



NOTICE of FILING

LAND USE REQUEST AFFECTING THIS AREA

There is a development proposal for the property listed in this notice and shown on the attached map. The City is seeking input from neighbors on the proposal. If you have questions or comments about the proposal, contact the case manager.

Esta carta es un aviso sobre una propuesta de desarrollo para la propiedad enumerada y que se muestra en el mapa adjunto. La ciudad está buscando la opinión de los vecinos sobre la propuesta. Si tiene preguntas o comentarios sobre la propuesta, póngase en contacto con nosotros al 503-588-6213.

CASE NUMBER:	Class 2 Minor Historic Design Review Case No. HIS23-16
PROPERTY LOCATION:	1474 Court St NE, Salem OR 97301
NOTICE MAILING DATE:	September 28, 2023
PROPOSAL SUMMARY:	A proposal to replace the rear porch on the rear of the Mills House (c.1909).
COMMENT PERIOD:	All written comments must be submitted to City Staff no later than 5:00 p.m. Thursday, October 12, 2023. Please direct any questions and/or comments to the Case Manager listed below. Comments received after the close of the comment period will not be considered. Note: Comments submitted are <u>public record</u>. This includes any personal information provided in your comment such as name, email, physical address and phone number.
CASE MANAGER:	Kimberli Fitzgerald, Historic Preservation Officer , City of Salem Planning Division, 555 Liberty Street SE, Room 305, Salem, Oregon 97301. Telephone: 503-540-2397; E-mail: kfitzgerald@cityofsalem.net
NEIGHBORHOOD ASSOCIATION:	<i>Neighborhood associations are volunteer organizations of neighbors coming together to make neighborhoods the best they can be. They receive notice of land use applications within their boundaries, and they often submit comments on the applications to the City. Neighborhood association meetings are open to everyone. Contact your neighborhood association to get involved:</i> Northeast Neighbors (NEN), Laura Buhl, Land Use Co-Chair; Email: buhll@yahoo.com . Northeast Neighbors (NEN), Joan Lloyd, Historic Land Use; Email: jello879@gmail.com .
ACCESS:	The Americans with Disabilities Act (ADA) accommodations will be provided on request.
CRITERIA TO BE CONSIDERED:	Salem Revised Code (SRC) Chapter(s) 230.025(d) – Porches Salem Revised Code (SRC) is available to view at this link: http://bit.ly/salemorcode . Type in the chapter number(s) listed above to view the applicable criteria.

PROPERTY OWNER(S):	Patricia Caswell
APPLICANT(S):	Leah McMillan
PROPOSAL REQUEST:	Class 2 Minor Historic Design Review of a proposal to replace the rear porch and siding, wall cap and half wall, on the rear of the Mill House (c 1909), a historic contributing building in the Court Chemeketa Historic District, in the RS (Single Family Residential) zone and located at 1474 Court Street NE - 97301 (Marion County Assessor Map and Tax Lot Number: 073W26BD03200).
APPLICATION PROCESS:	<p>Following the close of the Public Comment Period, a decision will be issued and mailed to the applicant, property owner, affected neighborhood association, anyone who submitted written comments, and anyone who received notice of the land use request.</p> <p>Failure to raise an issue in writing prior to the close of the Public Comment Period with sufficient specificity to provide the opportunity to respond to the issue, precludes appeal to the Land Use Board of Appeals (LUBA) on this issue. A similar failure to raise constitutional issues relating to proposed conditions of approval precludes an action for damages in circuit court.</p>
MORE INFORMATION:	All documents and evidence submitted by the applicant are available on the City's online Permit Application Center at https://permits.cityofsalem.net . You can use the search function without registering and enter the permit number listed here: 23 118053. Paper copies can be obtained for a reasonable cost.

