



NOTICE of FILING

LAND USE REQUEST AFFECTING THIS AREA

There is a development proposal for the property listed in this notice and shown on the attached map. The City is seeking input from neighbors on the proposal. If you have questions or comments about the proposal, contact the case manager.

Esta carta es un aviso sobre una propuesta de desarrollo para la propiedad enumerada y que se muestra en el mapa adjunto. La ciudad está buscando la opinión de los vecinos sobre la propuesta. Si tiene preguntas o comentarios sobre la propuesta, póngase en contacto con nosotros al 503-588-6213.

CASE NUMBER:	Class 3 Site Plan Review / Class 2 Adjustment / Class 2 Driveway Approach Permit / Tree and Vegetation Removal Permit Case No. SPR-ADJ-DAP-TRP23-29
PROPERTY LOCATION:	2100 block of Gaia Street SE, Salem OR 97317
NOTICE MAILING DATE:	October 18, 2023
PROPOSAL SUMMARY:	Proposed development of a new building and site improvements intended for a construction contracting use.
COMMENT PERIOD:	All written comments must be submitted to City Staff no later than <u>5:00 p.m., November 1, 2023</u>. Please direct any questions and/or comments to the Case Manager listed below. Comments received after the close of the comment period will not be considered. Note: Comments submitted are <u>public record</u>. This includes any personal information provided in your comment such as name, email, physical address and phone number.
CASE MANAGER:	Jacob Brown, Planner I , City of Salem Planning Division, 555 Liberty Street SE, Room 305, Salem, Oregon 97301. Telephone: 503-540-2347; E-mail: jrbrown@cityofsalem.net
NEIGHBORHOOD ASSOCIATION:	<i>Neighborhood associations are volunteer organizations of neighbors coming together to make neighborhoods the best they can be. They receive notice of land use applications within their boundaries, and they often submit comments on the applications to the City. Neighborhood association meetings are open to everyone. Contact your neighborhood association to get involved:</i> Southeast Mill Creek Association (SEMCA), Alan Rasmussen, Land Use Chair; Phone: 503-930-1968; Email: arasmussen@modernbuildingsystems.com .
ACCESS:	The Americans with Disabilities Act (ADA) accommodations will be provided on request.
CRITERIA TO BE CONSIDERED:	Salem Revised Code (SRC) Chapter(s) 220.005(f)(3) – Class 3 Site Plan Review; 250.005(d) – Class 2 Adjustment; 804.025(d) – Class 2 Driveway Approach Permit; 808.030(d) – Tree and Vegetation Removal Permit Salem Revised Code (SRC) is available to view at this link: http://bit.ly/salemorcode . Type in the chapter number(s) listed above to view the applicable criteria.

PROPERTY OWNER(S):	Alyce and Richard Bush
APPLICANT(S):	Britany Randall, on behalf of Brand Land Use
PROPOSAL REQUEST:	<p>A Class 3 Site Plan Review, Class 2 Adjustment, Class 2 Driveway Approach Permit, and Tree Removal Permit for development of a new building and site improvements containing a building and grounds services and construction contracting use with three Class 2 Adjustment requests to:</p> <ol style="list-style-type: none"> 1) Reduce the required vehicle use area setback under SRC 552.010(c) from 10 feet to five feet. 2) Reduce the minimum required setback under SRC806.035(c)(4) for vehicle use areas abutting a building from five feet to zero; and 3) Increase maximum allowed off-street parking spaces of SRC 806.015 (a)(1) from four to 12. <p>For property approximately 2.65 acres in size, zoned IG (General Industrial), and located at 2100 block of Gaia St SE 97317 (Marion County Assessors Map and Tax Lot number: 082W04B0 / 02802).</p>
APPLICATION PROCESS:	<p>Following the close of the Public Comment Period, a decision will be issued and mailed to the applicant, property owner, affected neighborhood association, anyone who submitted written comments, and anyone who received notice of the land use request.</p> <p>Failure to raise an issue in writing prior to the close of the Public Comment Period with sufficient specificity to provide the opportunity to respond to the issue, precludes appeal to the Land Use Board of Appeals (LUBA) on this issue. A similar failure to raise constitutional issues relating to proposed conditions of approval precludes an action for damages in circuit court.</p>
MORE INFORMATION:	All documents and evidence submitted by the applicant are available on the City's online Permit Application Center at https://permits.cityofsalem.net . You can use the search function without registering and enter the permit number listed here: 23 112165. Paper copies can be obtained for a reasonable cost.

PLEASE PROMPTLY FORWARD A COPY OF THIS NOTICE TO ANY OTHER OWNER, TENANT OR LESSEE
For more information about Planning in Salem:
<http://www.cityofsalem.net/planning>

It is the City of Salem's policy to assure that no person shall be discriminated against on the grounds of race, religion, color, sex, marital status, familial status, national origin, age, mental or physical disability, sexual orientation, gender identity and source of income, as provided by Salem Revised Code Chapter 97. The City of Salem also fully complies with Title VI of the Civil Rights Act of 1964, and related statutes and regulations, in all programs and activities. Disability-related modification or accommodation, including auxiliary aids or services, in order to participate in this meeting or event, are available upon request. Sign language and interpreters for languages other than English are also available upon request. To request such an accommodation or interpretation, contact the Community Development Department at 503-588-6173 at least three business days before this meeting or event.

TTD/TTY telephone 503-588-6439 is also available 24/7

REQUEST FOR COMMENTS

Si necesita ayuda para comprender esta información, por favor llame 503-588-6173

REGARDING: Class 3 Site Plan Review / Class 2 Adjustment / Class 2 Driveway Approach Permit, and Tree and Vegetation Removal Permit Case No. SPR-ADJ-DAP-TRP23-29

PROJECT ADDRESS: 2100 Block of Gaia St SE, Salem OR 97317

AMANDA Application No.: 23-112165-PLN

COMMENT PERIOD ENDS: November 1, 2023 at 5:00 p.m.

SUMMARY: Proposed development of a new building and site improvements intended for a construction contracting use.

REQUEST: A Class 3 Site Plan Review, Class 2 Adjustment, Class 2 Driveway Approach Permit, and Tree Removal Permit for development of a new building and site improvements containing a building and grounds services and construction contracting use with three Class 2 Adjustment requests to:

- 1) Reduce the required vehicle use area setback under SRC 552.010(c) from 10 feet to five feet.
- 2) Reduce the minimum required setback under SRC806.035(c)(4) for vehicle use areas abutting a building from five feet to zero; and
- 3) Increase maximum allowed off-street parking spaces of SRC 806.015 (a)(1) from four to 12.

For property approximately 2.65 acres in size, zoned IG (General Industrial), and located at 2100 block of Gaia Street SE 97317 (Marion County Assessors Map and Tax Lot number: 082W04B0 / 02802).

The Planning Division is interested in hearing from you about the attached proposal. Staff will prepare a Decision that includes consideration of comments received during this comment period. We are interested in receiving pertinent, factual information such as neighborhood association recommendations and comments of affected property owners or residents. The complete case file, including all materials submitted by the applicant and any applicable professional studies such as traffic impact analysis, geologic assessments, and stormwater reports, are available upon request.

Comments received by 5:00 p.m., November 1, 2023, will be considered in the decision process. Comments received after this date will be not considered. *Comments submitted are public record. This includes any personal information provided in your comment such as name, email, physical address and phone number. Mailed comments can take up to 7 calendar days to arrive at our office. To ensure that your comments are received by the deadline, we recommend that you e-mail your comments to the Case Manager listed below.*

CASE MANAGER: Jacob Brown, Planner I, City of Salem, Planning Division; 555 Liberty St SE, Room 305, Salem, OR 97301; Phone: 503-540-2347; E-Mail: jbrown@cityofsalem.net.

For information about Planning in Salem, please visit: <http://www.cityofsalem.net/planning>

PLEASE CHECK THE FOLLOWING THAT APPLY:

- 1. I have reviewed the proposal and have no objections to it.
- 2. I have reviewed the proposal and have the following comments: _____

Name/Agency: _____
 Address: _____
 Phone: _____
 Email: _____
 Date: _____

IMPORTANT: IF YOU MAIL COMMENTS, PLEASE FOLD AND RETURN THIS POSTAGE-PAID FORM



NO POSTAGE
NECESSARY
IF MAILED
IN THE
UNITED STATES

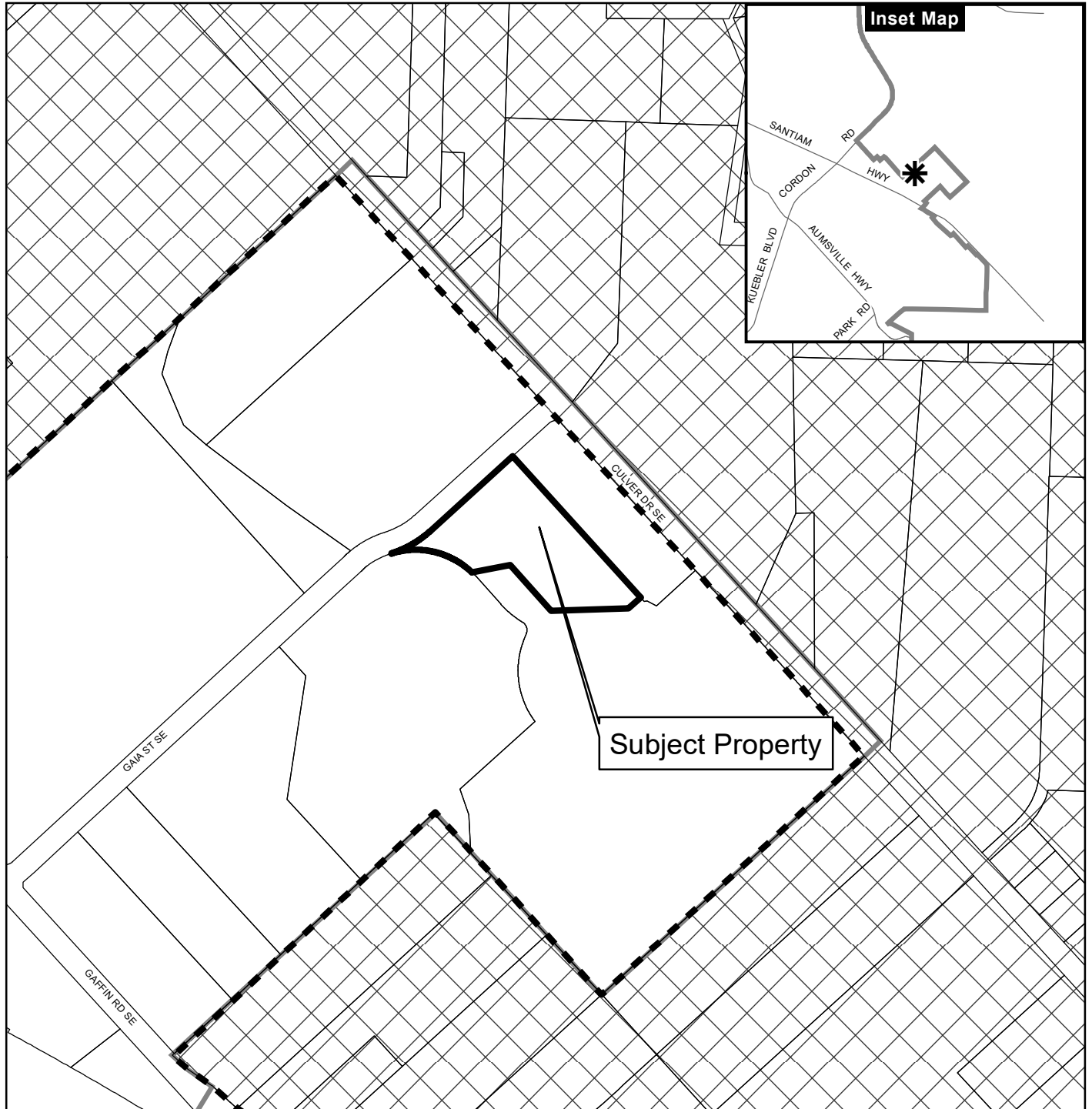
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PLANNING DIVISION
CITY OF SALEM RM 305
555 LIBERTY ST SE
SALEM OR 97301-9907



Vicinity Map 2100 Block of Gaia Street SE



Legend

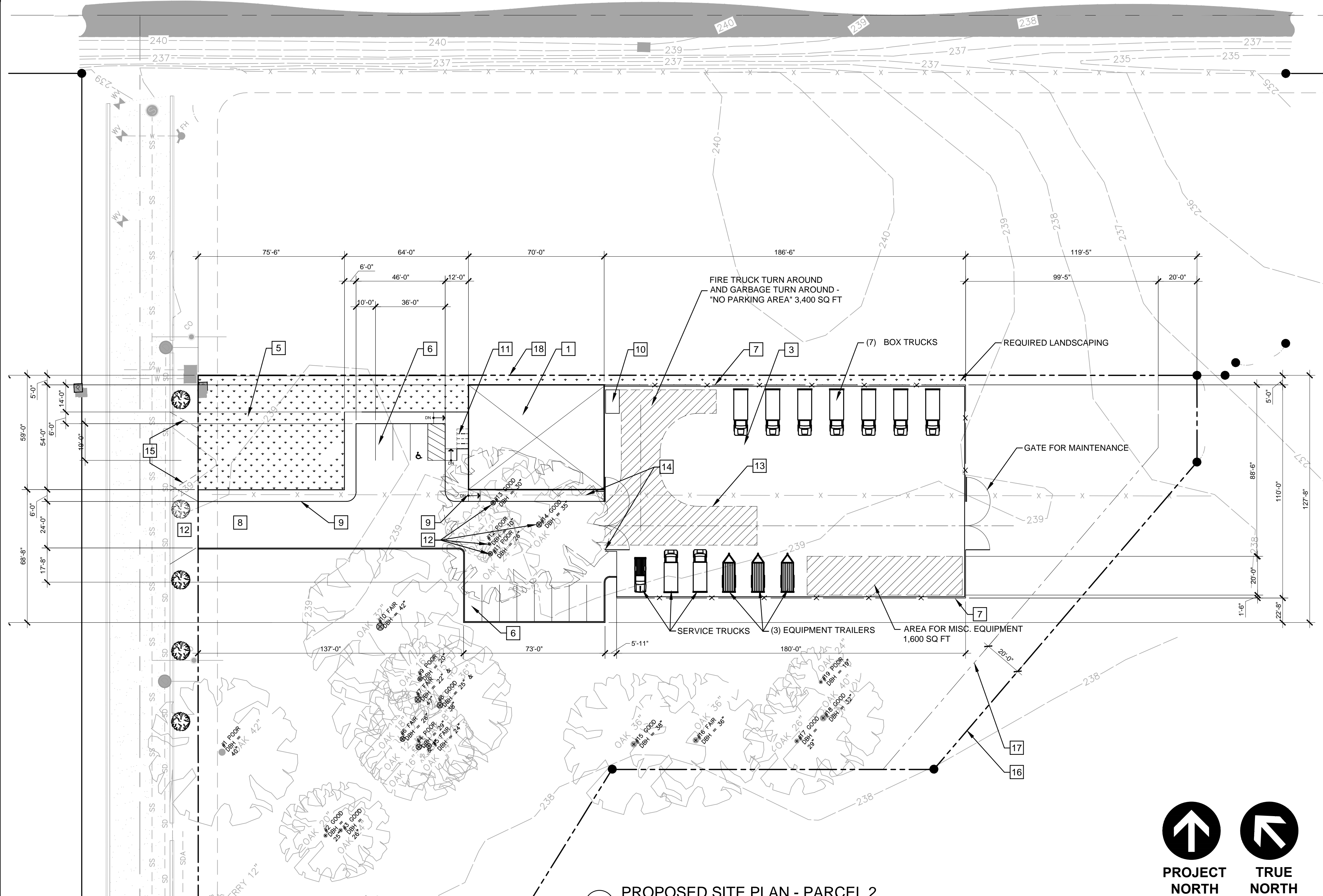
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|-----------------------|---------------------------|-------|
| Taxlots | Outside Salem City Limits | Parks |
| Urban Growth Boundary | Historic District | |
| City Limits | Schools | |

CITY OF Salem
 AT YOUR SERVICE
 Community Development Dept.

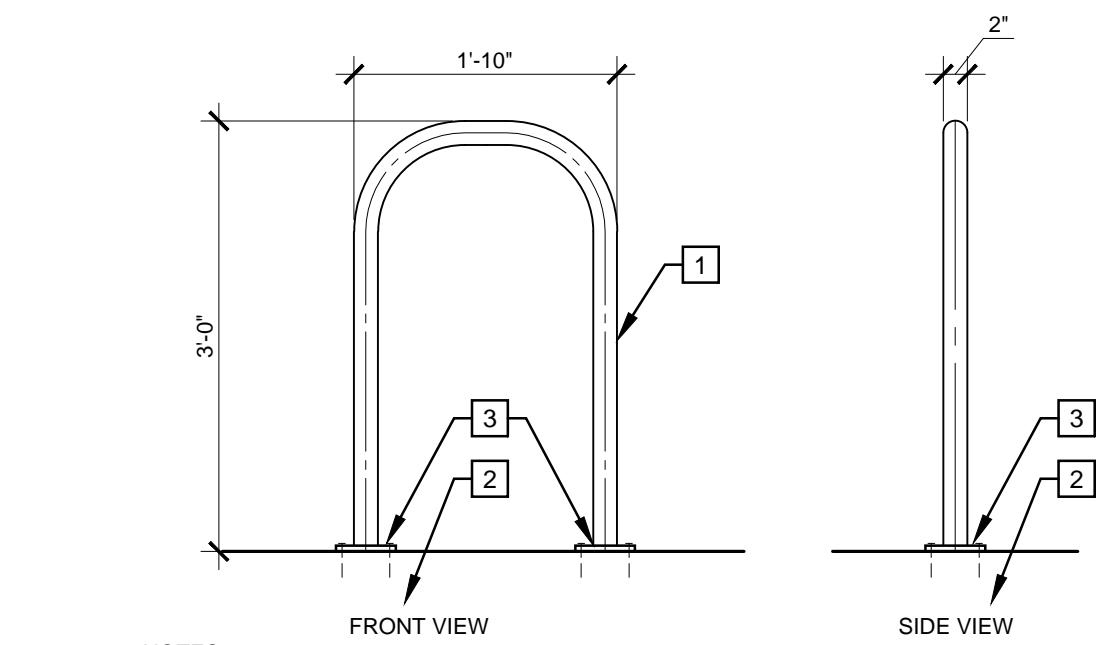
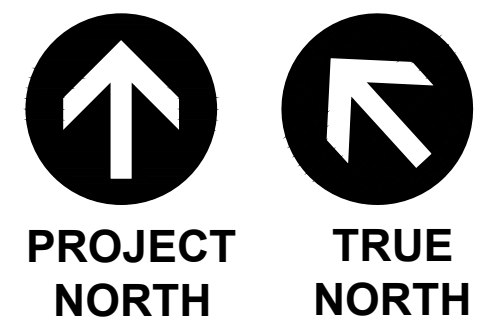
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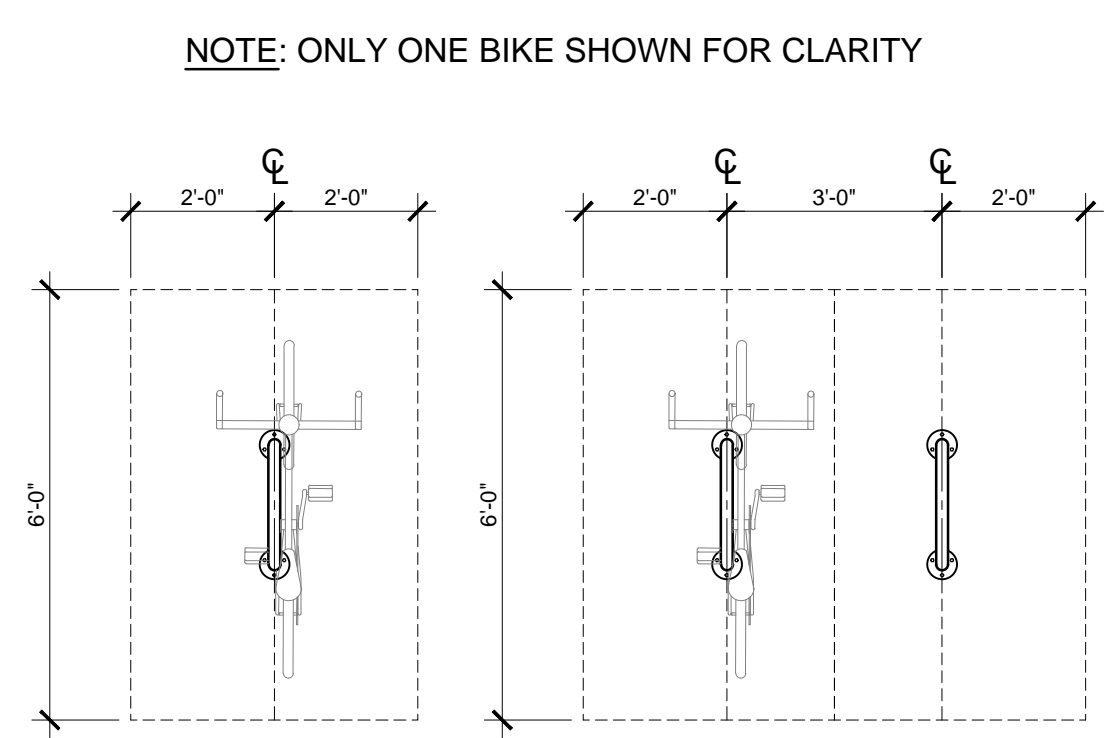


1 PROPOSED SITE PLAN - PARCEL 2
SCALE: 1" = 30'-0"



- NOTES:
- 1 2" DIA. SCHEDULE 40 STEEL PIPE WITH EMBEDDED ANCHOR MOUNT; POWDER COAT FINISH
 - 2 EXISTING ASPHALT OR CONCRETE TO REMAIN, WHERE OCCURS, UNLESS OTHERWISE NOTED
 - 3 NEW 3/4" STEEL BASE PLATE WELDED TO PIPE; EASE EDGES; (4) 1/2" DIA GALV LAG BOLTS PER STEM 3" INTO EXPANSION ANCHORS; (OR) ANCHOR PER MANUFACTURER'S REQUIREMENT
 - 4 UPON ARCHITECT'S APPROVAL, MANUFACTURED STEEL BIKE RACK MAY BE ACCEPTABLE IN PLACE OF RACK SHOWN; RACK ALTERNATIVE MUST FOLLOW SIMILAR SHAPE TO BE ELIGIBLE FOR APPROVAL.

2 BIKE RACK ANCHORAGE DETAIL
SCALE: 3/4" = 1'-0"



NOTE: ONLY ONE BIKE SHOWN FOR CLARITY

(A) SINGLE RACK FOR 2 SPACES
(B) DOUBLE RACK FOR 4 SPACES

3 BIKE RACK PLAN
SCALE: 3/8" = 1'-0"

SITE PLAN REFERENCE NOTES

- 1 NEW BUILDING - 70' x 54' = 3,780 SQ FT
- 2 NOT USED
- 3 NEW VEHICLE STORAGE YARD - 20,350 SQ FT
- 4 NEW EQUIPMENT AND MATERIALS STORAGE YARD
- 5 NEW GSI AREA
- 6 NEW PARKING
- 7 NEW 6 FT HIGH CHAIN-LINK FENCE WITH SIGHT-OBSCURING SLATS
- 8 NEW DRIVEWAY
- 9 NEW WALKWAY
- 10 NEW 4 CU YD TRASH CONTAINER
- 11 NEW BICYCLE PARKING; REFER TO DETAILS (2) & (3)
- 12 EXISTING TREES TO BE REMOVED:
 - #11 - (24") SIGNIFICANT TREE IN "POOR" CONDITION
 - #12 - (12") NOT SIGNIFICANT BY WAY OF SIZE; IN "POOR" CONDITION
 - #13 - (28") SIGNIFICANT TREE IN "GOOD" CONDITION
 - #14 - (20") SIGNIFICANT TREE IN "GOOD" CONDITION
- 13 NEW FIRE APPARATUS "HAMMERHEAD" TURNAROUND
- 14 NEW GATES
- 15 EXISTING DRIVE WAY TO BE REMOVED
- 16 EXISTING PROPERTY LINE
- 17 EXISTING SETBACK LINE
- 18 PROPOSED SETBACK LINE FOR BUILDINGS AND OUTDOOR STORAGE AREAS

ADJUSTMENTS REQUESTED:

1. SETBACK 5 FT FROM PROPERTY LINE FOR BUILDING, PARKING AND STORAGE AREA ON NORTH SIDE OF SITE, AS SHOWN.
2. OUTDOOR STORAGE AREAS: TOTAL AREA TO EXCEED 3,000.

SITE SUMMARY:		NOTES:
ZONING DESIGNATION	IG HOWEVER, SITE MUST ALSO MEET STANDARDS OF IBC	GENERAL INDUSTRIAL INDUSTRIAL BUSINESS CAMPUS
BUILDING USE	CONSTRUCTION CONTRACTING FOR CONCRETE CUTTING	APPROVED USE, BOTH IG AND IBC ZONES
TOTAL SITE AREA	= 115,539 SF	
TOTAL IMPERVIOUS AREA	= 25,118 SF	
NEW BUILDING FLOOR AREA	= 3,780 SF	
SETBACKS	ABUTTING STREET: BLDG SETBACK: 40 FT (COMPLIES) PARKING SETBACK: 40 FT (COMPLIES) INTERIOR SIDE & REAR: BLDG & PARK'G, N. SIDE - 5 FT (NON-COMPLIANT - ADJUSTMENT TO BE REQUESTED)	(REQ'D PER IBC): ABUTTING STREET BUILDINGS 40 FT VEHICLE USE AREAS 20 FT INTERIOR SIDE & REAR BUILDINGS 20 FT VEHICLE USE AREAS 20 FT LANDSCAPING REQUIRED: TYPE C
LANDSCAPING	LANDSCAPING PROVIDED: 115,539 SF - 41,588 SF = 90,879 SF 90,879 / 115,539 = 79% (COMPLIES)	(REQ'D PER IBC) LANDSCAPING REQUIRED: 20% MIN. OF DEVELOPMENT SITE. LANDSCAPING REQUIRED TYPE A
SITE SCREENING	6 FT HIGH SITE OBSCURING FENCE PROVIDED	6 FT HIGH SITE OBSCURING FENCE REQUIRED
OUTDOOR STORAGE	OUTDOOR STORAGE PROVIDED: VEHICLE STORAGE 10,000 SF	(REQ'D PER IBC) OUTDOOR STORAGE REQUIREMENTS: • MAX 3,000 SF / BLDG, NOT AGGREGATED WITH STORAGE OF ANOTHER BLDG • ENCLOSED WITH MIN. 6 FT HIGH SIGHT-OBSCURING FENCE OR WALL • AT LEAST ONE SIDE CONTIGUOUS WITH THE BUILDING IT SERVES
VEHICLE PARKING:	= 3,780 / 1,000 SF = 4 SPACES REQ'D 12 SPACES PROVIDED (COMPLIES)	REQ'D: 1 PER 1,000 SF
BICYCLE PARKING	4 SPACES PROVIDED (COMPLIES)	4 SPACES REQUIRED
OFF-STREET LOADING	• 3,780 SF NEW BLDG - NOT REQ'D	• NOT REQ'D FOR BLDG < 5,000 SF • NOT REQ'D IF OFF-STREET PARKING IS WITHIN 25 FT OF BLDG AND COMBINED WEIGHT OF TRUCK AND LOAD < 8,000 # • IF REQ'D: 12 FT WIDE x 30 FT LONG x 14 FT HIGH
BUILDING HEIGHT	HEIGHT = 25 FT (COMPLIES); NO AERIAL FIRE ACCESS REQ'D	70 FT HEIGHT MAX ALLOWED

PRELIMINARY,
NOT FOR
CONSTRUCTION

In the event conflicts are discovered between the original signed and sealed documents prepared by the Architects and/or their consultants, and any copy of the documents transmitted by mail, fax, electronically or otherwise, the original signed and sealed documents shall govern.

JOB NO. 2023.0018

DATE JULY 24, 2023

DRAWN RG

- REVISIONS
- OWNER REV. 05/18/2023
 - PARKING REV. 08/03/2023
 - OWNER REV. 08/09/2023

BENCHMARK
CONCRETE CUTTING
SHOP BUILDING
2100 BLOCK OF GAIA ST., SE
SALEM, OR 97317

SITE PLAN

SHEET

A1.1