



NOTICE of FILING

LAND USE REQUEST AFFECTING THIS AREA

There is a development proposal for the property listed in this notice and shown on the attached map. The City is seeking input from neighbors on the proposal. If you have questions or comments about the proposal, contact the case manager.

Esta carta es un aviso sobre una propuesta de desarrollo para la propiedad enumerada y que se muestra en el mapa adjunto. La ciudad está buscando la opinión de los vecinos sobre la propuesta. Si tiene preguntas o comentarios sobre la propuesta, póngase en contacto con nosotros al 503-588-6213.

CASE NUMBER:	Class 3 Site Plan Review / Class 2 Adjustment / Class 2 Driveway Approach Permit Case No. SPR-ADJ-DAP23-28
PROPERTY LOCATION:	2195 Hyacinth St NE, Salem OR 97301
NOTICE MAILING DATE:	September 21, 2023
PROPOSAL SUMMARY:	A Class 3 Site Plan Review with two Class 2 Adjustments and one Class 2 Driveway Approach Permit for the development of a new mixed-use building.
COMMENT PERIOD:	All written comments must be submitted to City Staff no later than <u>5:00 p.m., THURSDAY, OCTOBER 5, 2023.</u> Please direct any questions and/or comments to the Case Manager listed below. Comments received after the close of the comment period will not be considered. Note: Comments submitted are <u>public record</u>. This includes any personal information provided in your comment such as name, email, physical address and phone number.
CASE MANAGER:	Peter Domine, Planner II , City of Salem Planning Division, 555 Liberty Street SE, Room 305, Salem, Oregon 97301. Telephone: 503-540-2311; E-mail: pdomine@cityofsalem.net
NEIGHBORHOOD ASSOCIATION:	<i>Neighborhood associations are volunteer organizations of neighbors coming together to make neighborhoods the best they can be. They receive notice of land use applications within their boundaries, and they often submit comments on the applications to the City. Neighborhood association meetings are open to everyone. Contact your neighborhood association to get involved:</i> Northgate Neighborhood Association; Email: northgateneighborhoodsalem@gmail.com .
ACCESS:	The Americans with Disabilities Act (ADA) accommodations will be provided on request.
CRITERIA TO BE CONSIDERED:	Salem Revised Code (SRC) Chapter(s) 220.005(e) – Class 3 Site Plan Review; 250.005(d) – Class 2 Adjustments; SRC 804.025(d) – Class 2 Driveway Approach Permit Salem Revised Code (SRC) is available to view at this link: http://bit.ly/salemorcode . Type in the chapter number(s) listed above to view the applicable criteria.

PROPERTY OWNER(S):	Back Line Properties LLC (Nathan Borchers)
APPLICANT(S):	Britany Randall, Brand Land Use
PROPOSAL REQUEST:	<p>A Class 3 Site Plan Review for the development of a new mixed-use building with ground floor commercial space and two floors of multiple-family residential use. The consolidated application also includes one Class 2 Driveway Approach Permit to redevelop an existing driveway access, and two Class 2 Adjustments to:</p> <ol style="list-style-type: none"> 1.) Reduce the required minimum 15 percent landscaping for the development site to the parcel containing the new building, per SRC 551.010(d)(3); and 2.) Reduce the required pedestrian connections between all buildings, parking areas, and to the streets of the development site, per SRC 800.065(a)(1, 2&3) <p>The subject property is 6.67-acres in size, zoned IC (Industrial Commercial) and located at 2195 Hyacinth St NE (Marion County Assessor's Map and Tax Lot Number 073W12B / 0200).</p>
APPLICATION PROCESS:	<p>Following the close of the Public Comment Period, a decision will be issued and mailed to the applicant, property owner, affected neighborhood association, anyone who submitted written comments, and anyone who received notice of the land use request.</p> <p>Failure to raise an issue in writing prior to the close of the Public Comment Period with sufficient specificity to provide the opportunity to respond to the issue, precludes appeal to the Land Use Board of Appeals (LUBA) on this issue. A similar failure to raise constitutional issues relating to proposed conditions of approval precludes an action for damages in circuit court.</p>
MORE INFORMATION:	All documents and evidence submitted by the applicant are available on the City's online Permit Application Center at https://permits.cityofsalem.net . You can use the search function without registering and enter the permit number listed here: 23 107826. Paper copies can be obtained for a reasonable cost.