PLEASE PROMPTLY FORWARD A COPY OF THIS NOTICE TO ANY OTHER OWNER, TENANT OR LESSEE

For more information about Planning in Salem:

<http://www.cityofsalem.net/planning>

It is the City of Salem's policy to assure that no person shall be discriminated against on the grounds of race, religion, color, sex, marital status, familial status, national origin, age, mental or physical disability, sexual orientation, gender identity and source of income, as provided by Salem Revised Code Chapter 97. The City of Salem also fully complies with Title VI of the Civil Rights Act of 1964, and related statutes and regulations, in all programs and activities. Disability-related modification or accommodation, including auxiliary aids or services, in order to participate in this meeting or event, are available upon request. Sign language and interpreters for languages other than English are also available upon request. To request such an accommodation or interpretation, contact the Community Development Department at 503-588-6173 at least three business days before this meeting or event.

TTD/TTY telephone 503-588-6439 is also available 24/7

REQUEST FOR COMMENTS

Si necesita ayuda para comprender esta información, por favor llame 503-588-6173

REGARDING: Class 2 Minor Historic Design Review Case No. HIS23-16

PROJECT ADDRESS: 1474 Court St NE, Salem OR 97301

AMANDA Application No.: 23-118053-PLN

COMMENT PERIOD ENDS: October 12, 2023 at 5:00 p.m.

SUMMARY: A proposal to replace the rear porch on the rear of the Mills House (c.1909).

REQUEST: Class 2 Minor Historic Design Review of a proposal to replace the rear porch and siding, wall cap and half wall, on the rear of the Mill House (c 1909), a historic contributing building in the Court Chemeketa Historic District, in the RS (Single Family Residential) zone and located at 1474 Court Street NE - 97301 (Marion County Assessor Map and Tax Lot Number: 073W26BD03200).

The Planning Division is interested in hearing from you about the attached proposal. Staff will prepare a Decision that includes consideration of comments received during this comment period. We are interested in receiving pertinent, factual information such as neighborhood association recommendations and comments of affected property owners or residents. The complete case file, including all materials submitted by the applicant and any applicable professional studies such as traffic impact analysis, geologic assessments, and stormwater reports, are available upon request.

Comments received by 5:00 p.m. Thursday, October 12, 2023, will be considered in the decision process. Comments received after this date will be not considered. *Comments submitted are public record. This includes any personal information provided in your comment such as name, email, physical address and phone number. Mailed comments can take up to 7 calendar days to arrive at our office. To ensure that your comments are received by the deadline, we recommend that you e-mail your comments to the Case Manager listed below.*

CASE MANAGER: Kimberli Fitzgerald, Historic Preservation Officer, City of Salem, Planning Division; 555 Liberty St SE, Room 305, Salem, OR 97301; Phone: 503-540-2397; E-Mail: kfitzgerald@cityofsalem.net.

For information about Planning in Salem, please visit: <http://www.cityofsalem.net/planning>

PLEASE CHECK THE FOLLOWING THAT APPLY:

- 1. I have reviewed the proposal and have no objections to it.
- 2. I have reviewed the proposal and have the following comments: _____

