on three locations to be designated CFA/WaMUA locations, downtown Salem in the central business area, north and adjacent to the central downtown location, and in West Salem. The assumption for these compliance factors is the city will designate one Primary CFA that is the central downtown area comprised entirely of land that is currently zoned CB, and the two other locations will be designated secondary CFAs. As secondary CFAs, the rule requirements are different.

Table 1 is a summary of the development factors that do not meet the requirements and will need to be updated for CFA/WaMUA compliance.

Table 1 List of Needed Changes for OAR Compliance

Zoning	Component	CFA rule	Needed Standard	Current Standard
CB	Res. Density - <i>as Primary CFA</i>	012-0320 (8)(c)	Min. of 25 dwelling units per net acre.	• CB zone for residential at minimum of 20 du. / ac.
WSCB	Density - not <i>Primary CFA</i>	012-0320 (8)(a)(b)	Min. 15 or 20 dwelling units per net acre.	• WSCB zone has no minimum density. Need to set.

See CFA Scoresheet Analysis for full review of all applicable rule components in review of existing code standards.

Additional required changes needed:

- Block length: Change to Salem code to meet the CFA requirement 660-012-0320 (5) (a) and (b), block lengths of 500 feet, or of 350 feet for sites greater than 5.5 acres.
- Floor Area: Add to Salem code to meet the CFA requirement 660-012-0320 (8), mixed-use development with a minimum floor to area ratio (FAR) of 2.0.

In addition, as part of 660-012-0320 (7), the City of Salem will have to include amendments which address transportation review, land use requirement, parking, and bicycle requirements. Those compliance factors were not part of this study but will be part of the implementation by the city.

(7) Local governments shall adopt policies and development regulations in climate-friendly areas that implement the following:

- (a) The transportation review process in OAR 660-012-0325;
- (b) The land use requirements as provided in OAR 660-012-0330;
- (c) The applicable parking requirements as provided in OAR 660-012-0435; and
- (d) The applicable bicycle parking requirements as provided in OAR 660-012-0630.

Appendix: Table of Potential Units and Reference Map

Table 2 Potential Units by Area and Zoning

Salem Potential Housing Units by Area and Zoning

Target Units required = 25,860

Area	Potential units	Acres	Zoning	Acres	Units
CB Zoning Only Downtown	12,944	134	CB	134	12,944
Area	Potential units	Acres	Zoning	Acres	Units
North Downtown Salem	7,747	127	MU-I	55	3,577
			MU-R	41	3,193
			RM2	28	742
			RM3	3	234
Area	Potential units	Acres	Zoning	Acres	Units
West Salem	9,316	123	MU-I	11	694
			MU-III	55	3,819
			WSCB	58	4,803

Total of three areas = 30,007

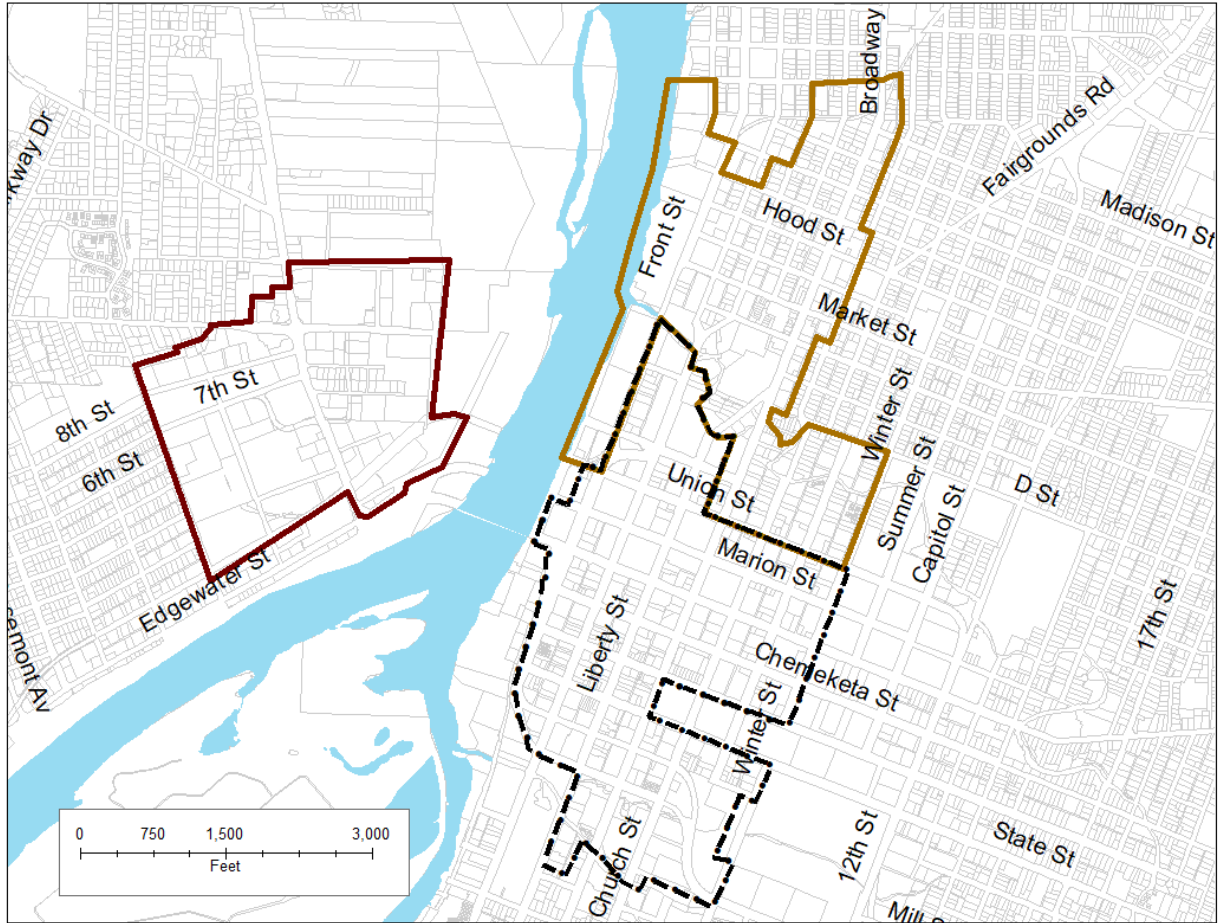


Figure 1 Draft Walkable Mixed-Use Areas