



# NOTICE of FILING

## LAND USE REQUEST AFFECTING THIS AREA

*There is a development proposal for the property listed in this notice and shown on the attached map. The City is seeking input from neighbors on the proposal. If you have questions or comments about the proposal, contact the case manager.*

*Esta carta es un aviso sobre una propuesta de desarrollo para la propiedad enumerada y que se muestra en el mapa adjunto. La ciudad está buscando la opinión de los vecinos sobre la propuesta. Si tiene preguntas o comentarios sobre la propuesta, póngase en contacto con nosotros al 503-588-6213.*

<b>CASE NUMBER:</b>	Class 3 Site Plan Review / Class 2 Adjustment Case No. SPR-ADJ22-33
<b>PROPERTY LOCATION:</b>	2450 Strong Rd SE, Salem OR 97302
<b>NOTICE MAILING DATE:</b>	June 22, 2022
<b>PROPOSAL SUMMARY:</b>	An application for various site improvements associated with a change of use for Hillcrest Behavioral Health facility.
<b>COMMENT PERIOD:</b>	<b>All written comments must be submitted to City Staff no later than 5:00 p.m. Wednesday, July 6, 2022. Please direct any questions and/or comments to the Case Manager listed below. Comments received after the close of the comment period will not be considered. Note: Comments submitted are <u>public record</u>. This includes any personal information provided in your comment such as name, email, physical address and phone number.</b>
<b>CASE MANAGER:</b>	<b>Jamie Donaldson, Planner II</b> , City of Salem Planning Division, 555 Liberty Street SE, Room 305, Salem, Oregon 97301. Telephone: 503-540-2328; E-mail: <a href="mailto:jdonaldson@cityofsalem.net">jdonaldson@cityofsalem.net</a>
<b>NEIGHBORHOOD ASSOCIATION:</b>	<i>Neighborhood associations are volunteer organizations of neighbors coming together to make neighborhoods the best they can be. They receive notice of land use applications within their boundaries, and they often submit comments on the applications to the City. Neighborhood association meetings are open to everyone. Contact your neighborhood association to get involved:</i>  Morningside Neighborhood Association, Geoffrey James, Land Use; Phone: 503-931-4120; Email: <a href="mailto:geoffreyjames@comcast.net">geoffreyjames@comcast.net</a> .
<b>ACCESS:</b>	The Americans with Disabilities Act (ADA) accommodations will be provided on request.
<b>CRITERIA TO BE CONSIDERED:</b>	Salem Revised Code (SRC) Chapter(s) 220.005(f)(3) – Class 3 Site Plan Review; 250.005(d)(2) – Class 2 Adjustment  Salem Revised Code (SRC) is available to view at this link: <a href="http://bit.ly/salemorcode">http://bit.ly/salemorcode</a> . Type in the chapter number(s) listed above to view the applicable criteria.

<b>PROPERTY OWNER(S):</b>	Oregon Behavioral Hospital LLC (David Lebowitz, Erika A Easter, Steven Lebowitz, Andrew Lebowitz)
<b>APPLICANT(S):</b>	David Lebowitz Watchill Capital, LLC (Steven D Lebowitz)
<b>PROPOSAL REQUEST:</b>	<p>A consolidated application containing a Class 3 Site Plan Review for various site improvements associated with a change of use from juvenile correctional facility to behavioral health facility (medical center), including ADA ramps and parking improvements and internal pedestrian connections, with Class 2 Adjustment requests to:</p> <ol style="list-style-type: none"> <li>1) Eliminate required pedestrian connections to adjacent streets; and</li> <li>2) Eliminate required interior parking lot landscaping for existing vehicle use areas.</li> </ol> <p>The subject property is approximately 44.6 acres in size, zoned PH (Public and Private Health Services) and RA (Residential Agriculture), and located at 2450 Strong Road SE - 97302 (Marion County Assessors Map and Tax Lot number: 083W12B / 1499).</p>
<b>APPLICATION PROCESS:</b>	<p>Following the close of the Public Comment Period, a decision will be issued and mailed to the applicant, property owner, affected neighborhood association, anyone who submitted written comments, and anyone who received notice of the land use request.</p> <p>Failure to raise an issue in writing prior to the close of the Public Comment Period with sufficient specificity to provide the opportunity to respond to the issue, precludes appeal to the Land Use Board of Appeals (LUBA) on this issue. A similar failure to raise constitutional issues relating to proposed conditions of approval precludes an action for damages in circuit court.</p>
<b>MORE INFORMATION:</b>	All documents and evidence submitted by the applicant are available on the City's online Permit Application Center at <a href="https://permits.cityofsalem.net">https://permits.cityofsalem.net</a> . You can use the search function without registering and enter the permit number listed here: 22 105098. Paper copies can be obtained for a reasonable cost.

**PLEASE PROMPTLY FORWARD A COPY OF THIS NOTICE TO ANY OTHER OWNER, TENANT OR LESSEE**  
**For more information about Planning in Salem:**  
<http://www.cityofsalem.net/planning>

*It is the City of Salem's policy to assure that no person shall be discriminated against on the grounds of race, religion, color, sex, marital status, familial status, national origin, age, mental or physical disability, sexual orientation, gender identity and source of income, as provided by Salem Revised Code Chapter 97. The City of Salem also fully complies with Title VI of the Civil Rights Act of 1964, and related statutes and regulations, in all programs and activities. Disability-related modification or accommodation, including auxiliary aids or services, in order to participate in this meeting or event, are available upon request. Sign language and interpreters for languages other than English are also available upon request. To request such an accommodation or interpretation, contact the Community Development Department at 503-588-6173 at least three business days before this meeting or event.*

TTD/TTY telephone 503-588-6439 is also available 24/7

# REQUEST FOR COMMENTS

*Si necesita ayuda para comprender esta informacion, por favor llame 503-588-6173*

**REGARDING:** Class 3 Site Plan Review / Class 2 Adjustment Case No. SPR-ADJ22-33

**PROJECT ADDRESS:** 2450 Strong Rd SE, Salem OR 97302

**AMANDA Application No.:** 22-105098-RP, 22-105099-ZO

**COMMENT PERIOD ENDS:** July 6, 2022

**SUMMARY:** An application for various site improvements associated with a change of use for Hillcrest Behavioral Health facility.

**REQUEST:** A consolidated application containing a Class 3 Site Plan Review for various site improvements associated with a change of use from juvenile correctional facility to behavioral health facility (medical center), including ADA ramps and parking improvements and internal pedestrian connections, with Class 2 Adjustment requests to:

- 1) Eliminate required pedestrian connections to adjacent streets; and
- 2) Eliminate required interior parking lot landscaping for existing vehicle use areas.