Name/Agency: _____

Address: _____

Phone: _____

Email: _____

Date: _____

IMPORTANT: IF YOU MAIL COMMENTS, PLEASE FOLD AND RETURN THIS POSTAGE-PAID FORM



NO POSTAGE
NECESSARY
IF MAILED
IN THE
UNITED STATES

BUSINESS REPLY MAIL
FIRST-CLASS MAIL PERMIT NO. 1508 SALEM, OR

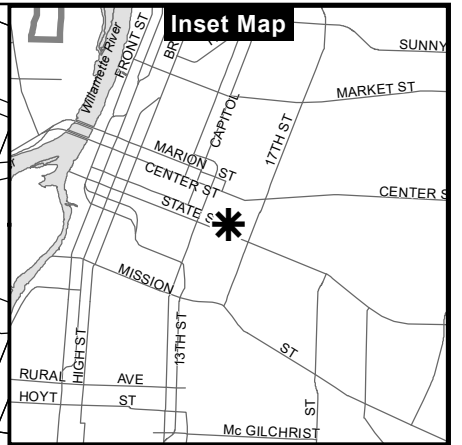
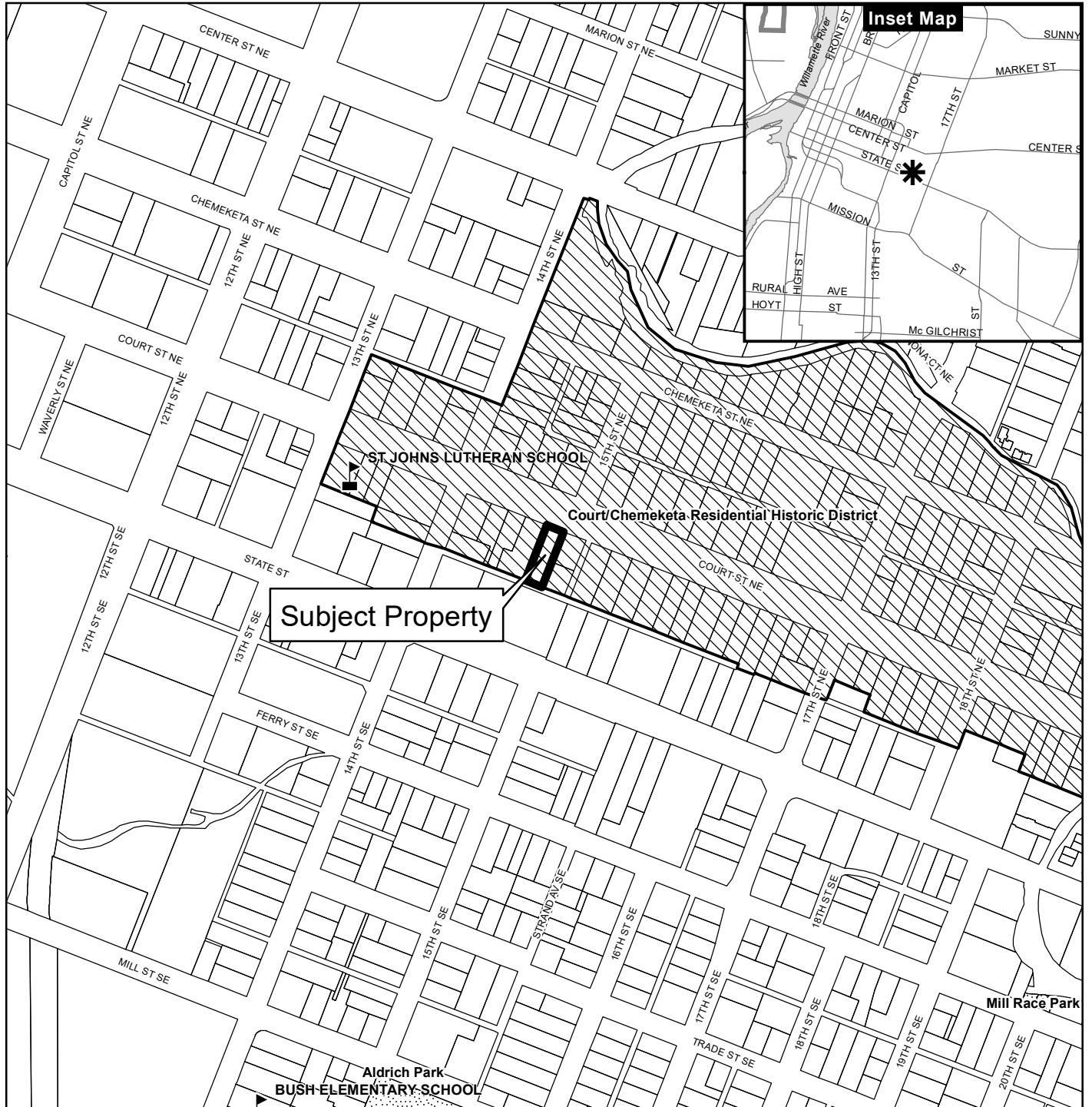
POSTAGE WILL BE PAID BY ADDRESSEE