PLEASE PROMPTLY FORWARD A COPY OF THIS NOTICE TO ANY OTHER OWNER, TENANT OR LESSEE
For more information about Planning in Salem:
<http://www.cityofsalem.net/planning>

It is the City of Salem's policy to assure that no person shall be discriminated against on the grounds of race, religion, color, sex, marital status, familial status, national origin, age, mental or physical disability, sexual orientation, gender identity and source of income, as provided by Salem Revised Code Chapter 97. The City of Salem also fully complies with Title VI of the Civil Rights Act of 1964, and related statutes and regulations, in all programs and activities. Disability-related modification or accommodation, including auxiliary aids or services, in order to participate in this meeting or event, are available upon request. Sign language and interpreters for languages other than English are also available upon request. To request such an accommodation or interpretation, contact the Community Development Department at 503-588-6173 at least three business days before this meeting or event.

TTD/TTY telephone 503-588-6439 is also available 24/7

REQUEST FOR COMMENTS

Si necesita ayuda para comprender esta información, por favor llame 503-588-6173

REGARDING: Class 3 Site Plan Review / Class 2 Adjustment / Class 2 Driveway Approach Permit Case No. SPR-ADJ-DAP23-28

PROJECT ADDRESS: 2195 Hyacinth St NE, Salem OR 97301

AMANDA Application No.: 23-107826-PLN

COMMENT PERIOD ENDS: Thursday, October 5, 2023 at 5:00 p.m.

SUMMARY: A Class 3 Site Plan Review with two Class 2 Adjustments and one Class 2 Driveway Approach Permit for the development of a new mixed-use building.

REQUEST: A Class 3 Site Plan Review for the development of a new mixed-use building with ground floor commercial space and two floors of multiple-family residential use. The consolidated application also includes one Class 2 Driveway Approach Permit to redevelop an existing driveway access, and two Class 2 Adjustments to:

- 1.) Reduce the required minimum 15 percent landscaping for the development site to the parcel containing the new building, per SRC 551.010(d)(3); and
- 2.) Reduce the required pedestrian connections between all buildings, parking areas, and to the streets of the development site, per SRC 800.065(a)(1, 2&3).

The subject property is 6.67-acres in size, zoned IC (Industrial Commercial) and located at 2195 Hyacinth St NE (Marion County Assessor's Map and Tax Lot Number 073W12B / 0200).

The Planning Division is interested in hearing from you about the attached proposal. Staff will prepare a Decision that includes consideration of comments received during this comment period. We are interested in receiving pertinent, factual information such as neighborhood association recommendations and comments of affected property owners or residents. The complete case file, including all materials submitted by the applicant and any applicable professional studies such as traffic impact analysis, geologic assessments, and stormwater reports, are available upon request.

Comments received by 5:00 p.m., Thursday, October 5, 2023 will be considered in the decision process. Comments received after this date will be not considered. Comments submitted are public record. This includes any personal information provided in your comment such as name, email, physical address and phone number. Mailed comments can take up to 7 calendar days to arrive at our office. To ensure that your comments are received by the deadline, we recommend that you e-mail your comments to the Case Manager listed below.

CASE MANAGER: Peter Domine, Planner II, City of Salem, Planning Division; 555 Liberty St SE, Room 305, Salem, OR 97301; Phone: 503-540-2311; E-Mail: pdomine@cityofsalem.net.