The subject property is approximately 44.6 acres in size, zoned PH (Public and Private Health Services) and RA (Residential Agriculture), and located at 2450 Strong Road SE - 97302 (Marion County Assessors Map and Tax Lot number: 083W12B / 1499).

The Planning Division is interested in hearing from you about the attached proposal. Staff will prepare a Decision that includes consideration of comments received during this comment period. We are interested in receiving pertinent, factual information such as neighborhood association recommendations and comments of affected property owners or residents. The complete case file, including all materials submitted by the applicant and any applicable professional studies such as traffic impact analysis, geologic assessments, and stormwater reports, are available upon request.

**Comments received by 5:00 p.m. Wednesday, July 6, 2022**, will be considered in the decision process. Comments received after this date will be not considered. *Comments submitted are public record. This includes any personal information provided in your comment such as name, email, physical address and phone number. Mailed comments can take up to 7 calendar days to arrive at our office. To ensure that your comments are received by the deadline, we recommend that you e-mail your comments to the Case Manager listed below.*

**CASE MANAGER:** Jamie Donaldson, CD Planner II, City of Salem, Planning Division; 555 Liberty St SE, Room 305, Salem, OR 97301; Phone: 503-540-2328; E-Mail: [jdonaldson@cityofsalem.net](mailto:jdonaldson@cityofsalem.net).

For information about Planning in Salem, please visit: <http://www.cityofsalem.net/planning>

**PLEASE CHECK THE FOLLOWING THAT APPLY:**

- 1. I have reviewed the proposal and have no objections to it.
- 2. I have reviewed the proposal and have the following comments: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Name/Agency: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Date: \_\_\_\_\_

**IMPORTANT: IF YOU MAIL COMMENTS, PLEASE FOLD AND RETURN THIS POSTAGE-PAID FORM**



NO POSTAGE  
NECESSARY  
IF MAILED  
IN THE  
UNITED STATES

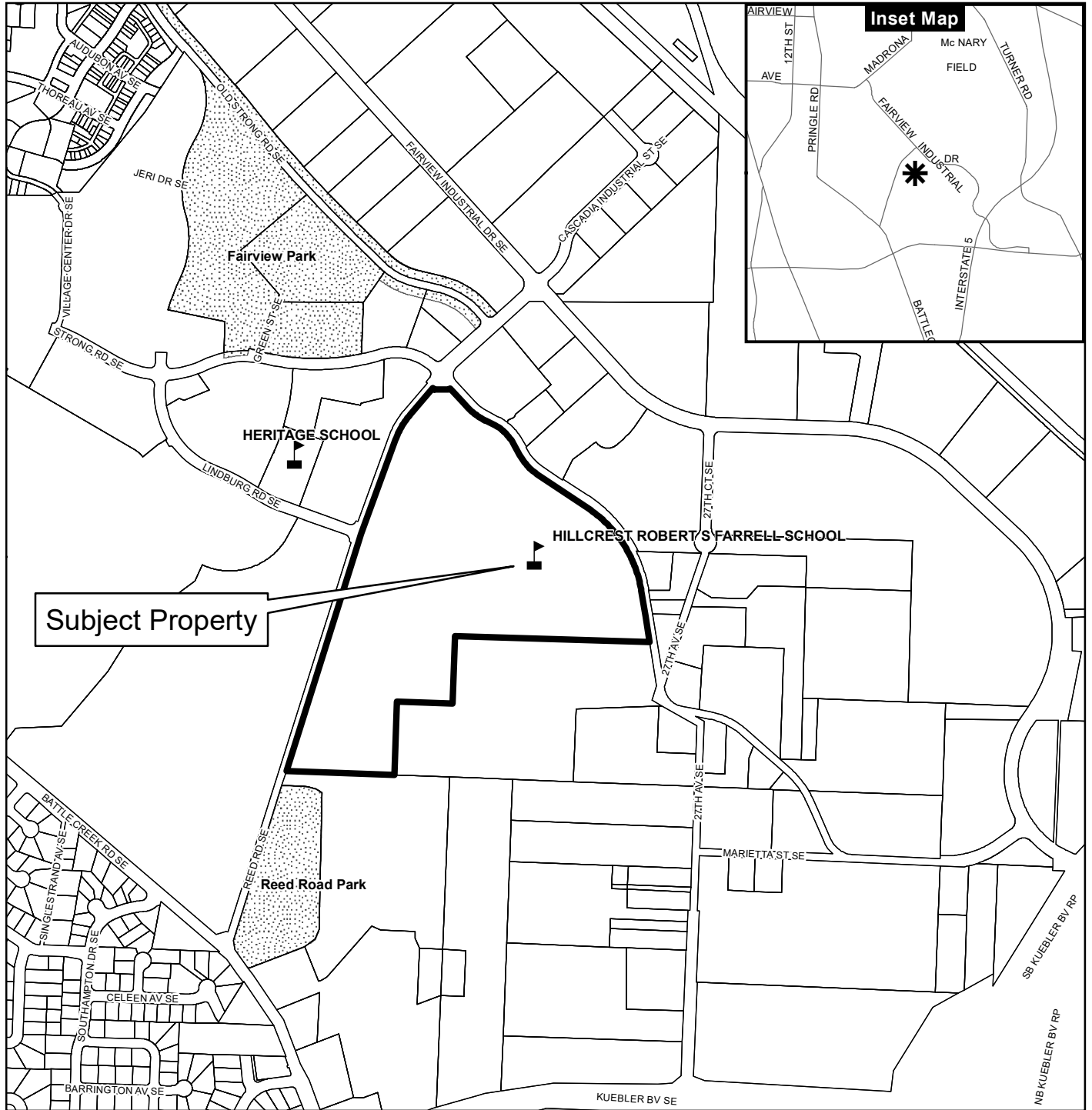
**BUSINESS REPLY MAIL**  
FIRST-CLASS MAIL PERMIT NO. 1508 SALEM, OR

POSTAGE WILL BE PAID BY ADDRESSEE

PLANNING DIVISION  
CITY OF SALEM RM 305  
555 LIBERTY ST SE  
SALEM OR 97301-9907










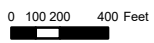
# Vicinity Map 2450 Strong Road SE



**Subject Property**

**Legend**

-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools
-  Parks



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SHEET INDEX		
Sheet Discipline	SHEET NUMBER	SHEET NAME
General	CS	COVER SHEET/SHEET INDEX
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	C2.00	SITE PLAN
	C3.00	GRADING AND UTILITY PLAN
Landscape	L1.00	LANDSCAPING PLAN
Architecture	A3.10 - A	EXTERIOR ELEVATION - ADMINISTRATION
	A3.10 - FS	EXTERIOR ELEVATION - FOOD SERVICE
	A3.10 - F	EXTERIOR ELEVATION 1 - FARRELL
	A3.11 - F	EXTERIOR ELEVATION 2 - FARRELL
	A3.10 - S	EXTERIOR ELEVATION - SCOTT
	A3.10 - Z	EXTERIOR ELVATION - ZETA
	A3.10 - N	EXTERIOR ELEVATION 1 - NORBLAD
	A3.10 - N	EXTERIOR ELEVATION 2 - NORBLAD