PLANNING DIVISION
CITY OF SALEM RM 305
555 LIBERTY ST SE
SALEM OR 97301-9907










Vicinity Map

1474 Court Street NE (073W26BD03200)



Legend

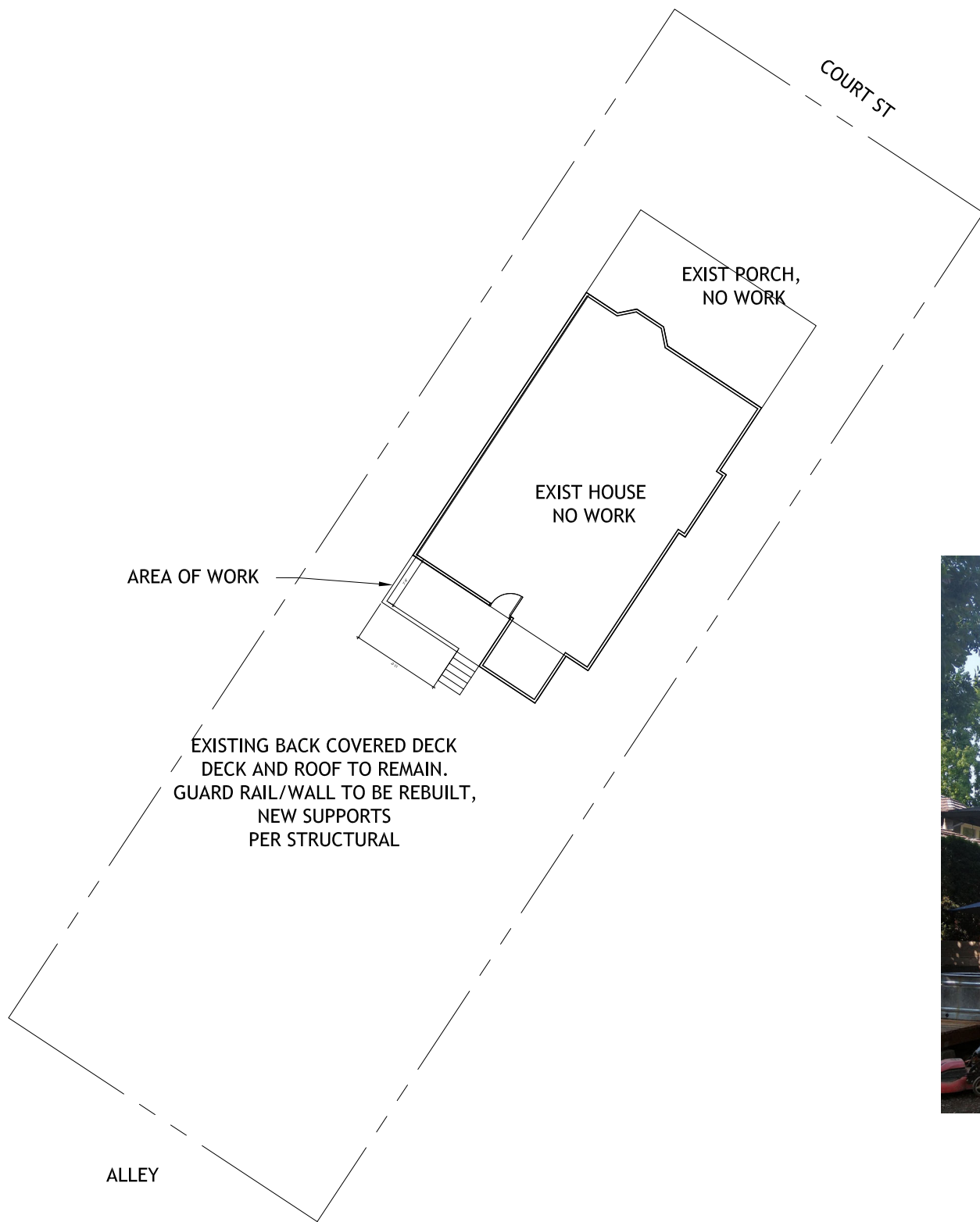
-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools
-  Parks


CITY OF Salem
 AT YOUR SERVICE
 Community Development Dept.