For information about Planning in Salem, please visit: <http://www.cityofsalem.net/planning>

PLEASE CHECK THE FOLLOWING THAT APPLY:

- 1. I have reviewed the proposal and have no objections to it.
- 2. I have reviewed the proposal and have the following comments: _____

Name/Agency: _____
 Address: _____
 Phone: _____
 Email: _____
 Date: _____

IMPORTANT: IF YOU MAIL COMMENTS, PLEASE FOLD AND RETURN THIS POSTAGE-PAID FORM



NO POSTAGE
NECESSARY
IF MAILED
IN THE
UNITED STATES

BUSINESS REPLY MAIL
FIRST-CLASS MAIL PERMIT NO. 1508 SALEM, OR

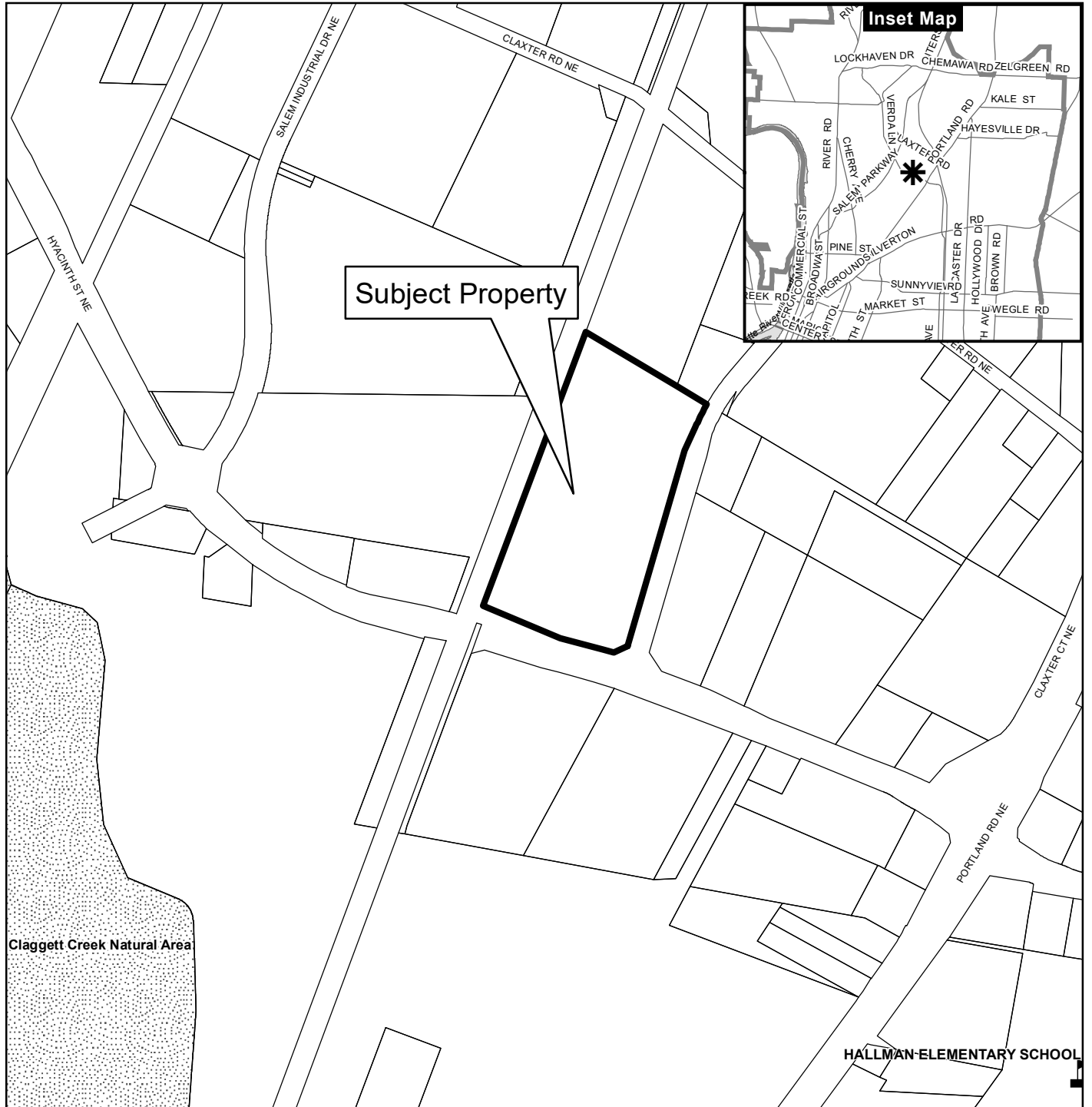
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PLANNING DIVISION
CITY OF SALEM RM 305
555 LIBERTY ST SE
SALEM OR 97301-9907










Vicinity Map

2195 Hyacinth St NE



Legend

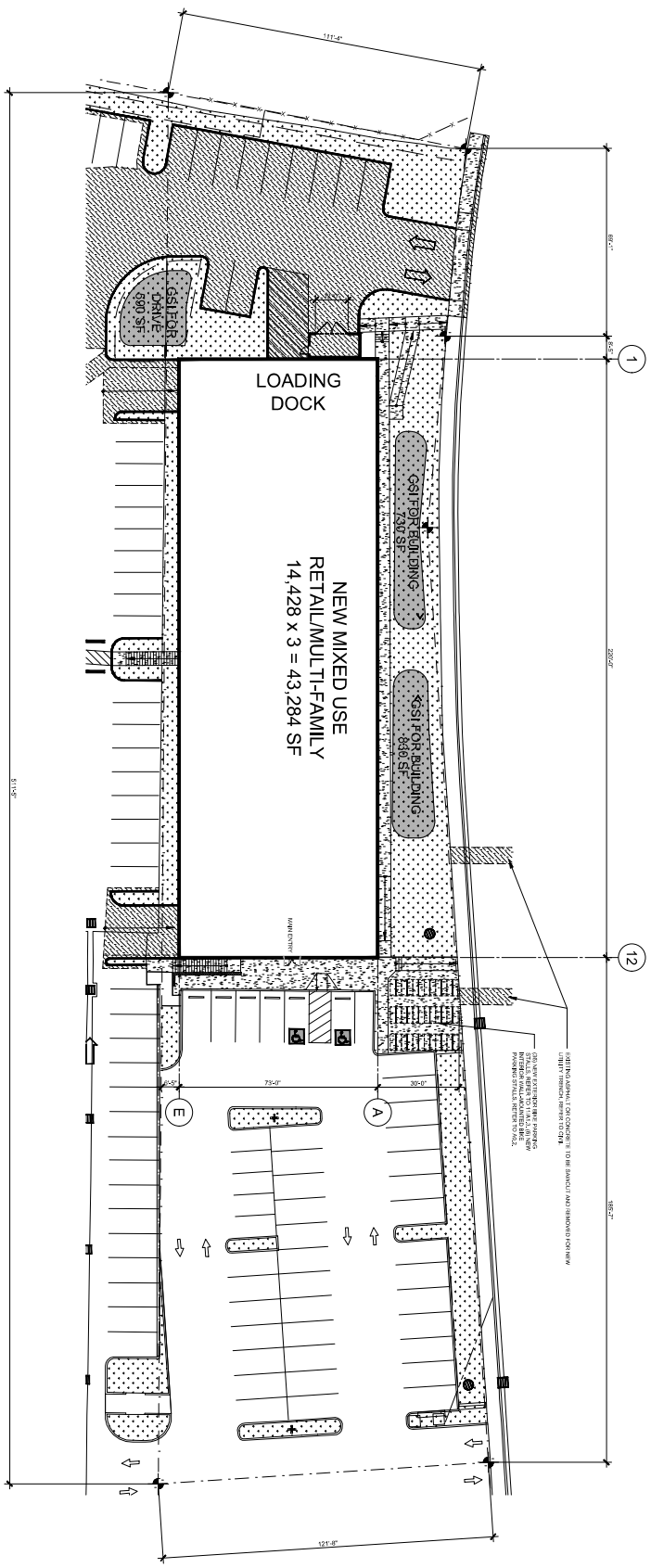
-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools
-  Parks



0 100 200 400 Feet



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LEGEND

	NEW CONCRETE MASONRY REFER TO THE DRAWINGS		NEW CONCRETE SLAB REFER TO THE DRAWINGS		NEW CONCRETE FOOTING REFER TO THE DRAWINGS		NEW CONCRETE FOUNDATION WALL REFER TO THE DRAWINGS
	NEW MASONRY REFER TO THE DRAWINGS		NEW BRICK REFER TO THE DRAWINGS		NEW BLOCK REFER TO THE DRAWINGS		NEW STONE REFER TO THE DRAWINGS
	NEW WINDOW REFER TO THE DRAWINGS		NEW DOOR REFER TO THE DRAWINGS		NEW STAIR REFER TO THE DRAWINGS		NEW RAILING REFER TO THE DRAWINGS
	NEW ROOF REFER TO THE DRAWINGS		NEW SIDING REFER TO THE DRAWINGS		NEW PAINT REFER TO THE DRAWINGS		NEW FINISH REFER TO THE DRAWINGS
	NEW LANDSCAPING REFER TO LANDSCAPE DRAWINGS		NEW TREE REFER TO THE DRAWINGS		NEW PLANT REFER TO THE DRAWINGS		NEW FERTILIZER REFER TO THE DRAWINGS
	NEW IRRIGATION REFER TO THE DRAWINGS		NEW DRAINAGE REFER TO THE DRAWINGS		NEW SEWER REFER TO THE DRAWINGS		NEW WATER REFER TO THE DRAWINGS
	NEW GAS REFER TO THE DRAWINGS		NEW ELECTRIC REFER TO THE DRAWINGS		NEW TELEPHONE REFER TO THE DRAWINGS		NEW CABLE REFER TO THE DRAWINGS
	NEW FIRE ALARM REFER TO THE DRAWINGS		NEW SECURITY REFER TO THE DRAWINGS		NEW ACCESS CONTROL REFER TO THE DRAWINGS		NEW VIDEO SURVEILLANCE REFER TO THE DRAWINGS
	NEW SIGNAGE REFER TO THE DRAWINGS		NEW LIGHTING REFER TO THE DRAWINGS		NEW SOUND REFER TO THE DRAWINGS		NEW AIR CONDITIONING REFER TO THE DRAWINGS
	NEW HEATING REFER TO THE DRAWINGS		NEW COOLING REFER TO THE DRAWINGS		NEW VENTILATION REFER TO THE DRAWINGS		NEW HUMIDITY CONTROL REFER TO THE DRAWINGS
	NEW ENERGY EFFICIENCY REFER TO THE DRAWINGS		NEW SUSTAINABILITY REFER TO THE DRAWINGS		NEW GREEN BUILDING REFER TO THE DRAWINGS		NEW LEED CERTIFICATION REFER TO THE DRAWINGS

- GENERAL NOTES:**
1. GENERAL NOTES APPLY TO ALL DRAWINGS.
 2. DIMENSIONS ARE TO FINISH FACE OF STUDS, FACE OF MASONRY AND FACE OF CONCRETE UNLESS OTHERWISE NOTED. CLEAR DIMENSIONS IS TO FACE OF STUDS OR FINISH MASONRY ONLY AND SHOULD NOT BE ASSUMED. VERIFY DIMENSIONS AND FINISHES OF ANY DIMENSIONS OR UNUSUAL DIMENSIONS FOR CLARIFICATION BEFORE PROCEEDING WITH SHOP OR FABRICATE WORK.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
 5. CONTRACTOR AND BIDDERS SHALL USE COMPLETE SETS OF CONTRACT DOCUMENTS AND SPECIFICATIONS TO PREPARE AND CONSTRUCT THE WORK.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
 7. THIS SHEET HAS BEEN PROVIDED BY THE OWNER. INFORMATION SHOWN HEREIN IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE AN OFFER OF INSURANCE OR FINANCIAL PROTECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

**CONSTRUCTION DOCUMENTS
NOT FOR CONSTRUCTION**

QC

ARCHITECTURE
COMMUNITY
1100 S.W. 11th St
Fort Lauderdale, FL 33315
TEL: 954.351.1122
WWW.QCARCHITECTURE.COM

JAY ROSE
BUILDING

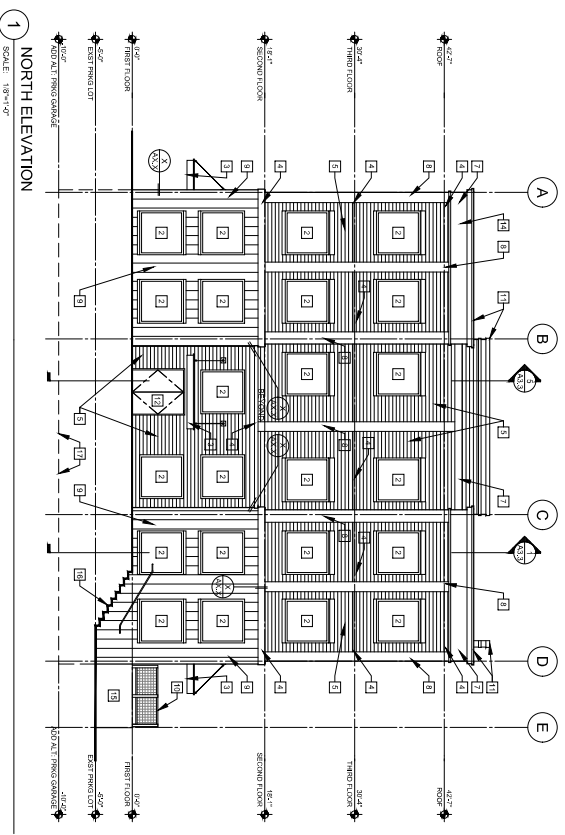
JOB NO. 2022-0042
DATE JAN 27, 2023
DRAWN SR
REVISIONS

3214 W. WASHINGTON ST.
SUNLAND OREGON 97131
SHEET
A1.2

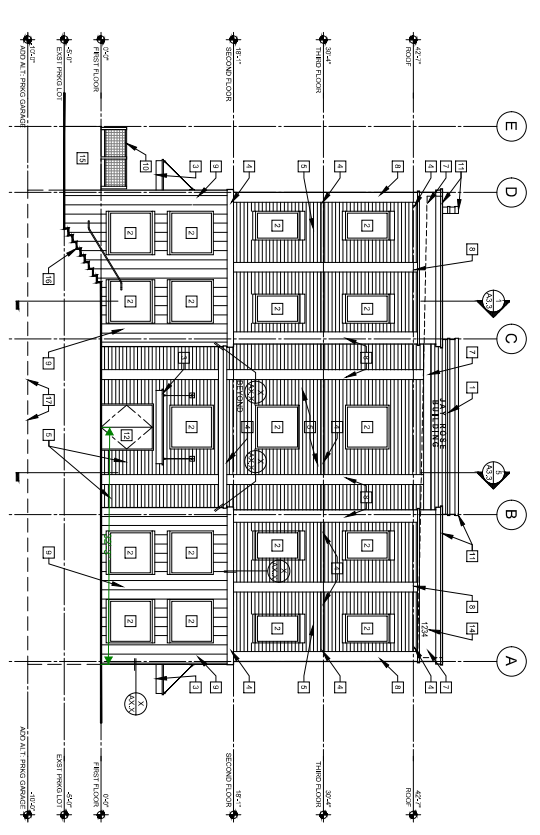
- REFERENCE NOTES**
- 1) OFF-BRACKET STEEL TO BE SHOWN IN ALL DRAWINGS
 - 2) WINDOW PER PLAN
 - 3) STEEL COLUMN PAINT
 - 4) RIBBED CONCRETE TYPICAL PAINT
 - 5) RIBBED CONCRETE LAP BRIDGE PAINT
 - 6) OVERLAY ON DRAWN, REF. TO PLUMBING DRAWINGS
 - 7) RIBBED CONCRETE FACIAL PAINT
 - 8) COLUMN PER STRUCTURAL PLAN

- 9) PER STRUCTURAL PAINT, SPRAY
- 10) GALVANIZED SQUARE BAR
- 11) PER FINISHED SHOWER CAP FINISHING
- 12) PER FINISHED SHOWER CAP FINISHING
- 13) ROOM PER PLAN
- 14) PER FINISHED SHEET METAL SLOPPER AND DOWNSPOUT
- 15) TYPICAL CAST METAL NUMBER
- 16) WALL PER PLAN DRAWINGS
- 17) FLOOR PER PLAN
- 18) ACTIVITY ALTERNATE NO. 1 FINISHING SQUARE BELOW

- GENERAL NOTES**
1. GENERAL NOTES APPLY TO ALL DRAWINGS.
 2. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. FINISHES ARE TO BE AS SHOWN UNLESS OTHERWISE NOTED.
 4. IN CASE OF ANY CONFLICTS, THE REQUIREMENTS OF THE CONTRACT DOCUMENTS SHALL TAKE PRECEDENCE OVER THE DRAWINGS.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 6. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
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1 NORTH ELEVATION
SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION
SCALE: 1/8"=1'-0"

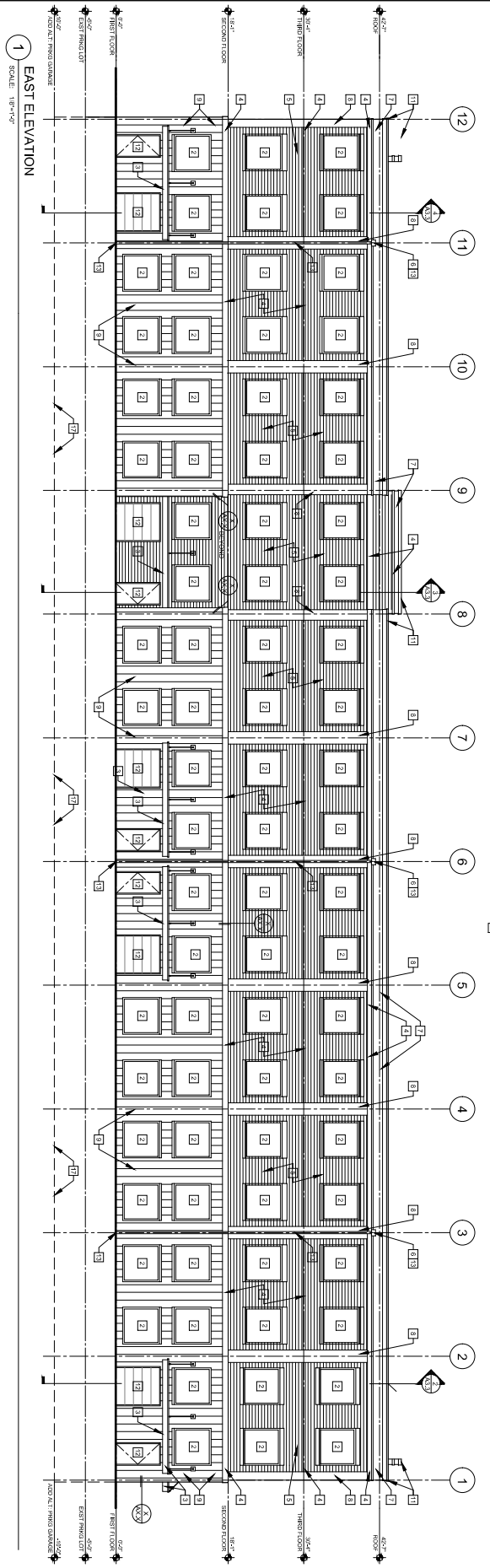
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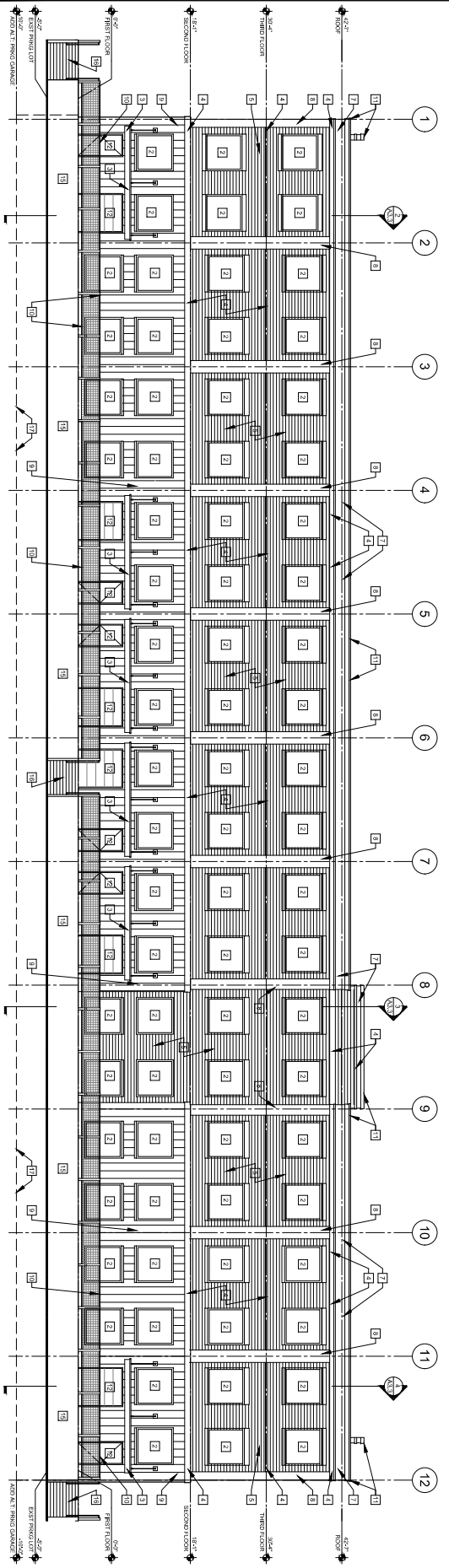
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SUITE 100
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303.733.8888
www.acarch.com

JAY ROSE
BUILDING

2571 S. HYACINTH ST.
STEELE BRICKSON STUDIO
SHEET
A3.1



1 EAST ELEVATION
SCALE: 1/8"=1'-0"



2 WEST ELEVATION
SCALE: 1/8"=1'-0"

- REFERENCE NOTES:**
- 1 0723 STAIRS REFER TO RESIDENTIAL DRAWINGS
 - 2 WINDOW PER PLAN
 - 3 STEEL CLAMP/PISTON
 - 4 FIBERGLASS TRIM PAINT
 - 5 FIBERGLASS TRIM PAINT
 - 6 OVERLAP SHOWN REFER TO PLUMBING DRAWINGS
 - 7 FIBERGLASS TRIM PAINT
 - 8 COLUMN PER STRUCTURAL PLAN
 - 9 PRECASTED VERTICAL PANEL JOINT
 - 10 COLUMN PER PLAN
 - 11 PRECASTED PANELER CAST IN PLACE
 - 12 ROOF PER PLAN
 - 13 PRECASTED PERFORM WITH SCAFFOLD AND CONCRETE
 - 14 FILL CAST WITH INVERT
 - 15 WALL PER CIVIL DRAWINGS
 - 16 STAIR PER PLAN
 - 17 ADJUSTIVE ALTERNATE NO. 1 FLOORING GARAGE BELOW

- GENERAL NOTES:**
1. GENERAL NOTES AND TO ALL DRAWINGS
 2. DIMENSIONS ARE TO FINISH FACE OF WALL, FACE OF CURB, FINISH AND VERTICAL FINISH CONCRETE UNLESS NOTED OTHERWISE.
 3. DIMENSIONS ARE TO FINISH FACE OF CURB UNLESS NOTED OTHERWISE.
 4. IN CASE OF ANY CONFLICTS IN THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT IMMEDIATELY TO RESOLVE THE CONFLICT.
 5. CONTRACTOR AND SUBS SHALL USE COMMON ESTIMATING PRACTICES TO DETERMINE THE QUANTITY OF MATERIALS TO BE ORDERED.
 6. MATERIALS AND METHODS SHALL BE APPROVED BY THE ARCHITECT BEFORE CONSTRUCTION.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
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 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

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DATE JAN 27, 2023
DRAWN SR
REVISIONS

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