VICINITY MAP



AMA TEAM

<p><b>ARCHITECTURAL</b> <b>ANKROM MOISAN ARCHITECTS</b> 38 NORTHWEST DAVIS SUITE 300 PORTLAND, OR 97209 503.245.7100 www.ankrommoisan.com</p> <p><b>PRINCIPAL</b> MARIAH KIERSEY <b>PROJECT MANAGER</b> HAO DUONG <b>PROJECT ARCHITECT</b> MIKE STAPLETON</p>	<p><b>CIVIL</b> <b>DAVID EVANS &amp; ASSOCIATES</b> 2100 S. RIVER PARKWAY SUITE 100 PORTLAND, OR 97201 800.721.1916 www.deainc.com</p> <p>STEVEN HARRISON sdh@deainc.com 503.499.0462</p> <p>SARAH JONES sarah.jones@deainc.com 503.499.0460</p>	<p><b>PLUMBING</b> <b>PAE CONSULTING ENGINEERS INC</b> 522 SW 5TH AVE. SUITE 1500 PORTLAND, OR 97204 503.226.2921 www.pae-engineers.com</p>	<p><b>GEOTECHNICAL</b> <b>HART CROWSER</b> 6420 S. MACADAM AVE. SUITE 100 PORTLAND, OR 97239 503.620.6918 www.hartcrowser.com</p> <p>DAN TRISLER dan.trisler@hartcrowser.com 206.324.9530</p>	<p><b>ACOUSTICAL/ELEVATOR</b> <b>GREENBUSCH GROUP</b> 1900 W. NICKERSON ST. SUITE 201 SEATTLE, WA 98119 206.378.0569 www.greenbusch.com</p> <p>ADAM JENKINS adamj@greenbusch.com 206.378.0569</p>
<p><b>INTERIORS</b> <b>ANKROM MOISAN ARCHITECTS</b> 38 NORTHWEST DAVIS SUITE 300 PORTLAND, OR 97209 503.245.7100 www.ankrommoisan.com</p> <p>ROBERTA PENNINGTON robertap@ankrommoisan.com 503.952.1347</p> <p>SUSIE ROSE susier@ankrommoisan.com 503.952.1571</p>	<p><b>LANDSCAPE</b> <b>MAYER/REED</b> 319 SW WASHINGTON ST. SUITE 820 PORTLAND, OR 97204 503.223.5953 www.mayerreed.com</p> <p>ANNE SAMUEL anne@mayerreed.com 503.223.5953</p> <p>JERAMIE SHANE jeramie@mayerreed.com 503.223.5953</p>	<p><b>MECHANICAL</b> <b>PAE CONSULTING ENGINEERS INC</b> 522 SW 5TH AVE. SUITE 1500 PORTLAND, OR 97204 503.226.2921 www.pae-engineers.com</p> <p>DAVE WILLIAMS dave.williams@pae-engineers.com 503.415.1524</p> <p>MATT PEARS mattthew.pears@pae-engineers.com 503.542.0565</p>	<p><b>TRAFFIC/TRANSPORTATION</b> <b>DKS ASSOCIATES</b> 720 SW WASHINGTON ST. SUITE 500 PORTLAND, OR 97205 503.243.3500 www.dksassociates.com</p> <p>REAH FLISAKOWSKI rfl@dkssociates.com 503.972.1203</p> <p>JESSICA VORODERSTRASSE jnv@dkssociates.com</p>	<p><b>ENVELOPE</b> <b>MORRISON HERSHFELD</b> 6420 S. MACADAM AVE. SUITE 100 PORTLAND, OR 97239 503.620.6918 www.hartcrowser.com</p> <p>JOHN DUNCAN jduncan@morrisonhershfield.com 503.924.2518</p>
<p><b>SURVEY</b> <b>S+FLAND SERVICES</b> 4858 SW SCHOLLS FERRY RD SUITE A PORTLAND, OR 97225 503.345.0328 www.sflands.com</p> <p>CHRIS SHERBY chris.sherby@sflands.com 360.909.4916</p> <p>JARED MCGRATH jared.mcgrath@sflands.com 503.758.6415</p>	<p><b>STRUCTURAL</b> <b>KPFF</b> 111 SW 5TH AVE SUITE 2600 PORTLAND, OR 97204 503.227.3251 www.kpff.com</p> <p>AARON BURKHARDT aaron.burkhardt@kpff.com 503.754.0510</p> <p>JERRY ABDIE jerryabdie@kpff.com 503.227.3251</p>	<p><b>ELECTRICAL</b> <b>PAE CONSULTING ENGINEERS INC</b> 522 SW 5TH AVE. SUITE 1500 PORTLAND, OR 97204 503.226.2921 www.pae-engineers.com</p> <p>STEVE KELLY steve.kelly@pae-engineers.com 503.542.0527</p> <p>JOSHUA YORK joshua.york@pae-engineers.com 503.444.5436</p> <p>MATT JONES matt.jones@pae-engineers.com 503.542.0507</p>		

OWNER TEAM

<p><b>OWNER</b> <b>OREGON BEHAVIORAL HOSPITAL, LLC.</b> 1333 2ND ST. SUITE 650 SANTA MONICA, CA 90401</p> <p>DAVID LEBOWITZ david@watchhillcapllc.com</p> <p>MATTHEW TUVERSON matt@watchhillcapllc.com</p>	<p><b>OWNER REPRESENTATION</b> <b>COMPASS PROJECT SOLUTIONS</b> www.compassinc.com</p> <p><b>Owner</b> RICARDO BECERRIL ricardo@compassinc.com 503.614.4100</p> <p><b>SENIOR PROJECT MANAGER</b> MATT BRAUN matt.braun@compassinc.com 214.903.6727</p>
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PROPERTY DATA

**SITE ZONING:**  
PH (PUBLIC AND PRIVATE HEALTH SERVICES)

**MARION COUNTY ASSESSOR'S MAP AND TAX LOT NUMBER:**  
083W12B / 0149

**LEGAL DESCRIPTION:**  
LEGAL DESCRIPTION PER TICOR TITLE COMPANY OF OREGON, ORDER NO.: 471820096556, WITH AN EFFECTIVE DATE OF AUGUST 13, 2020, 08:00 AM:

BEGINNING AT A POINT BEING 299.22 FEET SOUTH 89°35'40" WEST FROM THE QUARTER CORNER OF SECTIONS 11 AND 12, TOWNSHIP 8 SOUTH, RANGE 3 WEST OF THE WILLAMETTE MERIDIAN, CITY OF SALEM, MARION COUNTY, OREGON; THENCE SOUTH 89°35'40" WEST 579.71 FEET TO THE EAST RIGHT-OF-WAY OF MARKET ROAD 25, (REED ROAD); THENCE ALONG THE EAST RIGHT-OF-WAY OF MARKET ROAD 25, (REED ROAD), THE FOLLOWING COURSES: NORTH 14°53'41" EAST 1301.40 FEET; NORTH 17°27'16" EAST 566.86 FEET; 178.65 FEET ALONG A 434.79 FOOT RADIUS CURVE TO THE RIGHT, (THE CHORD OF WHICH BEARS NORTH 27°48'10" EAST 177.40 FEET); NORTH 38°09'08" EAST 200.12 FEET; SOUTH 51°49'15" EAST 10.00 FEET; NORTH 89°00'58" EAST 77.03 FEET; NORTH 44°11'10" EAST 10.00 FEET TO THE WEST RIGHT-OF-WAY OF MARKET ROAD 56, (STRONG ROAD); THENCE ALONG THE WEST RIGHT-OF-WAY OF MARKET ROAD 56, (STRONG ROAD), THE FOLLOWING COURSES: SOUTH 45°48'50" EAST 141.95 FEET; 117.85 FEET ALONG A 330.61 FOOT RADIUS CURVE TO THE LEFT, (THE CHORD OF WHICH BEARS SOUTH 56°01'35" EAST 117.23 FEET); SOUTH 66°14'19" EAST 47.33 FEET; 147.85 FEET ALONG A 242.29 FOOT RADIUS CURVE TO THE RIGHT, (THE CHORD OF WHICH BEARS SOUTH 48°45'26" EAST 145.57 FEET); SOUTH 31°16'34" EAST 71.59 FEET; 140.82 FEET ALONG A 295.86 FOOT RADIUS CURVE TO THE LEFT, (THE CHORD OF WHICH BEARS SOUTH 44°54'42" EAST 139.50 FEET); SOUTH 58°32'48" EAST 340.23 FEET; 543.17 FEET ALONG A 660.25 FOOT RADIUS CURVE TO THE RIGHT, (THE CHORD OF WHICH BEARS SOUTH 53°11'54" EAST 527.99 FEET); SOUTH 11°04'59" EAST 276.01 FEET; THENCE SOUTH 89°15'44" WEST 1049.02 FEET; THENCE SOUTH 00°25'43" EAST 362.47 FEET; THENCE SOUTH 89°35'40" WEST 299.22 FEET; THENCE SOUTH 00°25'53" EAST 395.00 FEET TO THE POINT OF BEGINNING.

SCOPE OF WORK

SCOPE OF WORK FOR REMOVAL OF SEVERAL BUILDINGS AND SHEDS ON THE CAMPUS. SEE SITE PERMIT FOR CIVIL AND LANDSCAPE WORK TO ALLOW FOR REGRADING AROUND REMOVED BUILDINGS AS WELL AS PLANTINGS.

INTERIOR DEMOLITION TO BE SUBMITTED WITH FUTURE BUILDING PERMITS FOR TENANT IMPROVEMENT WORK.

NOT FOR CONSTRUCTION

HILLCREST BEHAVIORAL HEALTH  
2450 STRONG ROAD SE, SALEM, OR 97302  
OREGON BEHAVIORAL HOSPITAL, LLC

REVISION	DATE	REASON FOR ISSUE

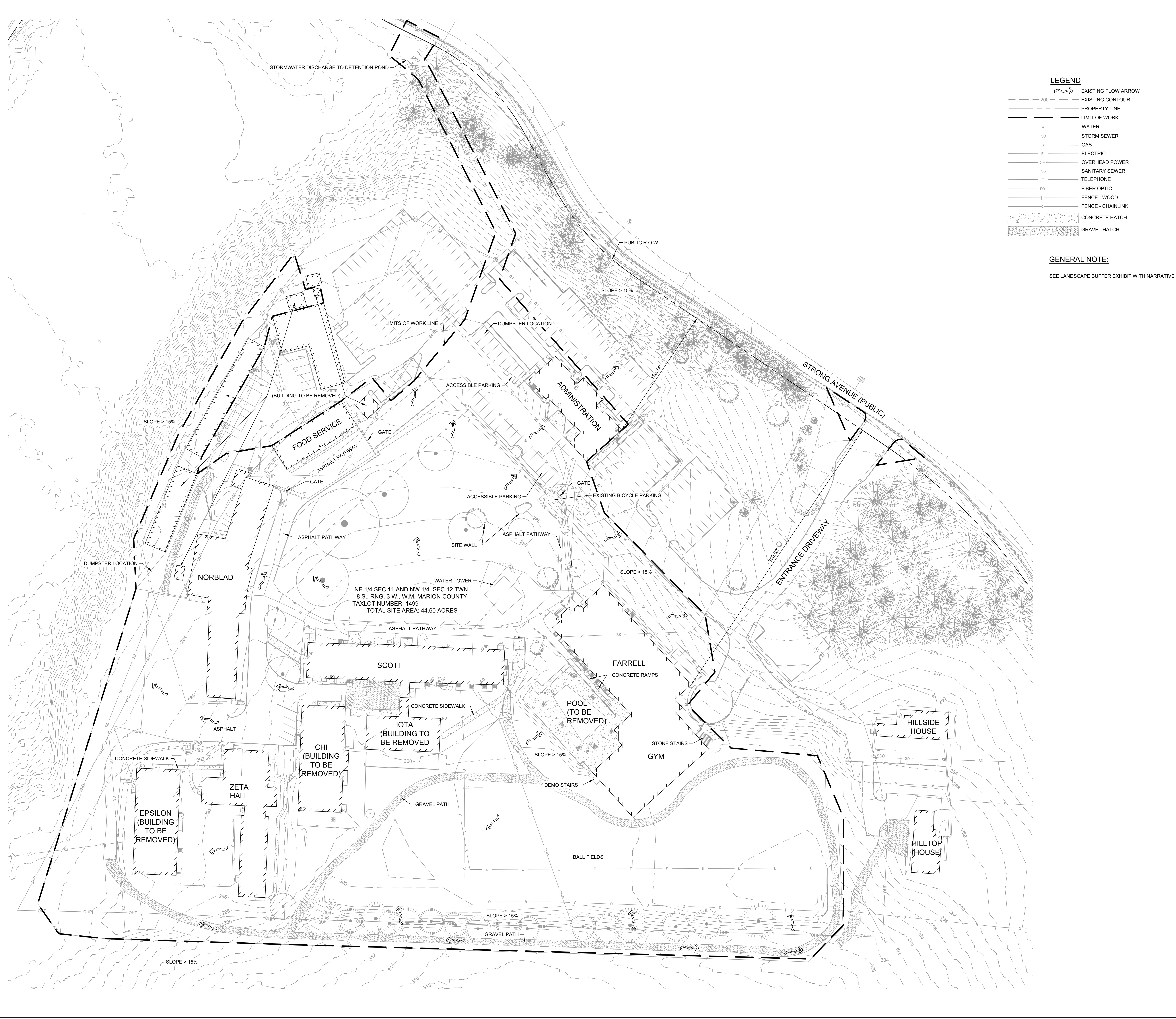
COVER SHEET

SITE PLAN REVIEW

DATE 03/01/22	PROJECT NUMBER 212020
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SHEET NUMBER  
CS

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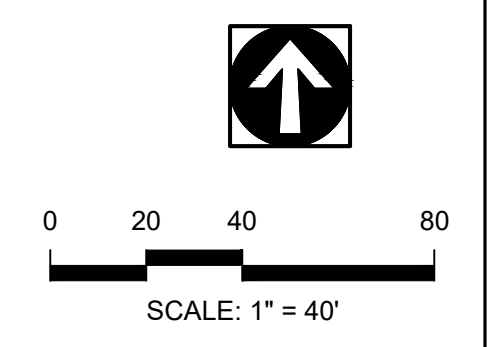


**LEGEND**

- EXISTING FLOW ARROW
- EXISTING CONTOUR
- PROPERTY LINE
- LIMIT OF WORK
- WATER
- STORM SEWER
- GAS
- ELECTRIC
- OVERHEAD POWER
- SANITARY SEWER
- TELEPHONE
- FIBER OPTIC
- FENCE - WOOD
- FENCE - CHAINLINK
- CONCRETE HATCH
- GRAVEL HATCH

**GENERAL NOTE:**  
SEE LANDSCAPE BUFFER EXHIBIT WITH NARRATIVE

NE 1/4 SEC 11 AND NW 1/4 SEC 12 T2N.  
8 S., R3G. 3 W., W.M. MARION COUNTY  
TAXLOT NUMBER: 1499  
TOTAL SITE AREA: 44.60 ACRES



NOT FOR CONSTRUCTION



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100

1505 5TH AVE, SUITE  
909 RTLE, WA 98101  
206.576.1600

1014 HOWARD STREET  
SAN FRANCISCO, CA 94103  
415.252.7063

ANKROM MOISAN ARCHITECTS, INC.

**DAVID EVANS  
AND ASSOCIATES INC.**  
2100 S River Parkway, Suite 100  
Portland Oregon 97201  
Phone: 503.223.6663

HILLCREST BEHAVIORAL HEALTH  
2450 STRONG ROAD SE, SALEM, OR 97302

OREGON BEHAVIORAL HOSPITAL, LLC

REVISION	DATE	REASON FOR ISSUE

EXISTING CONDITIONS PLAN

SITE PLAN REVIEW

DATE 03/01/22	PROJECT NUMBER 212020
SHEET NUMBER C1.00	

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NOT FOR CONSTRUCTION



38 NORTHWEST DAVIS, SUITE 300  
PORTLAND, OR 97209  
503.245.7100  
1505 5TH AVE, SUITE  
800 RTLE, WA 98101  
206.576.1600  
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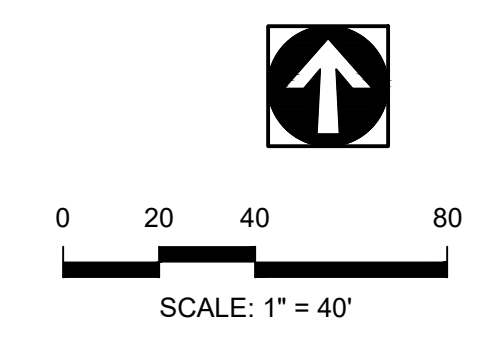
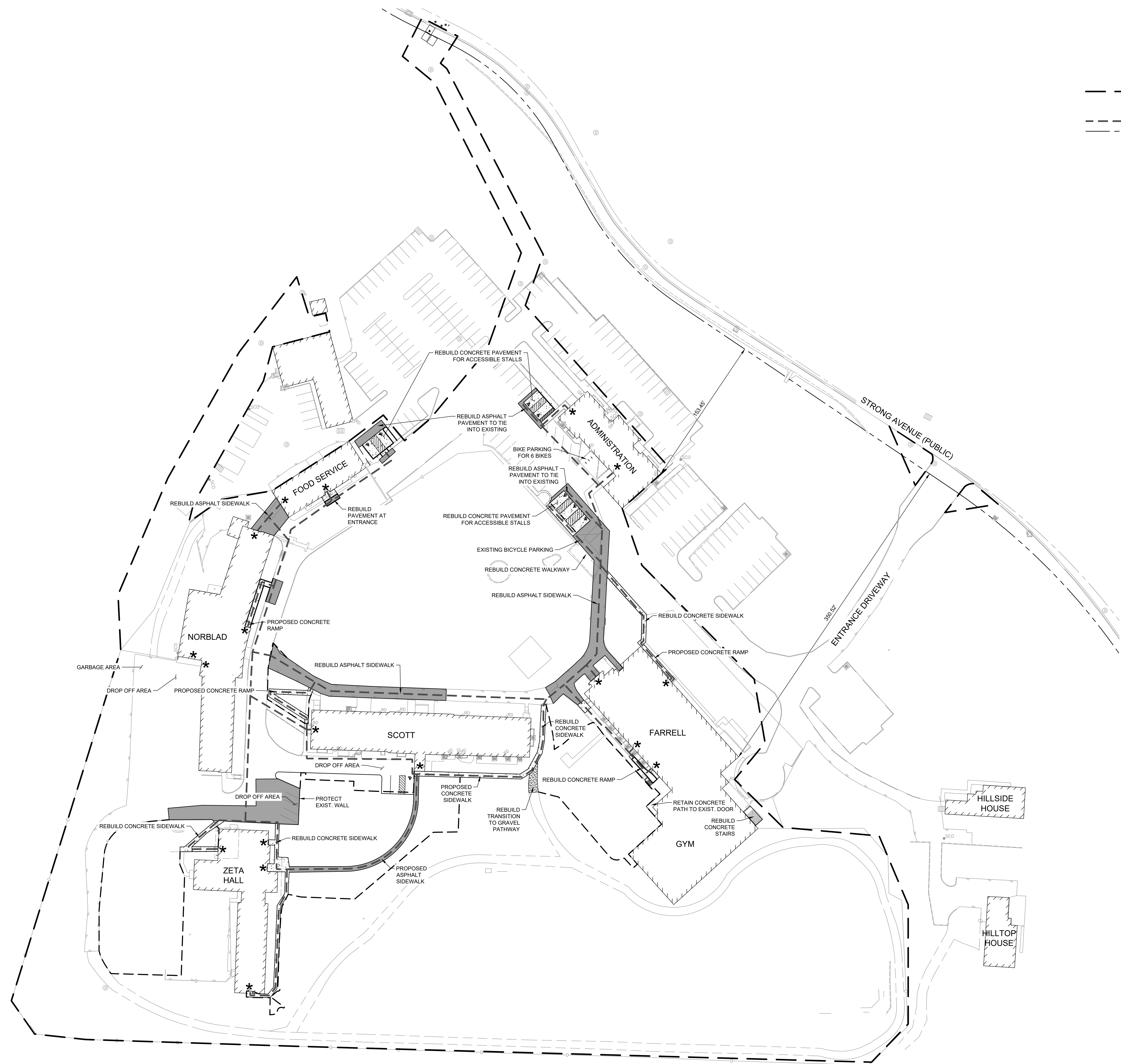
DAVID EVANS  
AND ASSOCIATES INC.  
2100 S River Parkway, Suite 100  
Portland Oregon 97201  
Phone: 503.223.6663

HILLCREST BEHAVIORAL HEALTH  
2450 STRONG ROAD SE, SALEM, OR 97302

OREGON BEHAVIORAL HOSPITAL, LLC

**LEGEND**

- \* ACCESSIBLE ENTRANCE
- LIMIT OF WORK
- ▨ PROPOSED CONCRETE
- ▩ PROPOSED ASPHALT
- - - ACCESSIBLE ROUTE OF TRAVEL
- PROPERTY LINE



REVISION	DATE	REASON FOR ISSUE

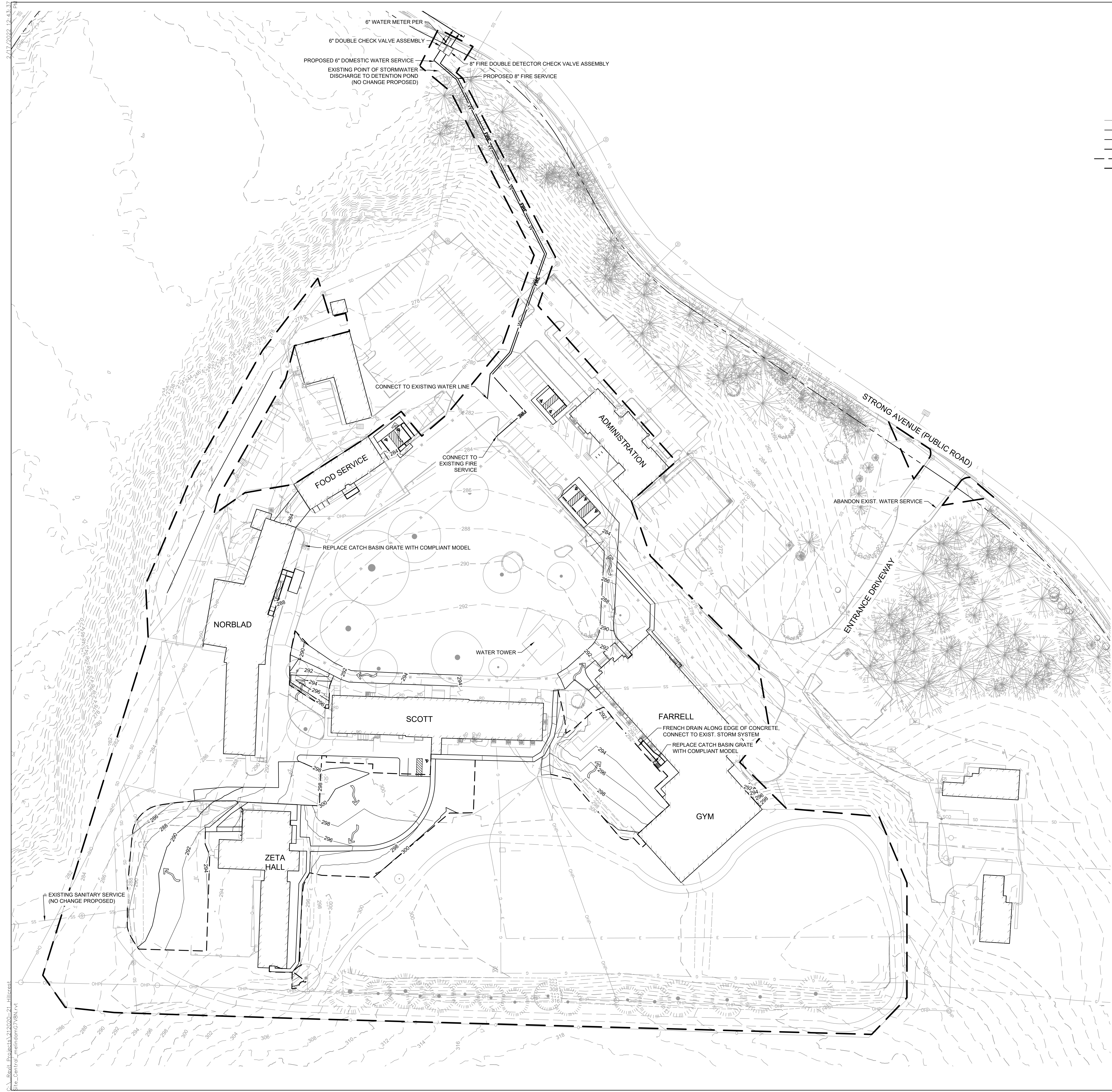
SITE PLAN

SITE PLAN REVIEW

DATE 03/01/22	PROJECT NUMBER 212020
SHEET NUMBER C2.00	

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Site\_Central\_melindam6788n.rvt





**GENERAL NOTES:**  
 1. THE MAXIMUM FIRE FLOW NEEDS ARE 3,875 GPM.  
 2. THE MAXIMUM WATER METER SIZE IS 6".

- LEGEND**
- FLOW ARROW
  - EXISTING CONTOUR
  - PROPOSED CONTOUR
  - PROPERTY LINE
  - PROPOSED 6" DOMESTIC WATER SERVICE
  - PROPOSED 8" FIRE SERVICE
  - GRADING LIMITS

NOT FOR CONSTRUCTION



38 NORTHWEST DAVIS, SUITE 300  
 PORTLAND, OR 97209  
 503.245.7100

1505 5TH AVE, SUITE  
 809 RTLE, WA 98101  
 206.576.1600

1014 HOWARD STREET  
 SAN FRANCISCO, CA 94103  
 415.252.7063

ANKROM MOISAN ARCHITECTS, INC.

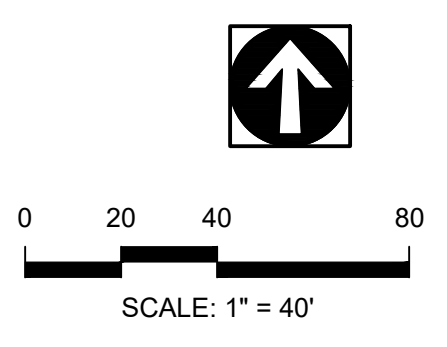


**DAVID EVANS  
 AND ASSOCIATES INC.**  
 2100 S River Parkway, Suite 100  
 Portland Oregon 97201  
 Phone: 503.223.6663

HILLCREST BEHAVIORAL HEALTH  
 2450 STRONG ROAD SE, SALEM, OR 97302

OREGON BEHAVIORAL HOSPITAL, LLC

REVISION	DATE	REASON FOR ISSUE

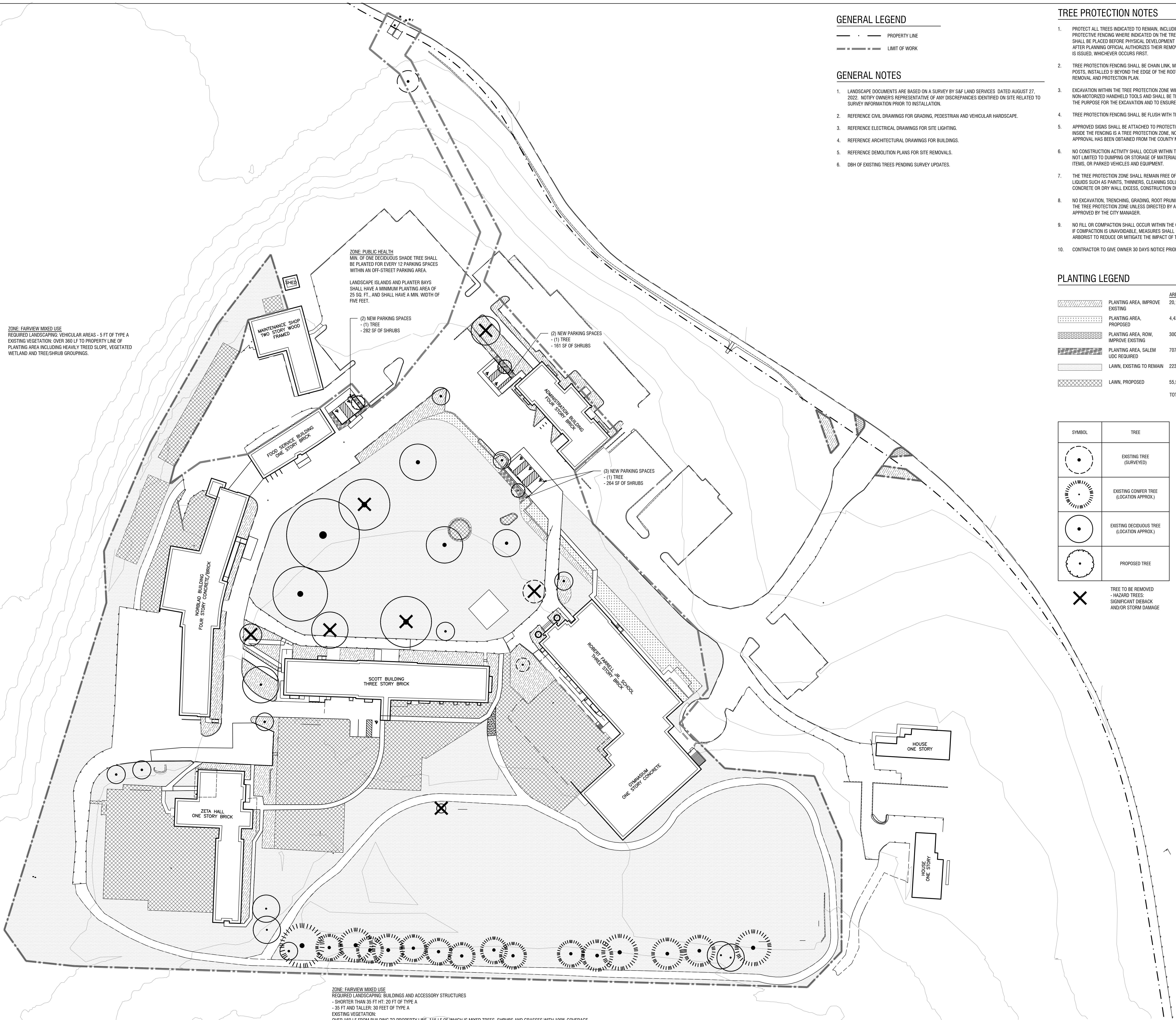


PRELIMINARY GRADING AND UTILITY PLAN  
 SITE PLAN REVIEW

DATE 03/01/22	PROJECT NUMBER 212020
SHEET NUMBER C3.00	

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 Site\_Central\_melindam6788.rvt

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ZONE: FAIRVIEW MIXED USE  
REQUIRED LANDSCAPING: VEHICULAR AREAS - 5 FT OF TYPE A EXISTING VEGETATION; OVER 360 LF TO PROPERTY LINE OF PLANTING AREA INCLUDING HEAVILY TREED SLOPE, VEGETATED WETLAND AND TREE/SHRUB GROUPINGS.

ZONE: PUBLIC HEALTH  
MIN. OF ONE DECIDUOUS SHADE TREE SHALL BE PLANTED FOR EVERY 12 PARKING SPACES WITHIN AN OFF-STREET PARKING AREA.  
LANDSCAPE ISLANDS AND PLANTER BAYS SHALL HAVE A MINIMUM PLANTING AREA OF 25 SQ. FT., AND SHALL HAVE A MIN. WIDTH OF FIVE FEET.

(2) NEW PARKING SPACES  
- (1) TREE  
- 282 SF OF SHRUBS

(2) NEW PARKING SPACES  
- (1) TREE  
- 181 SF OF SHRUBS

(3) NEW PARKING SPACES  
- (1) TREE  
- 284 SF OF SHRUBS

ZONE: FAIRVIEW MIXED USE  
REQUIRED LANDSCAPING: BUILDINGS AND ACCESSORY STRUCTURES  
- SHORTER THAN 25 FT HT: 20 FT OF TYPE A  
- 35 FT AND TALLER: 30 FEET OF TYPE A  
EXISTING VEGETATION:  
OVER 160 LF FROM BUILDING TO PROPERTY LINE, 115 LF OF WHICH IS MIXED TREES, SHRUBS AND GRASSES WITH 100% COVERAGE.

**GENERAL LEGEND**

- PROPERTY LINE
- LIMIT OF WORK

**GENERAL NOTES**

1. LANDSCAPE DOCUMENTS ARE BASED ON A SURVEY BY S&F LAND SERVICES DATED AUGUST 27, 2022. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES IDENTIFIED ON SITE RELATED TO SURVEY INFORMATION PRIOR TO INSTALLATION.
2. REFERENCE CIVIL DRAWINGS FOR GRADING, PEDESTRIAN AND VEHICULAR HARDSCAPE.
3. REFERENCE ELECTRICAL DRAWINGS FOR SITE LIGHTING.
4. REFERENCE ARCHITECTURAL DRAWINGS FOR BUILDINGS.
5. REFERENCE DEMOLITION PLANS FOR SITE REMOVALS.
6. DBH OF EXISTING TREES PENDING SURVEY UPDATES.

**TREE PROTECTION NOTES**

1. PROTECT ALL TREES INDICATED TO REMAIN, INCLUDING BARK AND ROOT ZONES. INSTALL PROTECTIVE FENCING WHERE INDICATED ON THE TREE PROTECTION PLAN. PROTECTIVE BARRIERS SHALL BE PLACED BEFORE PHYSICAL DEVELOPMENT STARTS AND SHALL STAY IN PLACE UNTIL AFTER PLANNING OFFICIAL AUTHORIZES THEIR REMOVAL OR A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED, WHICHEVER OCCURS FIRST.
2. TREE PROTECTION FENCING SHALL BE CHAIN LINK, MINIMUM OF 6' HEIGHT, SECURED WITH STEEL POSTS, INSTALLED 5' BEYOND THE EDGE OF THE ROOT ZONE OR AS INDICATED ON THE TREE REMOVAL AND PROTECTION PLAN.
3. EXCAVATION WITHIN THE TREE PROTECTION ZONE WILL BE PERFORMED USING ONLY NON-MOTORIZED HANDHELD TOOLS AND SHALL BE THE MINIMUM NECESSARY TO ACCOMPLISH THE PURPOSE OF THE EXCAVATION AND TO ENSURE LONG-TERM SURVIVAL OF THE TREE.
4. TREE PROTECTION FENCING SHALL BE FLUSH WITH THE INITIAL UNDISTURBED GRADE.
5. APPROVED SIGNS SHALL BE ATTACHED TO PROTECTION FENCING, AND VISIBLY STATING THAT INSIDE THE FENCING IS A TREE PROTECTION ZONE. NOT TO BE DISTURBED UNLESS PRIOR APPROVAL HAS BEEN OBTAINED FROM THE COUNTY MANAGER.
6. NO CONSTRUCTION ACTIVITY SHALL OCCUR WITHIN THE TREE PROTECTION ZONE, INCLUDING, BUT NOT LIMITED TO DUMPING OR STORAGE OF MATERIALS SUCH AS BUILDING SUPPLIES, SOIL, WASTE ITEMS, OR PARKED VEHICLES AND EQUIPMENT.
7. THE TREE PROTECTION ZONE SHALL REMAIN FREE OF CHEMICALLY INJURIOUS MATERIALS AND LIQUIDS SUCH AS PAINTS, THINNERS, CLEANING SOLUTIONS, PETROLEUM PRODUCTS, AND CONCRETE OR DRY WALL EXCESS, CONSTRUCTION DEBRIS, OR RUNOFF.
8. NO EXCAVATION, TRENCHING, GRADING, ROOT PRUNING OR OTHER ACTIVITY SHALL OCCUR WITHIN THE TREE PROTECTION ZONE UNLESS DIRECTED BY AN ARBORIST PRESENT ON SITE AND APPROVED BY THE CITY MANAGER.
9. NO FILL OR COMPACTION SHALL OCCUR WITHIN THE CRITICAL ROOT ZONES OF ANY OF THE TREES. IF COMPACTION IS UNAVOIDABLE, MEASURES SHALL BE TAKEN AS RECOMMENDED BY A CERTIFIED ARBORIST TO REDUCE OR MITIGATE THE IMPACT OF THE FILL OR COMPACTION.
10. CONTRACTOR TO GIVE OWNER 30 DAYS NOTICE PRIOR TO REMOVAL OF PLANTS TO BE RELOCATED.

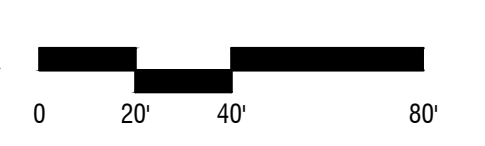
**PLANTING LEGEND**

	AREA
PLANTING AREA, IMPROVE EXISTING	20,138 SF
PLANTING AREA, PROPOSED	4,437 SF
PLANTING AREA, ROW, IMPROVE EXISTING	300 SF
PLANTING AREA, SALEM UDC REQUIRED	707 SF
LAWN, EXISTING TO REMAIN	223,531 SF
LAWN, PROPOSED	55,550 SF
<b>TOTAL:</b>	<b>304,663 SF (65% OF L.O.W.)</b>

SYMBOL	TREE
	EXISTING TREE (SURVIVED)
	EXISTING CONIFER TREE (LOCATION APPROX.)
	EXISTING DECIDUOUS TREE (LOCATION APPROX.)
	PROPOSED TREE

TREE TO BE REMOVED  
- HAZARD TREES;  
- SIGNIFICANT DIEBACK  
AND/OR STORM DAMAGE

**1 PLANTING - PLAN**  
SCALE: 1" = 40'-0"



**NOT FOR CONSTRUCTION**



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OREGON BEHAVIORAL HOSPITAL, LLC

REVISION	DATE	REASON FOR ISSUE

LANDSCAPING PLAN

SITE PLAN REVIEW

DATE: 03/01/22 PROJECT NUMBER: 212020

SHEET NUMBER: L1.00