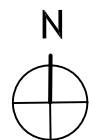
0 100 200 400 Feet



This product is provided as is, without warranty. In no event is the City of Salem liable for damages from the use of this product. This product is subject to license and copyright limitations and further distribution or resale is prohibited.



1 SITE PLAN
1" = 20'



ROT REMOVED,
CURRENT STATE, READY
TO REPAIR



HALF WALL AND MATCHING SIDING AND
SILL BEFORE REMOVED DUE TO ROT

PROJECT INFO

ZONE RS

SCOPE OF WORK: REMOVE ROTTEN MEMBERS AND REPLACE STRUCTURAL POSTS AS NEEDED, REPLACE HALF WALL AND CAP AND REINSTALL OR REPLACE WOOD LAP SIDING.

NO NEW SQUARE FOOTAGE.

OWNER:
PATRICIA CASWELL
1474 COURT ST NE
SALEM, OR

ARCHITECT:
MILL CREEK ARCHITECTURE, LLC
CONTACT: LEAH McMILLAN
503.580.4171

CONTRACTOR:
OWNER

ENGINEER: WILLAMETTE ENGINEERING



503-580-4171
leah@milccreekarch.com



CASWELL PORCH
1474 COURT ST NE
SALEM, OR

A1.1

9/5/23
SITE/FLOOR PLAN

If bar is not 1"
drawing is not to scale.

Historic Alteration Review Worksheet

Site Address: _____

Resource Status: Contributing Non- Contributing Individual Landmark

Type of Work Activity Proposed: Major Minor

Chose One: Commercial District Individual Resource Public District
Residential District Sign

Replacement, Alteration, Restoration or Addition of:

Architectural Feature:

- Awning
- Door
- Exterior Trim, Lintel
- Other architectural feature _____
- Roof/Cornice
- Masonry/Siding
- Storefront
- Window(s) Number of windows: _____

Landscape Feature:

- Fence
- Streetscape
- Other Site feature (describe) _____

New:

- Addition
- Accessory Structure
- Sign
- Mural
- Accessibility Ramp
- Energy Improvements
- Mechanical Equipment
- Primary Structure

Will the proposed alteration be visible from any public right-of-way? Yes No

Project's Existing Material: _____ Project's New Material: _____

Project Description

Briefly provide an overview of the type of work proposed. Describe how it meets the applicable design criteria in SRC Chapter 230. Please attach any additional information (i.e., product specification sheets) that will help staff and the HLC clearly understand the proposed work:

Signature of Applicant 

Date Submitted/Signed

Narrative Response Class 1 or Class 2 Administrative Historic Design Review
Residential Contributing Historic Resources

230.030 (d) Porches. *Replacement of porches on historic contributing buildings shall be allowed only where the owner has attempted to repair the original porch, but repair was not feasible due to the poor condition of the original materials. If the porch is not original then every effort shall be made to replicate the original porch; the effort shall be substantiated by historic, physical, or pictorial evidence. If the porch cannot be replicated, then it should be of a compatible design and material.*

(1) Materials.

(A) *All features of the porch shall be replaced with material that duplicate, to the greatest degree possible, the appearance and structural qualities of the original porch.*

Response:

The porch and roof are remaining.

The half wall on the porch was removed to find the rot. It will be rebuilt and have the same siding as the house and a wall cap similar to what was removed. The supporting posts will be replaced per structural engineering.

(2) Design. *The overall design of the porch shall reproduce, to the greatest degree possible, the appearance of the original porch.*

Response:

The porch is remaining. The half wall that included a post to support the roof above was removed due to rot from windows that were added to enclose the space. The post will be replaced and other structural members are being evaluated. The intent is to put the wall back together with a cap and a post and use the same siding that is on the house and was on the lower wall.



Narrative Response Class 1 or Class 2 Administrative Historic Design Review
Residential Contributing Historic Resources

Additional Required Submittal Materials

Photos (Historic pictures or photos of Existing Porch (Prior to Alteration))

Site Plan and Renderings – provided A0.1

Material Spec Sheets and/or photos of proposed new materials – all like materials

Historic Alteration Worksheet - completed

Additional photos of damaged wood:

