

# NOTICE OF DECISION

PLANNING DIVISION  
555 LIBERTY ST. SE, RM 305  
SALEM, OREGON 97301  
PHONE: 503-588-6173  
FAX: 503-588-6005



*Si necesita ayuda para comprender esta informacion, por favor llame  
503-588-6173*

## DECISION OF THE PLANNING ADMINISTRATOR

**HISTORIC DESIGN REVIEW CASE NO.: HIS20-04**

**APPLICATION NO.: 20-101459-DR**

**NOTICE OF DECISION DATE: FEBRUARY 26, 2020**

**SUMMARY:** A proposal to replace a retaining wall and relocate a door on the exterior of the Pemberton House (1914).

**REQUEST:** Minor Administrative Historic Design Review of a proposal to replace a retaining wall abutting Commercial Street SE and relocate a door in order to provide an ADA accessible entrance at the rear of the Dr. Ray Pemberton House(1914) , a Salem Historic Landmark, zoned CO (Commercial Office) zone, and located at 1455 Commercial Street SE, 97302 (Marion County Assessorfts Map and tax lot number: 073W27CD09000).

**APPLICANT:** Matthew Johnson, Studio 3 Architecture, on behalf of KTL Law

**LOCATION:** 1455 Commercial St NE

**CRITERIA:** Salem Revised Code (SRC) SRC 230.040(h) and (a) – Standards for Historic Contributing Buildings in Commercial Districts

**FINDINGS:** The findings are in the attached Decision dated February 26, 2020.

**DECISION:** The **Historic Preservation Officer**, a Planning Administrator Designee, **APPROVED** Historic Design Review HIS20-04 based upon the application materials deemed complete on February 26, 2020 and the findings as presented in this report.

*This Decision becomes effective on March 13, 2020. No work associated with this Decision shall start prior to this date unless expressly authorized by a separate permit, land use decision, or provision of the Salem Revised Code (SRC).*

The rights granted by the attached decision must be exercised, or an extension granted, by March 13, 2022 or this approval shall be null and void.

Application Deemed Complete:	<u>February 26, 2020</u>
Notice of Decision Mailing Date:	<u>February 26, 2020</u>
Decision Effective Date:	<u>March 13, 2020</u>
State Mandate Date:	<u>June 25, 2020</u>

Case Manager: Kimberli Fitzgerald, [kfitzgerald@cityofsalem.net](mailto:kfitzgerald@cityofsalem.net), 503-540-2397

This decision is final unless written appeal from an aggrieved party is filed with the City of Salem Planning Division, Room 320, 555 Liberty Street SE, Salem OR 97301, no later than 5:00 p.m., Thursday, March 12, 2020. The notice of appeal must contain the information required by SRC 300.1020 and must state where the decision failed to conform to the provisions of the applicable code section, SRC Chapter(s) 230. The appeal must be filed in duplicate with the City of Salem Planning Division. The appeal fee must be paid at the time of filing. If the appeal is untimely and/or lacks the proper fee, the appeal will be rejected. The Hearings Officer will review the appeal at a public hearing. After the hearing, the Hearings Officer may amend, rescind, or affirm the action, or refer the matter to staff for additional information.

The complete case file, including findings, conclusions and conditions of approval, if any, is available for review at the Planning Division office, Room 320, City Hall, 555 Liberty Street SE, during regular business hours.

<http://www.cityofsalem.net/planning>

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503-588-6173*

**BEFORE THE PLANNING ADMINISTRATOR OF THE CITY OF SALEM**

**HISTORIC DESIGN REVIEW CASE NO. HIS20-04  
DECISION**

**IN THE MATTER OF APPROVAL OF ) MINOR HISTORIC DESIGN REVIEW  
HISTORIC DESIGN REVIEW )  
CASE NO. HIS20-04 )  
1455 COMMERCIAL STREET SE )  
FEBRUARY 26, 2020**

In the matter of the application for a Minor Historic Design Review submitted by Matthew Johnson, Studio 3 Architecture, on behalf of KTL Law, the Historic Preservation Officer (a Planning Administrator Designee), having received and reviewed evidence and the application materials, makes the following findings and adopts the following order as set forth herein.

**REQUEST**

**Summary:** A proposal to replace a retaining wall and relocate a door on the exterior of the Pemberton House (1914).

**Request:** Minor Administrative Historic Design Review of a proposal to replace a retaining wall abutting Commercial Street SE and relocate a door in order to provide an ADA accessible entrance at the rear of the Dr. Ray Pemberton House(1914) , a Salem Historic Landmark, zoned CO (Commercial Office) zone, and located at 1455 Commercial Street SE, 97302 (Marion County Assessor's Map and tax lot number: 073W27CD09000).

A vicinity map illustrating the location of the property is attached hereto, and made a part of this decision (**Attachment A**).

**DECISION**

**APPROVED** based upon the application materials deemed complete on February 26, 2020 and the findings as presented in this report.

**FINDINGS**

1. Minor Historic Design Review Applicability

SRC230.020(f) requires Historic Design Review approval for any alterations to historic resources as those terms and procedures are defined in SRC 230. The Planning Administrator

shall render a decision supported by findings that explain conformance or lack thereof with relevant design standards, state the facts relied upon in rendering the decision, and explain justification for the decision.

## 2. Analysis of Minor Historic Design Review Approval Criteria

**Project Summary:** The applicant is proposing to restore and replace the concrete retaining wall at the eastern edge of the site of the Pemberton House, matching the existing material and design. The retaining wall is a concrete aggregate and is comprised of three segments which are generally 30" in height and 6" thick. Two segments are 13'10" long and 23'10" long and run parallel to Commercial Street NE with the current stairs between these two segments. The third segment is 29'7" in length, running perpendicular to Commercial Street NE. Additionally, the applicant is proposing to remove an existing door at the rear of the Pemberton House, and relocate and install a Jeldwen Craftsman style (model 167) fiberglass door (3'0" x 6' 8" in size) in order to provide ADA accessibility to the Pemberton House. The opening where the door will be removed will be resided with cedar lap siding with a 5 ½" reveal, to match the existing siding on the exterior of the resource. SRC 230.080 Individually Listed resources provides that: "*Historic preservation activity on an individually listed resource shall comply with the standards for historic contributing buildings for the type of resource.*" The Pemberton House is in a Commercial zone, therefore Standards in 230.040, *Standards for Historic Contributing Buildings in Commercial Districts* applies. Staff determined that the following standards from SRC 230.040(h) and (a) are applicable to this project.

### **FINDINGS:**

#### **ADA Accessible Rear Door**

**Criteria 230.040(h) Accessibility.** *Additions or alterations to improve accessibility are allowed.*

**(1) Materials.** *Materials shall be, to the greatest extent practicable, of the same type, quality, design, size, finish, proportions and configuration of the original materials in the building.*

**Finding:** The proposed new door is of paintable fiberglass, and the trim surrounding the door will be wood. The opening where the existing door will be removed will be resided with lap siding that matches the existing siding on the exterior of the Pemberton House. The door and trim will be painted so it will be of the same type, design and finish of the other doors throughout the Pemberton House, thereby meeting SRC 230.040(h)(1).

#### **(2) Design.**

**(A) Design additions or alterations to improve accessibility in a manner that identifies the building's character-defining spaces and features and prevents their damage or loss.**

**Finding:** While an existing door will be removed, this door is not character defining and is located at the rear of the resource. The proposed new door opening will be located at the rear of the Pemberton House adjacent to the wheelchair lift, not visible from the public right of way,

preserving the character defining features of the front façade. The proposed new door will be directly adjacent to an original window, but there will be no adverse effect to this window as a result of this project. Staff finds that SRC 230.040(h)(2)(A) has been met.

*(B) Additions and alterations to improve accessibility should be designed in a manner that is compatible with the building and its setting.*

**Finding:** The proposed new door is of a compatible material and design, and located at the rear of the historic resource not visible from Commercial Street SE. The new door opening, combined with the wheelchair lift, provides accessibility to the Pemberton House in a manner that is compatible with the resource, thereby meeting SRC 230.040(h)(2)(B).

### **Retaining Wall Restoration/Replacement**

**230.040(a)Masonry, siding and exterior trim.** *Replacement of masonry, siding, and exterior trim of historic contributing buildings shall be allowed only where the owner has attempted repair, but repair was unfeasible due to poor condition of the materials. If the masonry, siding or trim is not original then every effort shall be made to replicate the original feature; the effort shall be substantiated by historic, physical, or pictorial evidence. If the feature cannot be replicated then it should be of a compatible design and material.*

#### **(1)Materials.**

*(A)Original material shall, if possible, be retained or repaired.*

**Finding:** The existing retaining wall at the front of the site (east, abutting Commercial Street SE) is in poor condition, and cannot be feasibly repaired. Staff finds that SRC 230.040(a)(1)(A) is not applicable to the evaluation of this proposal.

*(B)Replacement materials shall be, to the greatest degree possible, of the same type, quality, design, size, finish, proportions, and configuration of the original materials.*

**Finding:** The applicant is proposing to match the existing concrete/aggregate material of the existing retaining wall in the replacement, thereby meeting SRC 230.040(a)(1)(B).

#### **(2)Design.**

*(A)New materials added to a building shall, to the greatest degree possible, match the color, texture and bonding pattern of the original masonry.*

**Finding:** The proposed retaining wall will match the design and material of the existing retaining wall, thereby meeting SRC 230.040(a)(2)(A).

*(B)When repointing brick or masonry, the joint size, profile, color, strength, porosity and permeability of the original mortar should be matched.*

**Finding:** The applicant's proposal does not include repointing, therefore SRC 230.040(a)(2)(B) is not applicable to the evaluation of this proposal.

*(C)Unpainted masonry should not be painted or sealed.*

**Finding:** The applicant is not proposing to paint or seal the retaining wall, thereby meeting SRC 230.040(a)(2)(C).

*(D)Paint should not be removed from brick unless testing demonstrates that no damage to the brick will result.*

**Finding:** The applicant is not proposing to remove paint from brick, therefore SRC 230.040(a)(2)(D) does not apply to the evaluation of this proposal.

*(E)The original appearance of the original materials shall be retained, including early signage, whenever possible.*

**Finding:** The proposed new retaining wall will match the appearance of the original retaining wall, thereby meeting SRC 230.040(a)(2)(E).

## DECISION

Based upon the application materials deemed complete on February 26, 2020 and the findings as presented in this report, the application for HIS20-04 is **APPROVED**.

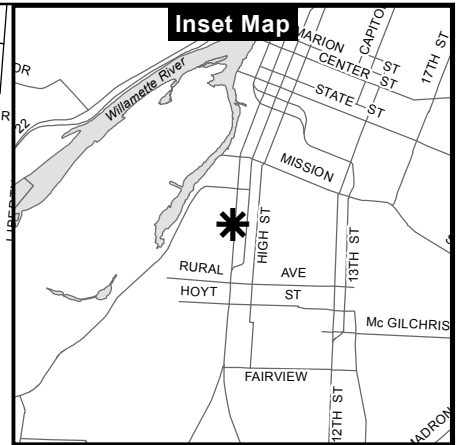
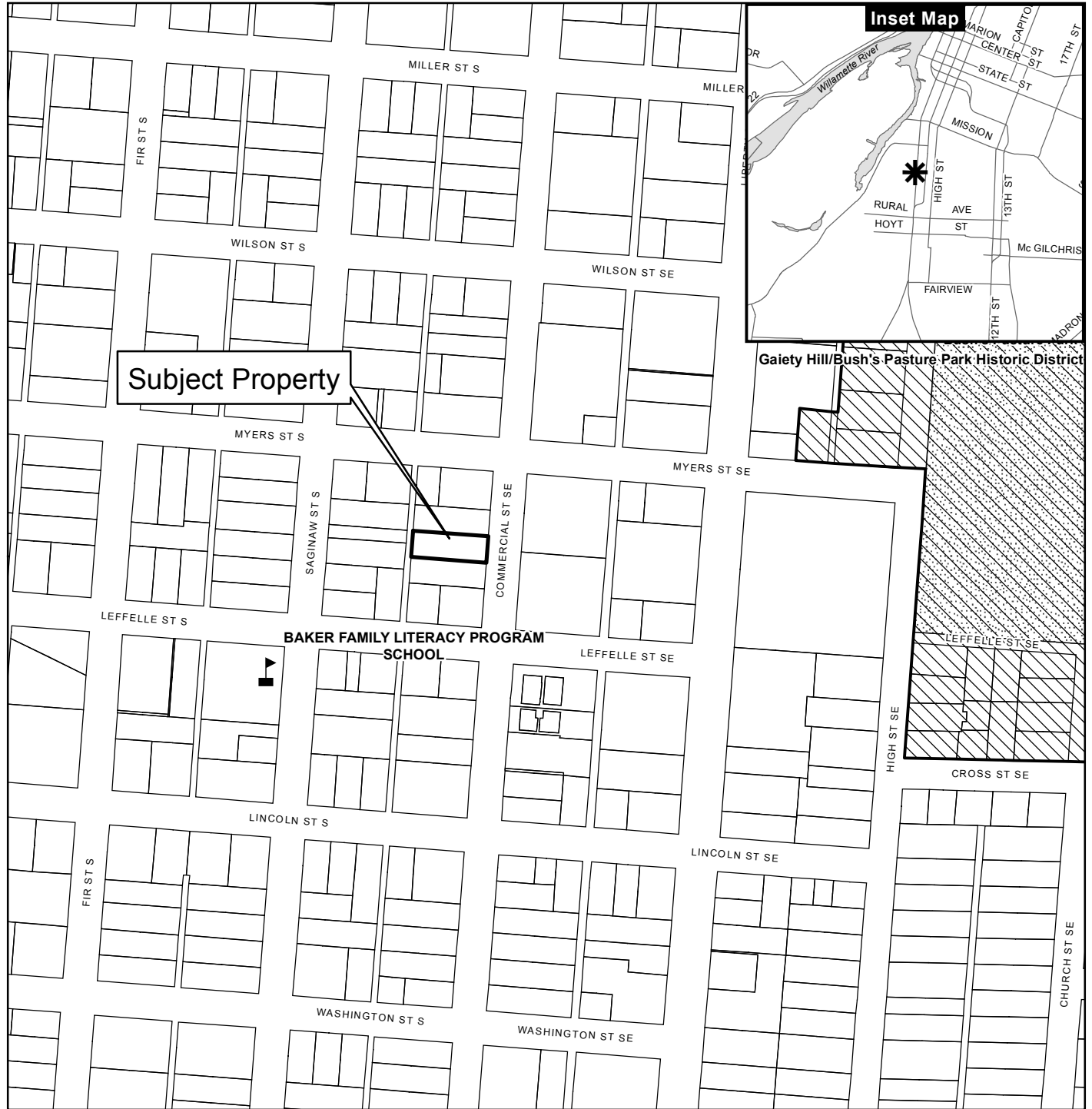


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Kimberli Fitzgerald, AICP  
Historic Preservation Officer  
Planning Administrator Designee







Attachments: A. Vicinity Map  
B. Applicant's Submittal Materials

# Vicinity Map 1455 Commercial St SE

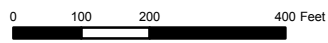


Gaiety Hill/Bush's Pasture Park Historic District

**Legend**

-  Taxlots
-  Outside Salem City Limits
-  Urban Growth Boundary
-  Historic District
-  City Limits
-  Schools

 Parks



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**Historic Alteration Review Worksheet**Site Address: 1455 Commercial St SEResource Status: Contributing  Non- Contributing  Individual Landmark Type of Work Activity Proposed: Major  Minor Chose One: Commercial District  Individual Resource  Public District   
Residential District  Sign **Replacement, Alteration, Restoration or Addition of:****Architectural Feature:**

- Awning  
 Door  
 Exterior Trim, Lintel  
 Other architectural feature  
 Roof/Cornice  
 Masonry/Siding  
 Storefront  
 Window(s) Number of windows: \_\_\_\_\_

**Landscape Feature:**

- Fence  
 Streetscape  
 Other Site feature (describe)  
Retaining Wall

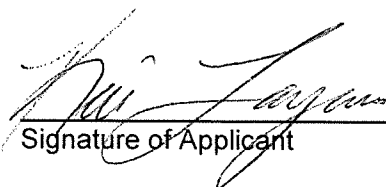
**New:**

- Addition  
 Accessory Structure  
 Sign  
 Mural  
 Accessibility Ramp  
 Energy Improvements  
 Mechanical Equipment  
 Primary Structure

Will the proposed alteration be visible from any public right-of-way?  Yes  NoProject's Existing Material: Concrete Project's New Material: Concrete**Project Description**

Briefly provide an overview of the type of work proposed. Describe how it meets the applicable design criteria in SRC Chapter 230. Please attach any additional information (i.e., product specification sheets) that will help staff and the HLC clearly understand the proposed work:

Remove existing exterior door off of rear parking lot. Add new exterior door to create accessible route into building. Replace existing concrete retaining wall along Commercial St. Existing retaining wall has failed in multiple locations.



Signature of Applicant

1/3/20  
Date Submitted/Signed



January 3, 2020

Major historic Design Review

1455 Commercial St SE

NARRATIVE - Responses in RED.

Sec. 230.040. - Standards for historic contributing buildings in commercial historic districts.

(f) *Alterations and additions.* Additions to, or alterations of, the historic contributing building may be made to accommodate uses other than the originally intended purpose.

(1) *Materials.* Materials for alterations or additions shall:

(A) Building materials shall be of traditional dimensions.

*Siding used where existing door is removed will match thickness, exposure, and material of existing siding on building. New door trim to match similar door/window adjacencies on building.*

(B) Material shall be of the same type, quality and finish as original material in the building.

*Siding used where existing door is removed will match thickness, exposure, and material of existing siding on building. New door trim to match similar door/window adjacencies on building.*

(C) New masonry added to a building shall, to the greatest degree possible, match the color, texture and bonding pattern of the original masonry.

*Replaced retaining wall will be constructed of concrete with color/aggregate size to match existing.*

(D) For those areas where original material must be disturbed, original material shall be retained to the maximum extent possible.

*Reglazing of window per OSSC 2406.4.2 to maintain existing window construction and appearance.*

(2) *Design.* Alterations or additions shall:

(A) Additions shall be located at the rear, or on an inconspicuous side, of the building.

*No building additions are proposed.*

(B) Be designed and constructed to minimize changes to the building.

*Changes to the building will be isolated to the rear of the building. EXISTING STAIR/PORCH TO REMAIN.*

(C) Be limited in size and scale such that a harmonious relationship is created in relationship to the original building.

*The proposed door is of an appropriate scale while meeting accessibility standards required by governing codes and building user needs.*

- (D) Be designed and constructed in a manner that significant historical, architectural or cultural features of the building are not obscured, damaged, or destroyed.

*The proposed door is at the rear of the building, accessed via a parking lot and lift added in 2015. It does not disturb significant features.*

- (E) Be designed to be compatible with the size, scale, material, and character of the building, and the district generally.

*The proposed door is of an appropriate scale while meeting accessibility standards required by governing codes and building user needs.*

- (F) Not destroy or adversely impact existing distinctive materials, features, finishes and construction techniques or examples of craftsmanship that are part of the building.

*The door will require existing lap siding to be removed. No examples of craftsmanship will be impacted.*

- (G) Be constructed with the least possible loss of historic materials

*The existing lap siding will only be removed to the extent required by installing the new door.*

- (H) Not create a false sense of historical development by including features that would appear to have been part of the building during the period of significance but whose existence is not supported by historical evidence.

*The proposed door and surrounding trim have been selected to support the existing aesthetic without appearing as original.*

- (I) Be designed in a manner that makes it clear what is original to the building and what is new.

- (J) Be designed to reflect, but not replicate, the architectural styles of the period of significance.

- (K) Preserve features of the building that has occurred over time and has attained significance in its own right.

- (L) Preserve distinguishing original qualities of the building and its site.

- (M) Not increase the height of a building to more than four stories.

- (g) *Lintels, architraves, sills, and other architectural details.* Replacement of lintels, architraves, sills and other architectural details in historic contributing buildings shall be allowed only where the owner has attempted repair, but repair was unfeasible due to poor condition of the original materials. If the feature is not original then every effort shall be made to replicate the original feature; the effort shall be substantiated by historic, physical, or pictorial evidence. If the feature cannot be replicated then it should be of a compatible design and material.

*No architectural details are being replaced.*

- (1) *Materials.*

- (A) Existing architectural details shall be retained.

- (B) Original material shall, if possible, be retained or repaired.

- (C) If replacement material is required, similar material shall be used.

- (2) *Design.*
- (A) The replacement shall, to the greatest extent feasible, match design, size, proportions, and profile of the original architectural details.
  - (B) Architectural details should not be added unless there is archival evidence suggesting their presence and design.
- (h) *Accessibility.* Additions or alterations to improve accessibility are allowed.
- The primary purpose of the proposed door is to increase accessibility. The existing, non-original door and access configuration inhibit physically impaired patrons' ability to access the building.*
- (1) *Materials.* Materials shall be, to the greatest extent practicable, of the same type, quality, design, size, finish, proportions and configuration of the original materials in the building.
- Materials have been selected to match the existing exterior.*
- (2) *Design.*
- (A) Design additions or alterations to improve accessibility in a manner that identifies the building's character-defining spaces and features and prevents their damage or loss.
  - (B) Additions and alterations to improve accessibility should be designed in a manner that is compatible with the building and its setting.
- Accessible door has been selected and placed in an architecturally appropriate location.*
- (i) *Energy.* Retrofitting historic contributing buildings to achieve energy efficiency is permitted, if the retrofitting preserves the building's historic character.
- No energy retrofits are proposed. Proposed door will comply with current energy code.*
- (1) *Materials.*
- (A) Materials shall be of a type and quality that will not result in degradation of original material in the resource. Example: Addition of insulation to exterior walls should not negatively affect the function of the wall assembly.
  - (B) The materials for any retro-fitted architectural elements, including, but not limited to, windows and doors shall comply with the standards for materials for such elements set forth in this section.
- (2) *Design.*
- (A) To the extent practicable, original systems to control ventilation, such as double hung, transom windows and awnings, shall be preserved.
  - (B) Before seeking to replace windows or doors, improve thermal efficiency through weather-stripping, storm windows, interior shades, blinds and awnings.
  - (C) The designs of any retro-fitted architectural elements, including, but not limited to, windows and doors shall comply with the standards for replacement of such elements set forth in this section.
  - (D) Retrofitting shall be designed in a manner that prevents loss of original material or architectural elements.
- (j) *Mechanical equipment and service areas.* Addition and replacement of mechanical equipment, including, but not limited to, heating and cooling systems, solar panels and telecommunications equipment, and service areas, including, but not limited to, dumpster enclosures, is permitted.

*No mechanical equipment is proposed.*

- (1) *Materials.* Materials shall be harmonious in type, color, scale, texture, and proportions with the building and the district generally.
- (2) *Design.*
  - (A) Mechanical equipment and service areas should be located out of public view and designed as an integral part of the overall building design.
  - (B) Mechanical equipment and service areas should be placed at the rear of the building, recessed on the roof of the building, or screened by appropriate fencing.
  - (C) Low-profile mechanical units and elevator shafts may be placed on rooftops if they are not visible from the street, or set back and screened from view.
  - (D) Solar panels should have low profiles and not be visible from right-of-way, other than alleys, and shall be installed in a manner that minimizes damage to historic materials.
  - (E) Skylights shall be flat and shall not alter the existing profile of the roof. Bubble-type skylights are prohibited.
  - (F) Mechanical equipment placed at street level should be screened in a manner that is compatible with the streetscape and adjacent buildings.
  - (G) New skylights and vents shall be placed behind and below the parapet level.
- (k) *Awnings and canopies.* Replacement or installation of awnings and canopies on historic contributing buildings is allowed.

*No awnings and or canopies are proposed.*

- (1) *Materials.*
  - (A) Materials that are compatible with the character of the building's period and style shall be used.
  - (B) Canvass is an approved material for awnings and canopies.
- (2) *Design.*
  - (A) Awnings shall be located within window openings, and below transoms.
  - (B) Umbrella-type awnings and non-historic forms are not permitted.
  - (C) Awnings shall be attached in such a manner that historic materials or features are not damaged.
  - (D) Marquees may be used where compatible with the building and neighboring buildings.
  - (E) Awnings, canopies, or marquees shall not obscure significant architectural features on the building.
  - (F) Awnings, canopies, or marquees shall have size, scale and design that is compatible with the building and neighboring buildings.



# KTL LAW

## TENANT IMPROVEMENT

1455 COMMERCIAL ST SE, SALEM, OR 97302

STUDIO

3

ARCHITECTURE  
INCORPORATED

275 COURT ST. NE  
SALEM, OR 97301-3442  
P: 503.390.6500  
www.studio3architecture.com

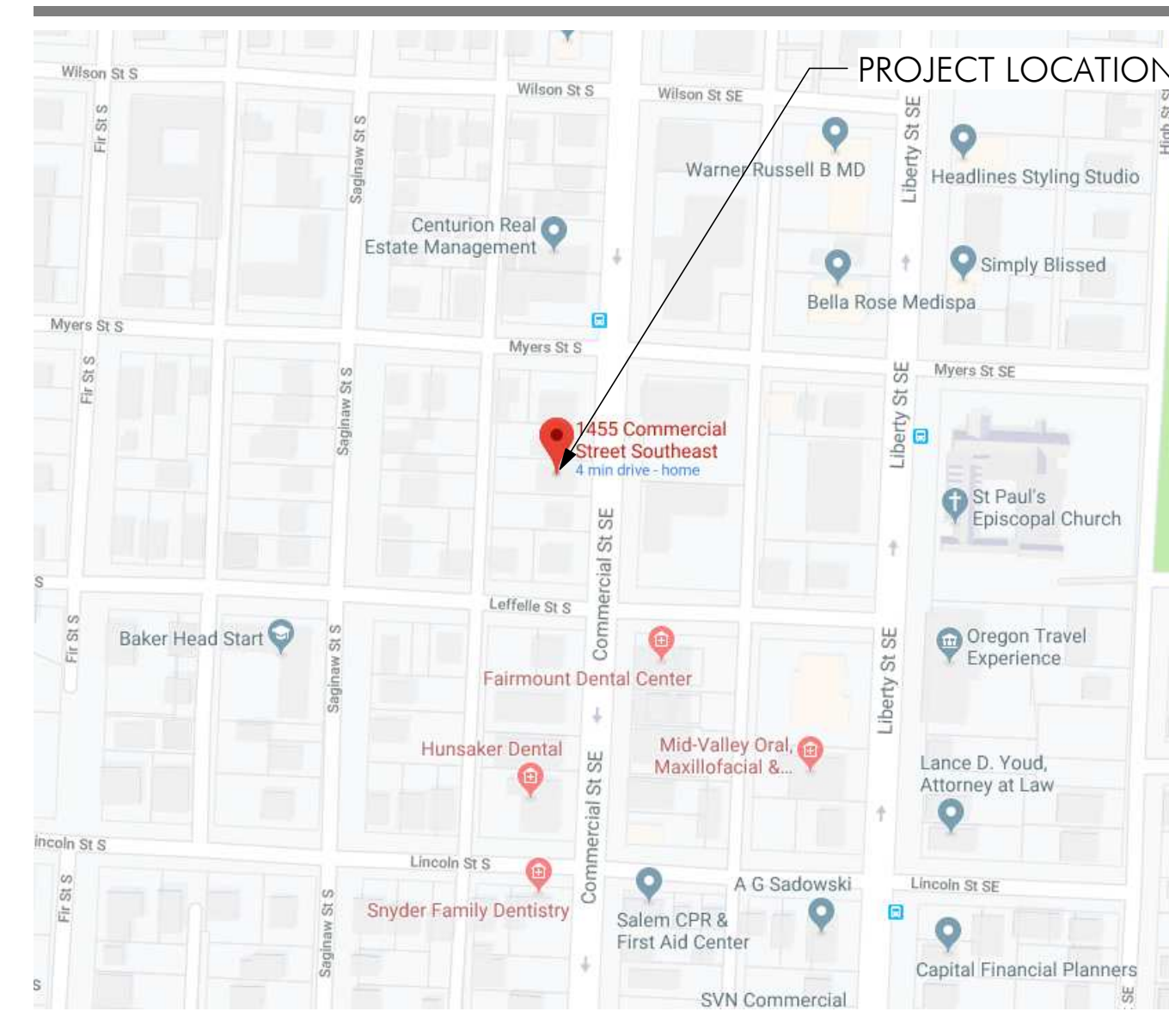


IN THE EVENT CONFLICTS ARE DISCOVERED BETWEEN THE ORIGINAL SIGNED AND SEALED DOCUMENTS PREPARED BY THE ARCHITECTS AND/OR THEIR CONSULTANTS, AND ANY COPY OF THE DOCUMENTS TRANSMITTED BY MAIL, FAX, ELECTRONICALLY OR OTHERWISE, THE ORIGINAL SIGNED AND SEALED DOCUMENTS SHALL GOVERN.

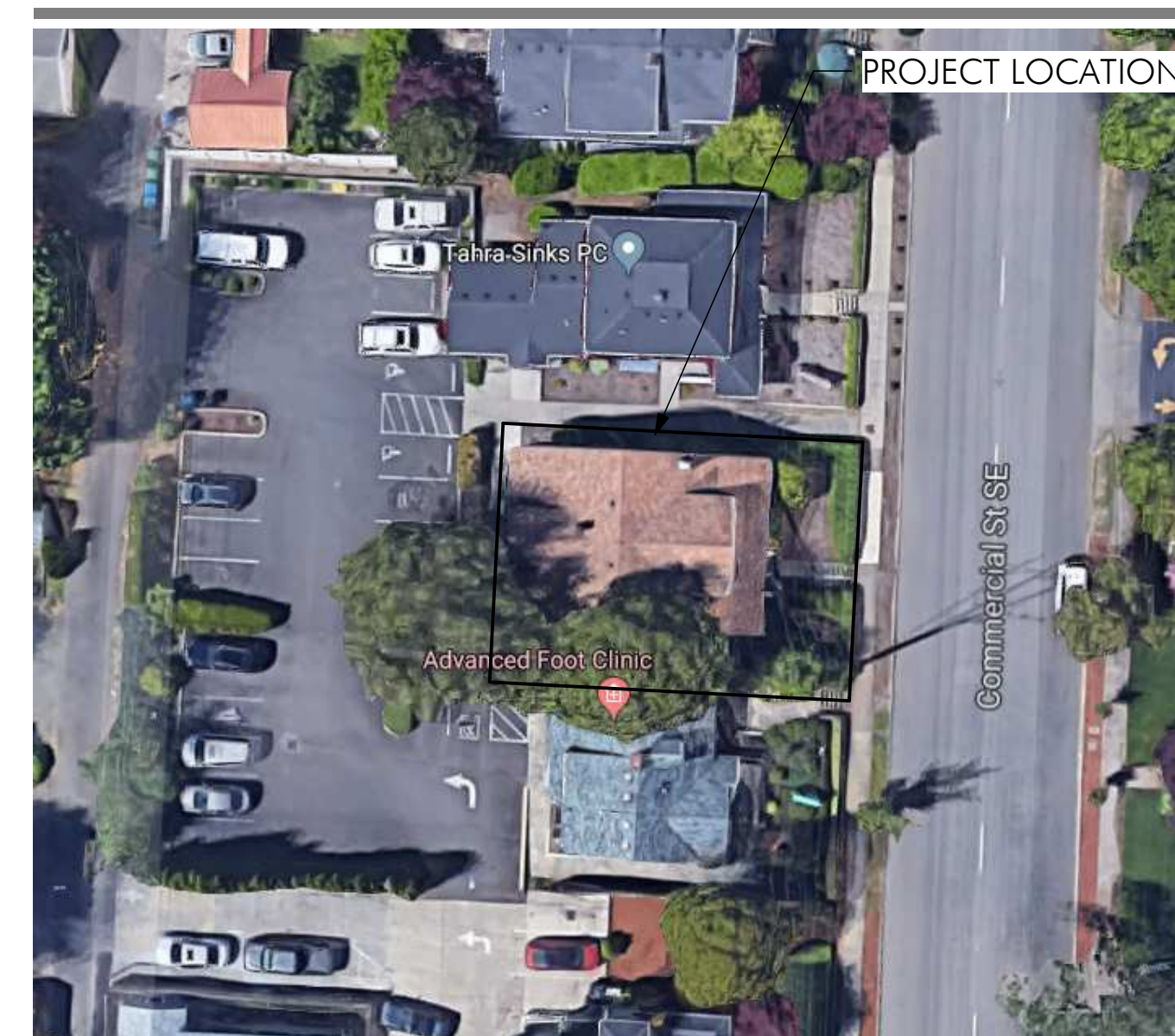
PROJECT # 2019-155  
DATE: 1/3/2020

REVISIONS

### VICINITY MAP:



### AERIAL PHOTO:



### DRAWINGS LIST:

Sheet Number	Sheet Name	Current Revision	Revision Description
<b>GENERAL DRAWINGS</b>			
G0.01	COVER SHEET		
G0.02	GENERAL NOTES		
G0.03	EXISTING PHOTOGRAPHS		
<b>ARCHITECTURAL</b>			
A1.01	SITE PLAN		
A1.11	LEVEL 01 - DEMOLITION PLAN		
A1.21	LEVEL 01 - FLOOR PLAN		
A2.01	WEST ELEVATION		
A5.11	DETAILS		

### CODE REVIEW:

**Keri Trask Lazarus Law Office**  
ADDRESS: 1455 Commercial St SE, Salem, OR 97302  
PROJECT No: 2019-155

**SEPARATE PERMITS:**

- Mechanical
- Electrical
- Plumbing

**GOVERNING CODES:**

- Structural - Life Safety: 2014 Oregon Structural Specialty Code (OSSC)
- Mechanical: 2014 Oregon Mechanical Specialty Code
- Plumbing: 2014 Oregon Plumbing Specialty Code
- Electrical: 2014 NEC with Oregon Amendments
- Energy: 2014 Oregon Energy Efficiency Specialty Code
- Fire Code: 2014 Oregon Fire Code
- Gas Code: 2014 Oregon Mechanical Specialty Code

**USE AND OCCUPANCY CLASSIFICATION:**

Existing: 'B' 'Therapy' Section 304  
Proposed: 'B' 'Office' Section 304

**OCCUPANT LOAD:**

Office: 2,112sf/100 = 22 Occupants  
Storage: 1,135sf/300 = 4 Occupants  
Total: = 26 Occupants

**FIRE PROTECTION SYSTEMS:**

- Automatic Sprinkler System not required.
- Class 1 Standpipe System not required.
- Portable Fire Extinguishers required per OSSC 2014, Section 906.1.
- Fire Alarm System not required.

**CHAPTER 29 PLUMBING:**

**Water Closets:**

Men: 13/25 = 1 Required. 2 Unisex WC provided.  
Women: 13/25 = 1 Required. 2 Unisex WC provided.

**Lavatories:**

Men: 13/40 = 1 Required. 2 Unisex WC provided  
Women: 13/40 = 1 Required. 2 Unisex WC provided

**CHAPTER 34 ACCESSIBILITY:**

- Existing building is accessible. Remove interior partition walls to improve accessible route. All new construction to be accessible.

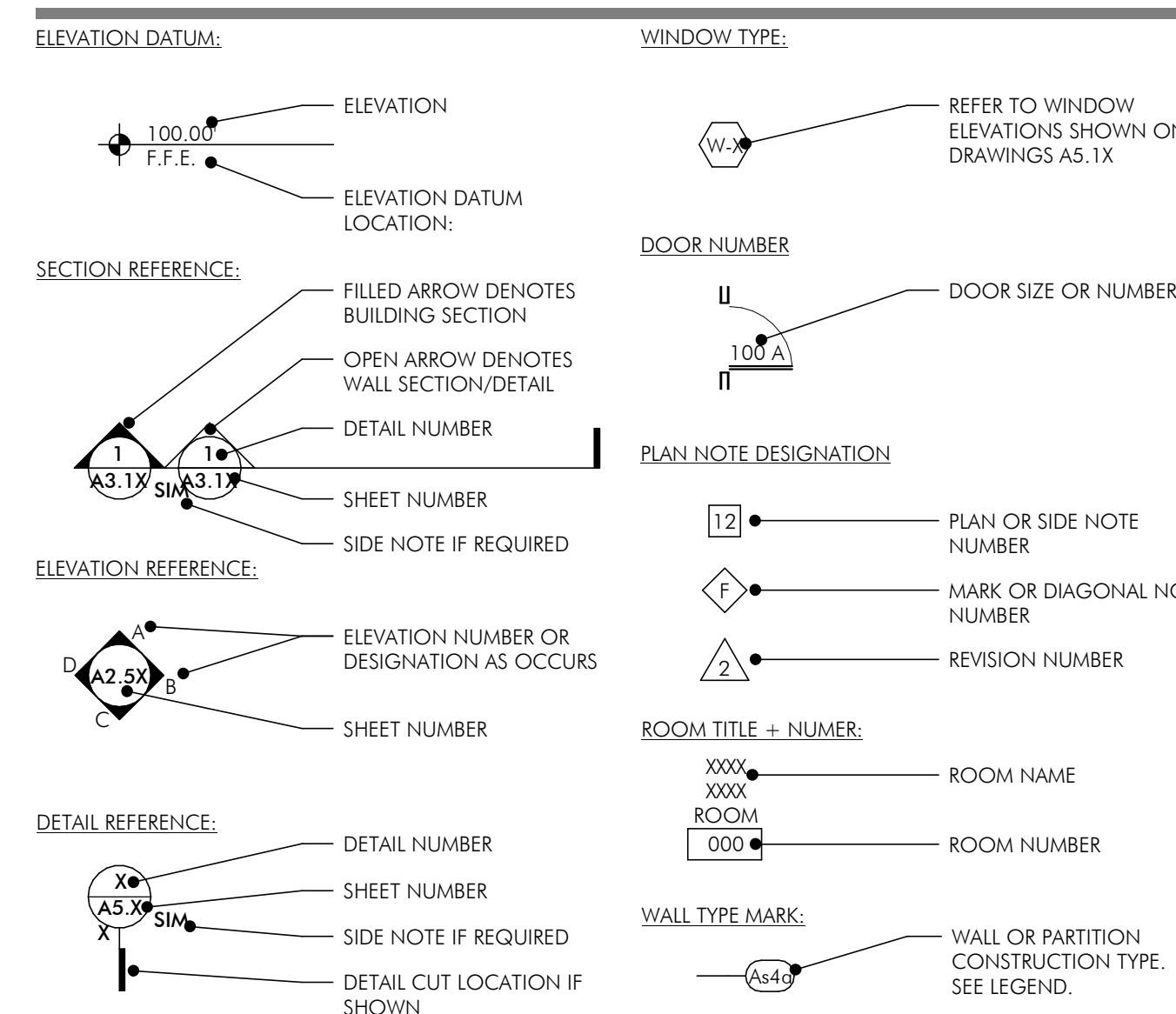
### PROJECT TEAM:

**OWNER:**  
Keri Trask Lazarus Law  
Keri Trask Lazarus  
ker@ktlazaruslaw.com

**ARCHITECT:**  
STUDIO 3 ARCHITECTURE, Inc.  
275 Court Street St. NE Salem OR 97301  
Project Architect: Gene Bolante, AIA  
Project Manager: Matt Johnson  
P: 503.390.6500  
E: matt@studio3architecture.com  
W: www.studio3architecture.com

**GENERAL CONTRACTOR:**  
Montgomery Construction Group  
3755 Amber St NE, Salem, OR 97301  
E: chad@mcgcorp.net  
W: www.mcgcorp.net

### SYMBOL LEGEND:



ALTERATION/REPAIR  
**KTL LAW**  
1455 COMMERCIAL ST SE SALEM, OR 97302

SHEET:

**G0.01**



## GENERAL NOTES:

- General notes apply to all drawings.
- All construction shall comply with the 2014 Oregon Structural Specialty Code. Construction shall comply with any titles/rules/laws the local jurisdiction enforces up to and beyond the 2019 Oregon Structural Specialty Code. Accessibility shall comply with the ANSI/ICC A117.1-2009.
- Contractor or its subcontractors shall be responsible for obtaining and paying for all inspections and tests required by any government agency to implement the plans and accept any required special inspections or reports, which shall be paid for by the owner.
- Work shown on these drawings is to be supplied, furnished, constructed, installed all as per the general conditions and the specifications: exceptions as described by the following abbreviations:
  - CFCI Contractor Furnished - Contractor Installed
  - OFCI Owner Furnished - Contractor Installed
  - OFOI Owner Furnished - Owner Installed
  - NIC OR N.I.C. Not in contract or not a part of this contract.
- Do not scale drawings, dimensions govern. The general contractor shall notify the architect of any discrepancies immediately. All dimensions are to face of stud or concrete, unless otherwise noted, those indicated as clear shall be from finish.
- These drawings have been assembled for use at their current size and scale. The contractor assumes all responsibility for work not conforming to these documents due to the use of reduced scale drawings for estimating or construction purposes.
- Where construction details are not shown or noted for any part of the work, the work shall be executed consistent with the intent demonstrated by details provided for other work. If questions remain about intent, contact the architect prior to proceeding with the work.
- All surfaces and materials shall be thoroughly prepared smooth, clean, level and even. By commencing finish installation, the finish contractor signifies its acceptance of the substrate and thereby assumes responsibility for the quality of the installation.
- Where devices or items or parts thereof are referred to in singular, it is intended that such shall apply to as many such devices, items, or parts as are required to properly complete the work.
- The contractor shall layout the work prior to proceeding. The contractor shall notify the architect of all discrepancies with the layout. Such inspection shall not relieve the contractor of responsibility to conform to the intent of the contract documents.
- Unless otherwise noted, dimensions, placements and alignments shown are critical for the installation of furniture and equipment as well as for the use of the space by occupants. Finished dimensions may vary upward by 1/4" but may not vary downward. Where +/- is indicated variation of up to 3% shall be allowable. Alignments of new and existing conditions shall be finished to a smooth and monolithic appearance (gap shall be overlapped to an inside or outside corner where practicable to avoid cracking).
- Do not deviate from the construction documents without the architect's written approval. The contractor agrees to defend indemnify and hold harmless the architect from any claims arising as a result of changes to the work without prior approval from the architect.
- The general contractor shall be responsible for the timely arrival of all specified finish materials, equipment and any other materials to be utilized on the project. The general contractor shall notify the architect in writing within 10 days of date of contract of those specified items that may not be readily available and substitute items of equal quality and description. If notification is not received by the architect, the contractor accepts responsibility for the proper ordering and follow up of specified cost to the owner to insure availability of all specified items so as not to create a hardship on the owner nor delay progress of the work.
- If required construction barriers shall be installed by the general contractor, painted, detailed, and illuminated as per the architect's direction. No signs other than those authorized by the architect or owner will be permitted on this barricade.
- Neither the owner nor the architect will enforce safety measures or regulations. The contractor shall design, install and maintain all safety devices and shall be solely responsible for conforming to all local, state and federal safety and health standards, laws and regulations.
- All existing facilities to be maintained in-place by the contractor unless otherwise shown or directed. Contractor shall take all precautions necessary to support, maintain or otherwise protect existing utilities and other facilities at all times during construction. Contractor shall leave existing facilities in an equal or better-than-original condition and to the satisfaction of the architect/owner.
- The general contractor shall locate all existing utilities whether shown hereon or not and to protect them from damage. The general contractor shall bear all expenses of repair or replacement of utilities or other property damaged by operations in conjunction with the execution of his/her work.
- The general contractor shall secure all permits required by the local jurisdiction, state agency and/or county.
- Mechanical hvac, plumbing, fire suppression, low voltage and electrical work require separate permits. Trade subcontractors shall secure all required permits affecting their scope of work.
- Exit doors shall be operable from the inside without the use of a key or any special knowledge or effort. Exit doors shall swing in the direction of exit travel when serving an occupant load greater than 50.
- Install wall backing for all wall mounted items, including but not limited to the following: door stops, fixtures, wall cabinets, shelving, counters, toilet accessories, security equipment, hand rails, window covering tracks, equipment racks, etc.
- Coordinate location of recessed or semi-recessed items to avoid back to back installation and to reduce noise transfer through partitions.
- Provide water resistant gypsum board at bathtub/shower walls and bathroom ceilings.
- Architect shows fire extinguishers in general logical location: verify requirements and locations with local fire marshal. General contractor to provide fire extinguishers and cabinets (where called out).
- Specifications of material and equipment by the use of name, model number, and/or general coordinate installations with equipment dimensions, including equipment to be installed by the tenant.
- All work shall conform to standards of the industry for first quality workmanship and materials and shall conform to manufacturer's recommendations and specifications.
- Materials are specified by name, model number and description were practicable in order to avoid inaccuracies. The contractor shall review all specifications and notify the architect of any discrepancies in these documents prior to proceeding with the work.
- Floor material changes shall occur at the centerline of doors except where notes. See threshold details for special conditions (if any).
- Blocking and grounds at areas which have millwork, shelving, and tenant furnished furniture wall cabinets indicated on the drawings shall be included with the work.

## SUBMITTALS:

- General: the contractor shall submit shop drawings, product data and samples.
- The general contractor shall thoroughly review and check all submittals, coordinating separate trades and verifying conformance with the contract documents. The designer shall not review and will return without review any drawings or submittals not reviewed and noted by the general contractor.
- Submittals shall include shop drawings, schedules and manufacturer's product and equipment cuts for all fixtures, equipment, finishes, special materials, specialties, millwork & casework, doors, frames, and hardware.
- Finish materials: contractor shall submit samples of all finishes and materials, finishes shall be on actual materials.
- Cut sheets: contractor shall submit manufacturer's cuts and spec sheets for all fixtures, including lighting, equipment, special materials, specialties, doors, frames and hardware.
- Minimum sample size:
  - Wood veneered products - 8 1/2" x 11" x 1/4"
  - Solid lumber - 50 square inches
  - Other finishes and miscellaneous materials - 6" x 6"
- Quantity of submittals:
  - Material samples: 3
  - Shop drawings: 1 pdf
  - Erection drawings: 1 pdf
- Submittal markings: the samples shall bear identification of the project, designer, general contractor, and the manufacturer.
- Quality grade of millwork and casework: AWI quality standards and specifications shall govern according to the following grades:
  - Casework: Premium Grade
  - Natural finish millwork: Premium Grade
  - Running trim: Custom Grade
  - Architectural flush doors (natural finish): Premium Grade

## DEFERRED SUBMITTALS:

- Deferred submittal review process: the portions of the project listed below will be constructed using a design/build approach.
- The drawings included in this package are preliminary to provide a basis for bidding and planning.
- Construction drawings for the portions listed are to be provided by the contractor as "deferred submittal" drawings.
- "Deferred submittal" drawings require approval of both architect/engineer and the authority having jurisdiction prior to construction per O.S.S.C. 2019 paragraph 107.3.4.2.
- The procedure for deferred submittal is as follows:
  - Contractor to review and provide submittal stamp of approval.
  - Deferred submittal shall be submitted to the architect for review.
  - Following the completion of the architects review the contractor shall submit to the authority having jurisdiction.
  - Work related to deferred submittal items shall not be performed until the deferred submittal documents have been approved by the authority having jurisdiction.
- The contractor is responsible for the following deferred submittals:
  - Electrical service design
  - Mechanical HVAC (Heating Ventilating And Air Conditioning) system design
  - Plumbing service design
  - Fire suppression
  - Fire alarm (where applicable)
- Design-build coordination, design build services shall include but not be limited to the following:
  - Electrical system and service design
  - Mechanical HVAC (Heating Ventilating And Air Conditioning) system design
  - Plumbing system and service design
  - Fire suppression
  - Fire alarm (approved first by general contractor)
- Final design, engineering and shop drawings shall be submitted to architect for review and approval prior to proceeding, shop drawings shall include all materials, configurations, attachments, and finishes.

## DESIGN-BUILD NOTES:

- Design/Build - mechanical/electrical/plumbing/sprinkler.
- Design/Build services shall be required of the Contractor for the Mechanical, Electrical, Plumbing, and Sprinkler portions of the work. All systems new and existing shall be designed, modified, provided and/or installed as required by the new layout. Contractor shall submit design drawings and product submittals for all design/build systems to the designer and the building for review and approval.
- Conform to applicable codes, ordinances, specific building standards and industry standards for first class installations of all systems. Comply with building and lease specific requirements for emergency lighting, electrical service and sub-metering (contractor shall be responsible for the verification of adequacy of service and panel space). Contractor shall field verify and confirm with the building prior to submitting their bid for the work.
- Contractors shall be responsible for all design and documentation (including required design documents professionally sealed by an engineer where and as required by the local jurisdiction) as may be required for the full and complete installation of HVAC, power, lighting and sprinkler systems, as well as applying and obtaining all permits, approvals, inspections and certificates required for the completion of the project for occupancy.
- Contractor shall submit HVAC design drawings and product submittals to the designer and the building for review and approval, including clear indications of zones, locations of supply and return diffusers and thermostat locations. Contractor shall provide HVAC balancing report in triplicate to the architect and the building upon completion of the installation and balancing.
- Fire suppression system: contractor shall modify existing fire suppression system consistent with requirements of code, new use, NFPA, and owner's insurance underwriter. Submit shop drawings for approval of building's engineer.
- Sprinkler head types:
  - At gypsum board ceiling: fully recessed flush mounted type with white cover plates.
  - At suspended acoustic tile ceiling: centering not required, maintain min 6" from grid.
- Contractor shall be responsible for complete as-built documents at the completion of the project and shall submit reproducible copies to the landlord for their records.

## R.C.P. GENERAL NOTES:

- Light fixtures, exit signs and other ceiling elements shall be located in center of individual ceiling plane or tile unless noted otherwise or as directed by architect.
- Provide ceiling access as required for equipment and systems maintenance. Verify manufacturer recommendations.
- Electrical contractor to provide all switches, dimmers and plates as required by design, multiple switches at one location shall be ganged together and furnished with one cover plate.
- The reflected ceiling plan indicates the location of ceiling types, ceiling fixtures light switches and associated items.
- Contractor to notify architect of any conflict of light fixture locations with main runners, ducts, etc. Prior to installation.
- Verify field conditions and locations of all plumbing, mechanical ducts, structural elements and any and all other applicable items. Install new plumbing, mechanical fans, ducts, conduits, and other related items so as to not conflict with lights and any unique field conditions.
- Furnish and install Underwriters Laboratory, Inc. (UL) labeled devices throughout.
- Any lighting control systems which utilize an automatic time switch, occupant-sensing device, automatic daylight control device, lumen maintenance control device or interior photocell sensor, shall be installed in accordance with the manufacturers instruction.
- Automatic daylight control devices and lumen maintenance control devices shall only control luminaries in the day lit area and have photocell sensors that are either ceiling mounted or located so that they are accessible only to authorized personnel.

## PLUMBING MECHANICAL GENERAL NOTES:

- Plumbing systems work for this project is shown for design-build guidance.
- Plumbing fixtures are located on drawings for location only. Confirm fixture selection with owner prior to installation.
- Equipment schedule does not specify any plumbing fixtures such as grease traps, faucets, pressure reducing valves, etc. Nor does it include final connection to service. Plumbing contractor to provide if necessary.
- Contractor or its subcontractors shall be responsible for obtaining and paying for all inspections and tests required by any governmental agency to implement the plans and accept any required special inspections or reports, which shall be paid for by the owner.
- Plumbing requirements shown only for items listed on equipment schedule.
- Plumbing contractor to provide rough-in and final connect.
- Although some floor drains may be shown on plans, provide all required floor drains per the plumbing code.

## HVAC MECHANICAL GENERAL NOTES:

- Mechanical HVAC work for this project is shown for design-build guidance.
- Mechanical HVAC work for this project consists in exhaust fans and duct work as well as any code mandated ventilation.
- Exhaust fans and circulation fans are located on drawings for general location only. Sizing is the responsibility of the design build contractor. Confirm equipment selection with owner prior to installation.
- HVAC subcontractor to provide submittal information and receive owner approval prior to ordering equipment.
- Contractor is required to review the drawings of all divisions of work contractor is responsible for coordination of this work and the work of all subcontractors with all divisions of work. It is this contractor's responsibility to provide all the subcontractors with a complete set of bid documents.
- Contractor or its subcontractors shall be responsible for obtaining and paying for all inspections and tests required by any governmental agency to implement the plans and accept any required special inspections or reports, which shall be paid for by the owner.
- The contractor shall furnish and install any additional structural steel required to support any mechanical equipment. This contractor shall coordinate locations and requirements with the general contractor and landlord prior to bid.

## ELECTRICAL GENERAL NOTES:

- Electrical work for this project is shown for design-build guidance.
- Light fixtures and electric heating devices are located on drawings for general location only. Sizing of lumen output and power consumption is the responsibility of the design build contractor. Confirm fixture selection with owner prior to installation.
- Contractor and subcontractors are required to review the drawings for all divisions of work. Contractor is responsible for coordination of this work and the work of all subcontractors with all divisions of work including electrical demolition. It is this contractor's responsibility to provide all the subcontractors with a complete set of bid documents.
- Contractor or its subcontractors shall be responsible for obtaining and paying for all inspections and tests required by any governmental agency to implement the plans and accept any required special inspections or reports, which shall be paid for by the owner.
- Electrical information provided on architectural floor plans is for reference only, electrical design build sub-contractor to confirm and coordinate all work.
- Placement of light fixtures in ceiling planes takes precedence over all other services including fire protection or suppression devices.
- Placement of receptacles, convenience outlets, switches, smoke detectors, etc must meet electrical code requirements, accessibility requirements and must be rationally laid out in the space available.
- Circuiting indicated on plan is partially diagrammatic for clarity. Circuiting shall be "thru-wiring" where and whenever possible.
- Field verify exact location and electrical requirements of all HVAC equipment with mechanical contractor prior to ordering related electrical equipment.
- Coordinate with tenant's equipment power requirements.
- Electrical contractor shall make all final connections as required for a fully complete and operable system.
- All stub-up dimensions from finished floor to center of box.
- Equipment listed on equipment schedule will be uncrated and set in place only. Rough in and final hookup will performed by the electrical contractor.
- All electrical outlets and connections to be grounded type.
- Electrical contractor to furnish disconnects where code requires.
- Equipment listed on the equipment schedule does not include electrical fittings such as relays or disconnects to the electrical service.
- Plugs should enter receptacle from the dimension side of symbols unless noted otherwise.

STUDIO

3

ARCHITECTURE  
INCORPORATED

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SALEM, OR 97301-3442  
P: 503.390.6500  
www.studio3architecture.com



IN THE EVENT CONFLICTS ARE DISCOVERED BETWEEN THE ORIGINAL SIGNED AND SEALED DOCUMENTS PREPARED BY THE ARCHITECTS AND/OR THEIR CONSULTANTS, AND ANY COPY OF THE DOCUMENTS TRANSMITTED BY MAIL, FAX, ELECTRONICALLY OR OTHERWISE, THE ORIGINAL SIGNED AND SEALED DOCUMENTS SHALL GOVERN.

PROJECT # 2019-155  
DATE: 1/3/2020

REVISIONS

ALTERATION/REPAIR  
**KTL LAW**  
1455 COMMERCIAL ST SE SALEM, OR 97302

SHEET:

**GO.02**

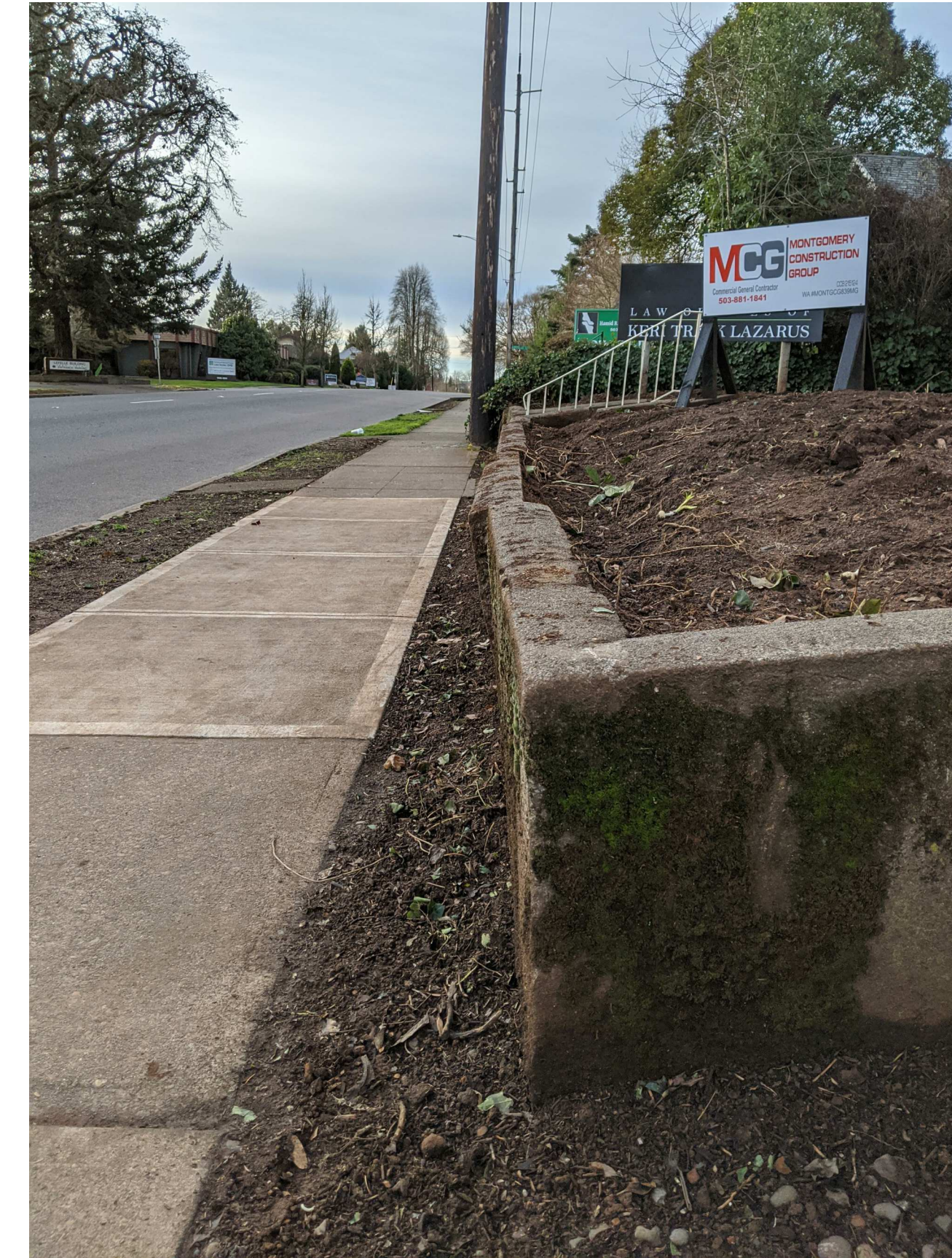




WEST ELEVATION



WEST FACADE INCLUDING DOOR TO BE REMOVED



DAMAGED RETAINING WALL



DAMAGED RETAINING WALL



DAMAGED RETAINING WALL



IN THE EVENT CONFLICTS ARE DISCOVERED BETWEEN THE ORIGINAL SIGNED AND SEALED DOCUMENTS PREPARED BY THE ARCHITECTS AND/OR THEIR CONSULTANTS, AND ANY COPY OF THE DOCUMENTS TRANSMITTED BY MAIL, FAX, ELECTRONICALLY OR OTHERWISE, THE ORIGINAL SIGNED AND SEALED DOCUMENTS SHALL GOVERN.

PROJECT # 2019-155  
DATE: 1/3/2020

REVISIONS

ALTERATION/REPAIR

**KTL LAW**

1455 COMMERCIAL ST SE SALEM, OR 97302

SHEET:

**GO.03**

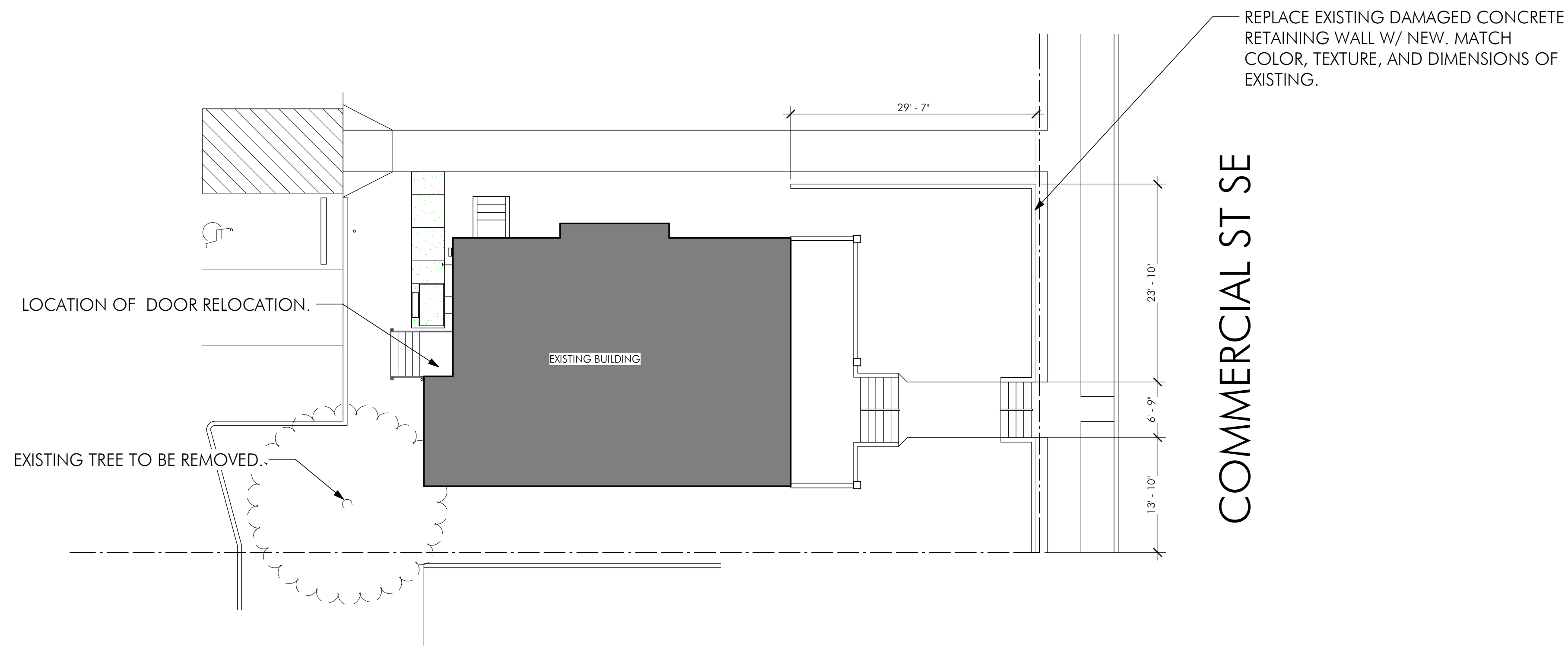




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PROJECT # 2019-155  
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REVISIONS



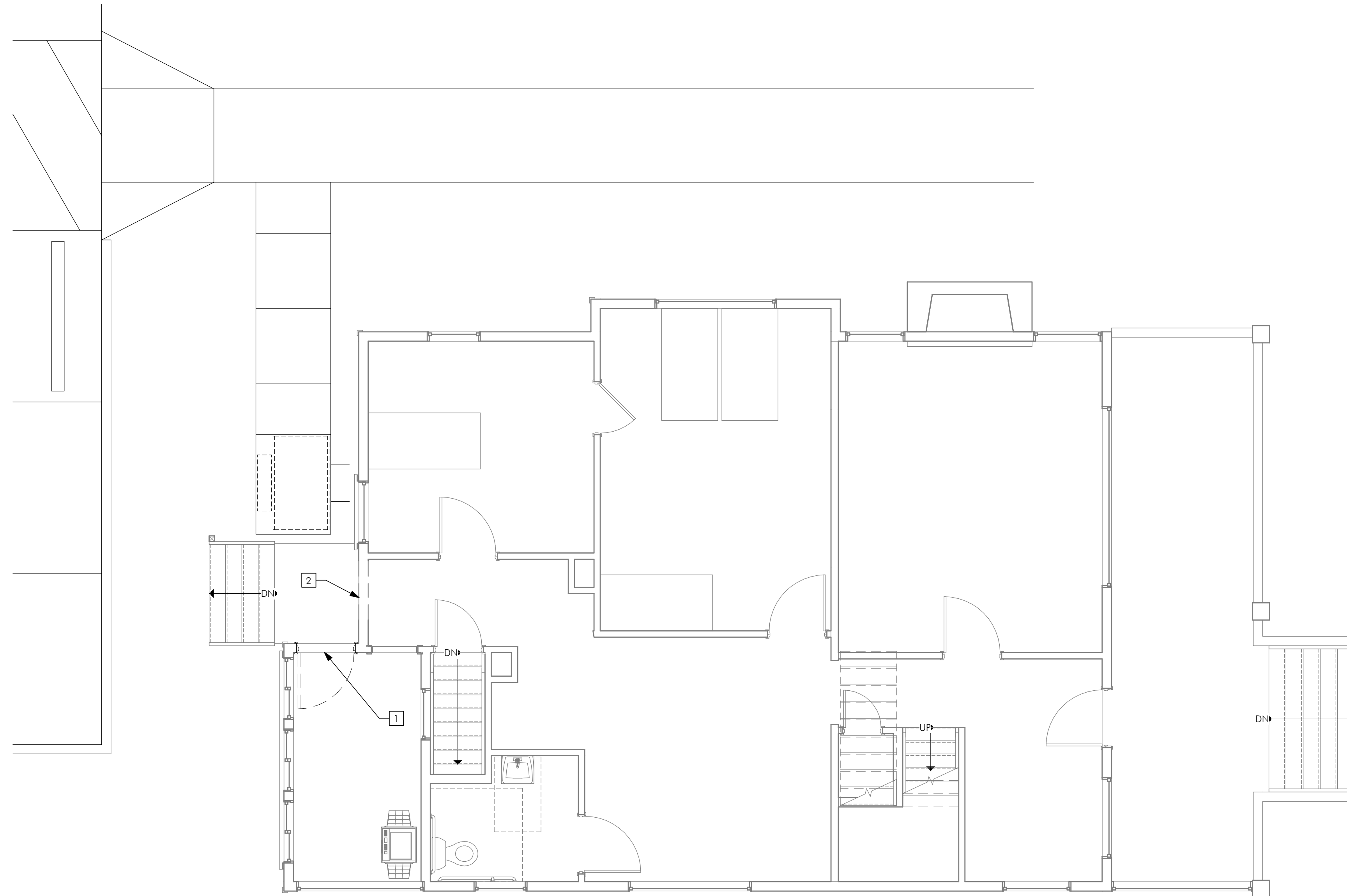


## GENERAL DEMOLITION NOTES:

- GENERAL DEMOLITION NOTES APPLY TO ALL DEMOLITION DRAWINGS.
- COORDINATE WORK WITH UTILITY COMPANIES; NOTIFY BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS; OBTAIN REQUIRED PERMITS.
- COMPLY WITH APPLICABLE CODES AND REGULATIONS FOR DEMOLITION OPERATIONS AND SAFETY OF ADJACENT STRUCTURES AND THE PUBLIC.
  - OBTAIN REQUIRED PERMITS.
  - COMPLY WITH APPLICABLE REQUIREMENTS OF NFPA 241.
  - USE OF EXPLOSIVES IS NOT PERMITTED.
  - PROVIDE, ERECT, AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES.
  - USE PHYSICAL BARRIERS TO PREVENT ACCESS TO AREAS THAT COULD BE HAZARDOUS TO WORKERS OR THE PUBLIC.
  - CONDUCT OPERATIONS TO MINIMIZE EFFECTS ON AND INTERFERENCE WITH ADJACENT STRUCTURES AND OCCUPANTS.
  - DO NOT CLOSE OR OBSTRUCT ROADWAYS OR SIDEWALKS WITHOUT PERMIT.
  - CONDUCT OPERATIONS TO MINIMIZE OBSTRUCTION OF PUBLIC AND PRIVATE REQUIRED EXITS AT ANY TIME; PROTECT PERSONS USING ENTRANCES AND EXITS FROM REMOVAL OPERATIONS.
  - OBTAIN WRITTEN PERMISSION FROM OWNERS OF ADJACENT PROPERTIES WHEN DEMOLITION EQUIPMENT WILL TRAVERSE, INFRINGE UPON OR LIMIT ACCESS TO THEIR PROPERTY.
- PERFORM DEMOLITION IN A MANNER THAT MAXIMIZES SALVAGE AND RECYCLING OF MATERIALS.
  - DISMANTLE EXISTING CONSTRUCTION AND SEPARATE MATERIALS.
  - SET ASIDE REUSABLE, RECYCLABLE, AND SALVAGEABLE MATERIALS; STORE AND DELIVER TO COLLECTION POINT OR POINT OF REUSE.
- HAZARDOUS MATERIALS: COMPLY WITH 29 CFR 1926 AND STATE AND LOCAL REGULATIONS.
- MAINTAIN WEATHERPROOF EXTERIOR BUILDING ENCLOSURE EXCEPT FOR INTERRUPTIONS REQUIRED FOR REPLACEMENT OR MODIFICATIONS; TAKE CARE TO PREVENT WATER AND HUMIDITY DAMAGE.
- DRAWINGS SHOWING EXISTING CONSTRUCTION AND UTILITIES ARE BASED ON CASUAL FIELD OBSERVATION AND EXISTING RECORD DOCUMENTS ONLY.
  - VERIFY THAT CONSTRUCTION AND UTILITY ARRANGEMENTS ARE AS SHOWN.
  - REPORT DISCREPANCIES TO ARCHITECT BEFORE DISTURBING EXISTING INSTALLATION.
  - BEGINNING OF DEMOLITION WORK CONSTITUTES ACCEPTANCE OF EXISTING CONDITIONS.
- SEPARATE AREAS IN WHICH DEMOLITION IS BEING CONDUCTED FROM OTHER AREAS THAT ARE STILL OCCUPIED.
  - PROVIDE, ERECT, AND MAINTAIN TEMPORARY DUSTPROOF PARTITIONS OF CONSTRUCTION IN LOCATIONS INDICATED ON DRAWINGS OR AS DIRECTED.
- REMOVE EXISTING WORK AS INDICATED AND AS REQUIRED TO ACCOMPLISH NEW WORK.
  - REMOVE ITEMS INDICATED ON DRAWINGS.
- SERVICES (INCLUDING BUT NOT LIMITED TO HVAC, PLUMBING, FIRE PROTECTION, ELECTRICAL, AND TELECOMMUNICATIONS): REMOVE EXISTING SYSTEMS AND EQUIPMENT AS INDICATED.
  - MAINTAIN EXISTING ACTIVE SYSTEMS THAT ARE TO REMAIN IN OPERATION; MAINTAIN ACCESS TO EQUIPMENT AND OPERATIONAL COMPONENTS.
  - WHERE EXISTING ACTIVE SYSTEMS SERVE OCCUPIED FACILITIES BUT ARE TO BE REPLACED WITH NEW SERVICES, MAINTAIN EXISTING SYSTEMS IN SERVICE UNTIL NEW SYSTEMS ARE COMPLETE AND READY FOR SERVICE.
  - VERIFY THAT ABANDONED SERVICES SERVE ONLY ABANDONED FACILITIES BEFORE REMOVAL.
  - REMOVE ABANDONED PIPE, DUCTS, CONDUITS, AND EQUIPMENT, INCLUDING THOSE ABOVE ACCESSIBLE CEILINGS; REMOVE BACK TO SOURCE OF SUPPLY WHERE POSSIBLE, OTHERWISE CAP STUB AND TAG WITH IDENTIFICATION.
- PROTECT EXISTING WORK TO REMAIN.
  - PREVENT MOVEMENT OF STRUCTURE; PROVIDE SHORING AND BRACING IF NECESSARY.
  - PERFORM CUTTING TO ACCOMPLISH REMOVALS NEATLY AND AS SPECIFIED FOR CUTTING NEW WORK.
  - REPAIR ADJACENT CONSTRUCTION AND FINISHES DAMAGED DURING REMOVAL WORK.
  - PATCH AS SPECIFIED FOR PATCHING NEW WORK.
- REMOVE BUILDING FOUNDATIONS UNDER DEMOLISHED BUILDINGS, COMPLETELY.
- REMOVE BUILDING SERVICES AND BURIED UTILITIES UNDER DEMOLISHED BUILDINGS, COMPLETELY.
- REMOVE DEBRIS, JUNK, AND TRASH FROM SITE.
- REMOVE FROM SITE ALL MATERIALS NOT TO BE REUSED ON SITE; DO NOT BURN OR BURY.
- LEAVE SITE IN CLEAN CONDITION, READY FOR SUBSEQUENT WORK.
- CLEAN UP SPILLAGE AND WIND-BLOWN DEBRIS FROM PUBLIC AND PRIVATE LANDS.

## DEMOLITION FLOOR PLAN NOTES:

- 1 EXISTING DOOR AND TRIM TO BE REMOVED.
- 2 REMOVE PORTION OF EXISTING EXTERIOR WALL, PREPARE OPENING FOR NEW DOOR PER PLANS.

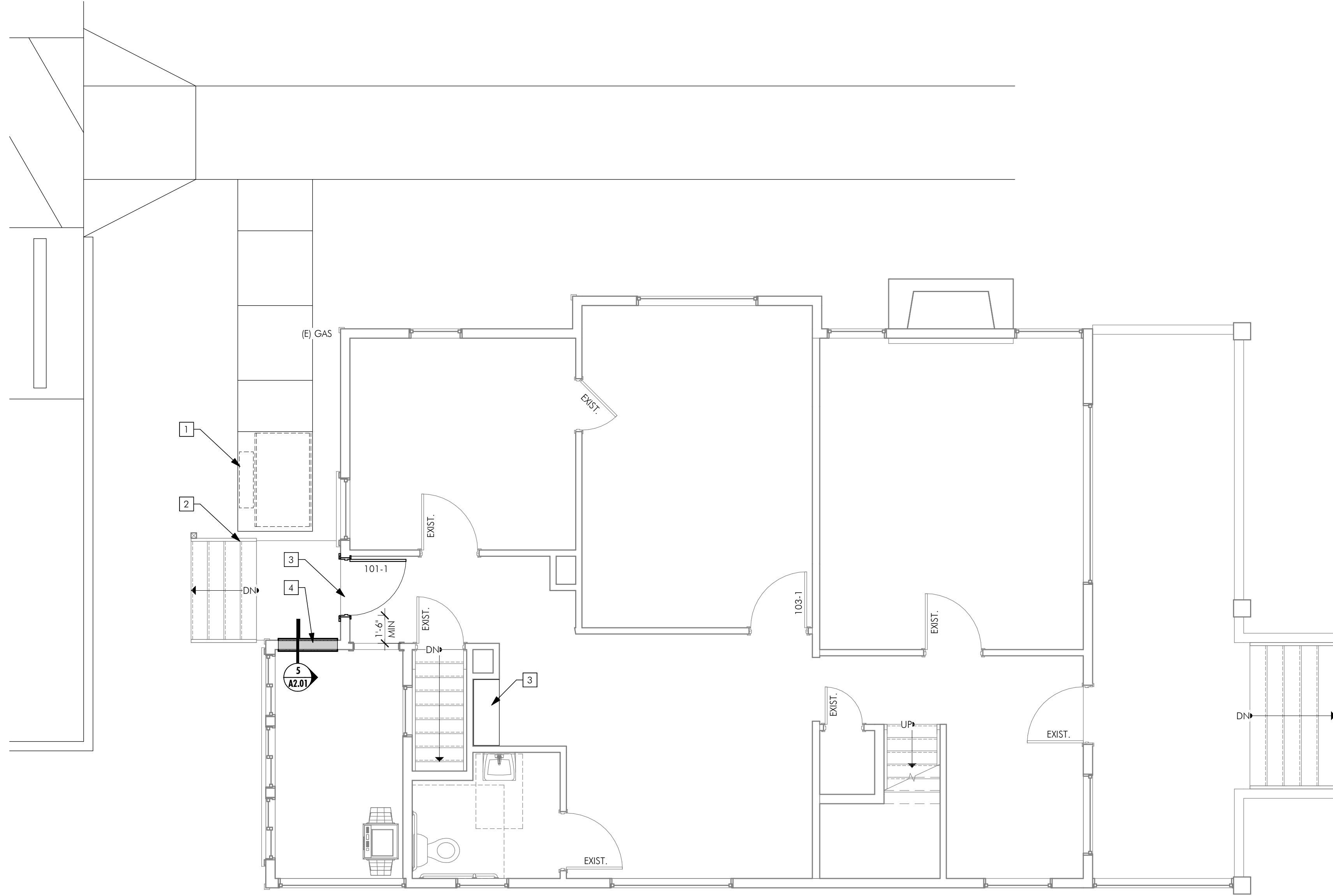


GENERAL PLAN NOTES:

1. GENERAL NOTES APPLY TO ALL DRAWINGS.
2. DRAWINGS ARE DIAGRAMMATIC ONLY AND SHOULD NOT BE SCALED. NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY UPON DISCOVERY. OBTAIN CLARIFICATION OF DIMENSIONS OR DISCREPANCIES PRIOR TO PROCEEDING WITH AREA OF REQUIRED WORK.
3. DIMENSIONS ARE TO FACE OF FRAMING. DIMENSIONS STATED AS CLEAR ARE TO FACE OF FINISH.
4. SEE WALL SECTIONS FOR DESCRIPTION OF EXTERIOR WALL MATERIALS.
5. ALL INTERIOR PARTITIONS TO RECEIVE GLASS FIBER INSULATION, FULL HEIGHT.
6. COORDINATE LOCATION OF RECESSED OR SEMI-RECESSED ITEMS TO AVOID BACK TO BACK INSTALLATION AND TO REDUCE NOISE TRANSFER THROUGH PARTITIONS.
7. INSTALL WALL BACKING FOR ALL WALL MOUNTED ITEMS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: DOOR STOPS, FIXTURES, WALL CABINETS, SHELVING, COUNTERS, TOILET ACCESSORIES, SECURITY EQUIPMENT, TACK BOARDS AND MARKER BOARDS, HAND RAILS AND WINDOW COVERING TRACKS.
8. SEPARATE AREAS IN WHICH WORK IS BEING CONDUCTED FROM OTHER AREAS THAT ARE STILL OCCUPIED.
  - A. PROVIDE, ERECT, AND MAINTAIN TEMPORARY DUSTPROOF PARTITIONS OF SUITABLE CONSTRUCTION IN LOCATIONS INDICATED ON DRAWINGS OR AS DIRECTED.
9. PROTECT EXISTING WORK TO REMAIN.
  - A. PREVENT MOVEMENT OF STRUCTURE; PROVIDE SHORING AND BRACING IF NECESSARY.
  - B. PERFORM CUTTING TO ACCOMPLISH REMOVALS NEATLY AND AS SPECIFIED FOR CUTTING NEW WORK.
  - C. REPAIR ADJACENT CONSTRUCTION AND FINISHES DAMAGED DURING REMOVAL WORK.
  - D. PATCH AS SPECIFIED FOR PATCHING NEW WORK.
10. REMOVE DEBRIS, JUNK, AND TRASH FROM SITE.
11. REMOVE FROM SITE ALL MATERIALS NOT TO BE REUSED ON SITE; DO NOT BURN OR BURY.
12. LEAVE SITE IN CLEAN CONDITION, READY FOR SUBSEQUENT WORK.
13. CLEAN UP SPILLAGE AND WIND-BLOWN DEBRIS FROM PUBLIC AND PRIVATE LANDS.
14. WORK SHOWN ON THESE DRAWINGS IS TO BE SUPPLIED, FURNISHED, CONSTRUCTED, INSTALLED ALL AS PER THE GENERAL CONDITIONS AND THE SPECIFICATIONS: EXCEPTIONS AS DESCRIBED BY THE FOLLOWING ABBREVIATIONS:
  - A. CFCI - CONTRACTOR FURNISHED - CONTRACTOR INSTALLED.
  - B. OFCI - OWNER FURNISHED - CONTRACTOR INSTALLED.
  - C. OFOI - OWNER FURNISHED - OWNER INSTALLED.
  - D. NIC OR N.I.C. - NOT IN CONTRACT OR NOT A PART OF THIS CONTRACT.

FLOOR PLAN NOTES:

- 1 EXISTING LIFT TO REMAIN.
- 2 EXISTING STAIR/PORCH TO REMAIN.
- 3 NEW 3'-0" x 6'-8" INSULATED FIBERGLASS EXTERIOR DOOR. PAINT BLACKBERRY TO MATCH EXISTING EXTERIOR DOORS.
- 4 INFILL OPENING WHERE EXISTING DOOR WAS REMOVED W/ 2x6 FRAMING @ 16" O.C. W/ R-21 BATT INSULATION. PROVIDE WOOD LAP WIDING W/ 5-1/2" EXPOSURE, PAINT TO MATCH EXISTING.



1 PROPOSED FIRST FLOOR PLAN  
0' 1' 2' 4' 8' 12' 1/4" = 1'-0"





**ELEVATION NOTES:**

- 1 INSULATED FIBERGLASS EXTERIOR DOOR. PAINT 'BLACKBERRY' TO MATCH EXISTING EXTERIOR DOORS.
- 2 WOOD TRIM TO MATCH EXISTING ENTRY DOOR ON EAST FACADE.
- 3 EXISTING STAIR/PORCH TO REMAIN.
- 4 EXISTING WINDOW. REPLACING EXISTING GLAZING WITH SAFETY GLAZING FROM INTERIOR OF WINDOW. PROVIDE PRIVACY FILM TO MATCH EXISTING GLAZING.
- 5 DASHED LINE REPRESENTS EXISTING ACCESSIBLE LIFT TO REMAIN.

**GLAZING TYPES:**

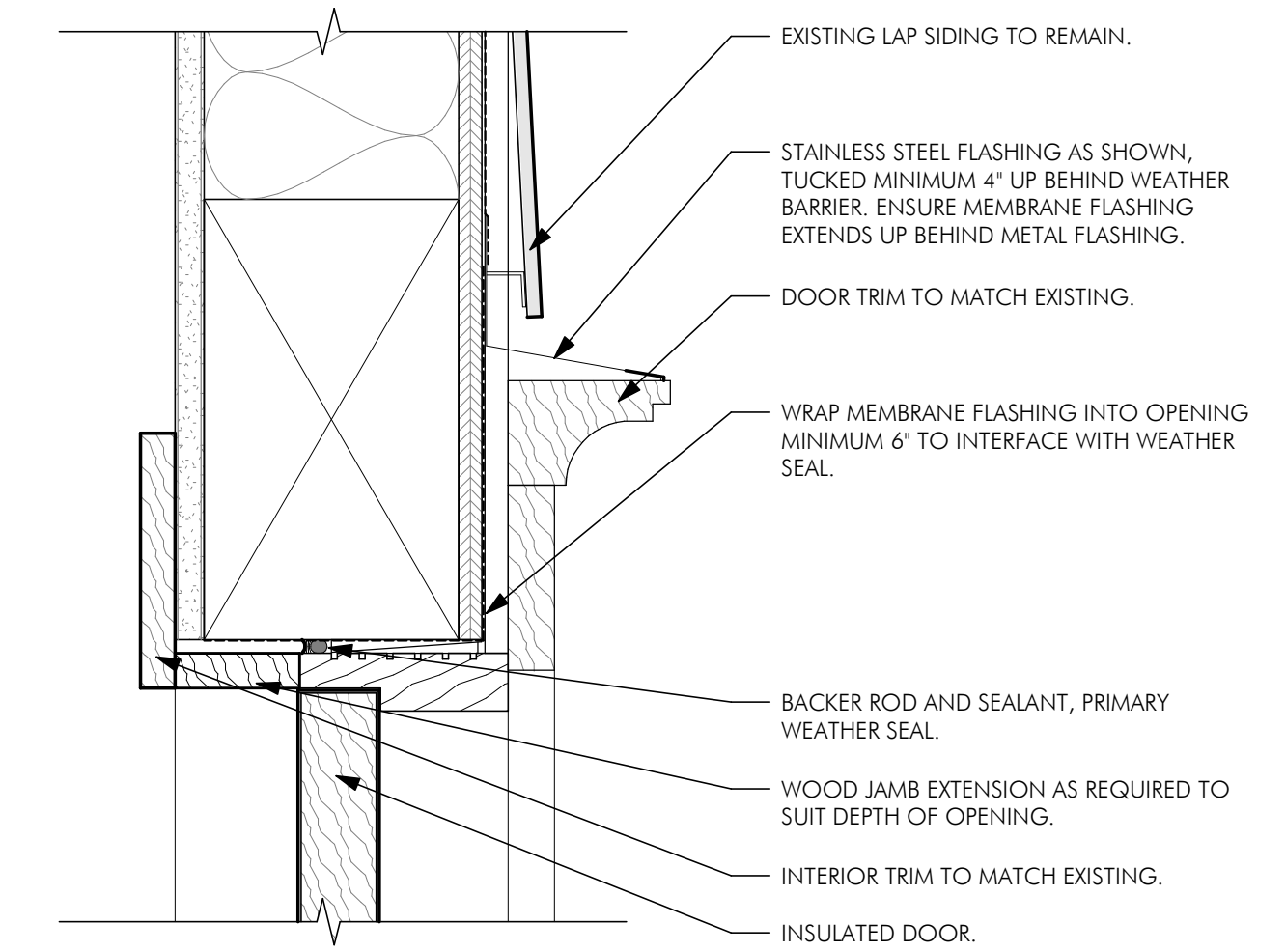
- Type G-3** - Non-insulating Glass Units:  
Applications: Provide this type of glazing in the following locations:  
- Interior lites in and within 18" of doors.  
- Type: Tempered, non-insulated glazing.  
- Tint: Clear.



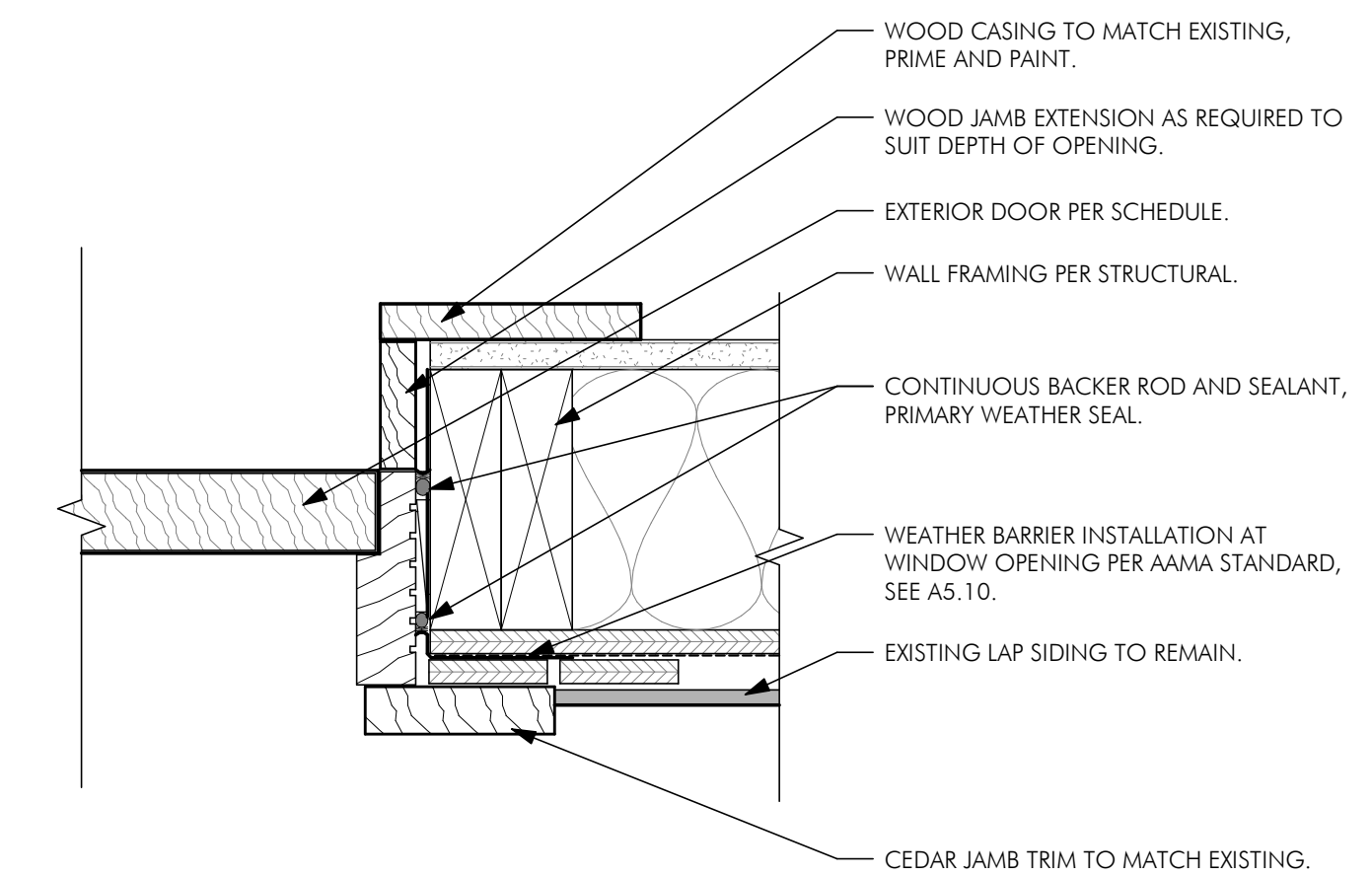
**1** WEST ELEVATION - PROPOSED  
0' 1' 2' 4' 8' 12' 1/4" = 1'-0"



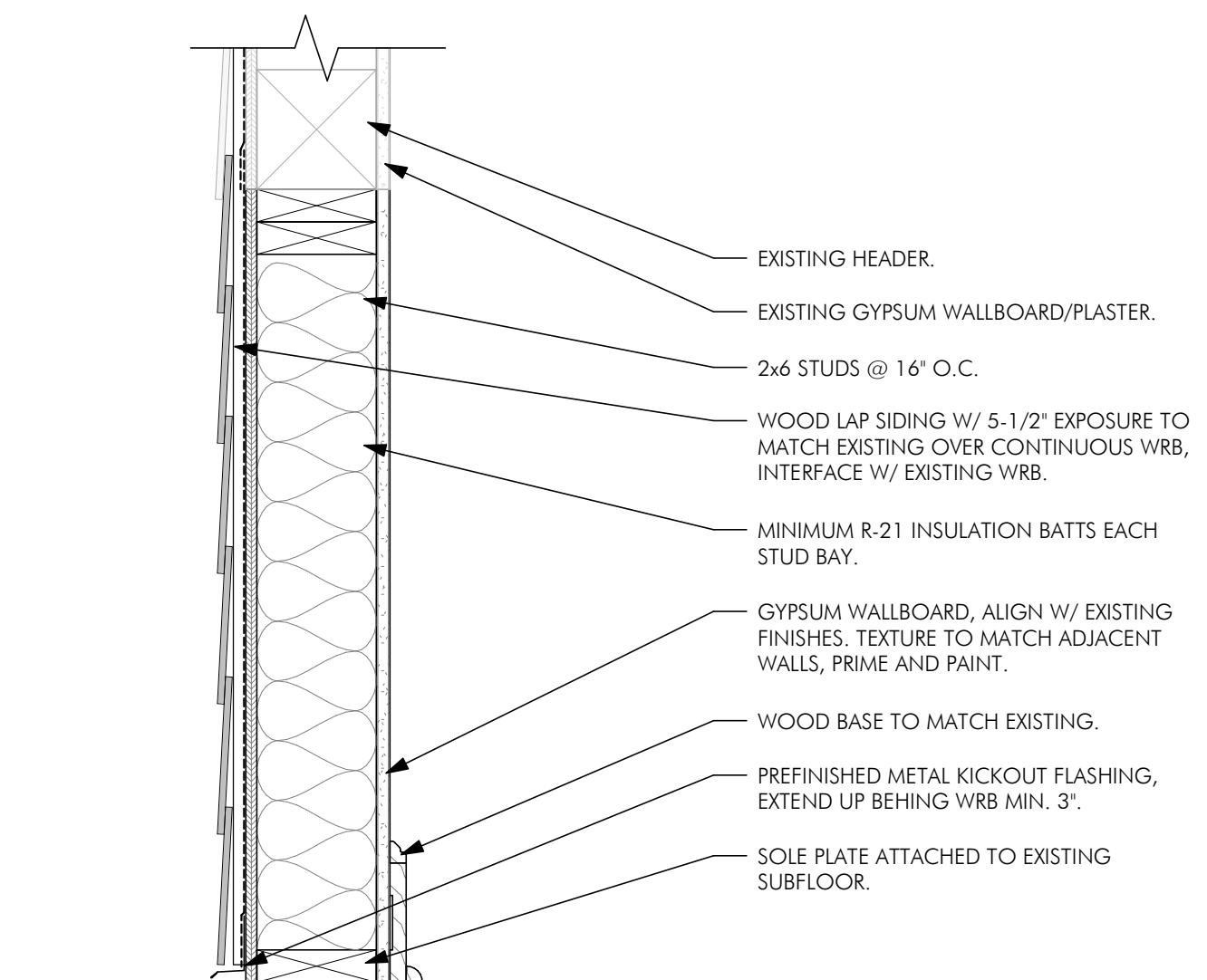
**2** WEST ELEVATION - EXISTING  
0' 1' 2' 4' 8' 12' 1/4" = 1'-0"



**3** EXTERIOR WOOD DOOR HEAD  
0' 2' 4' 8' 1'-0" 2'-0" 3' = 1'-0"



**4** EXTERIOR WOOD DOOR JAMB  
0' 1' 2' 4' 6' 1'-0" 3' = 1'-0"



**5** EXTERIOR INFILL AT EXISTING OPENING  
0' 2' 4' 8' 1'-0" 2'-0" 1 1/2" = 1'-0"



**JELD WEN**  
WINDOWS & DOORS

Exterior Doors  
Fiberglass Doors  
Design-Pro/Smooth-Pro

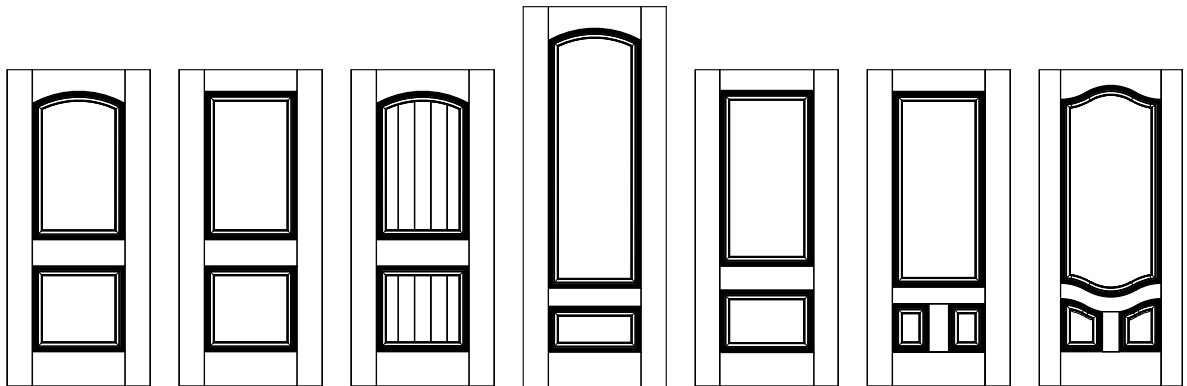
Architectural Design Manual

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**Product Information**

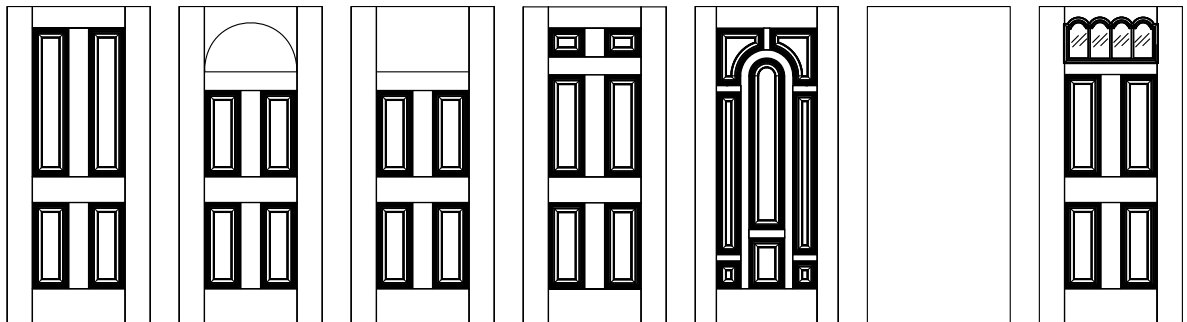
Typical Cross-Section Details .....4

Sticking Profile Details.....5

**Section Details**


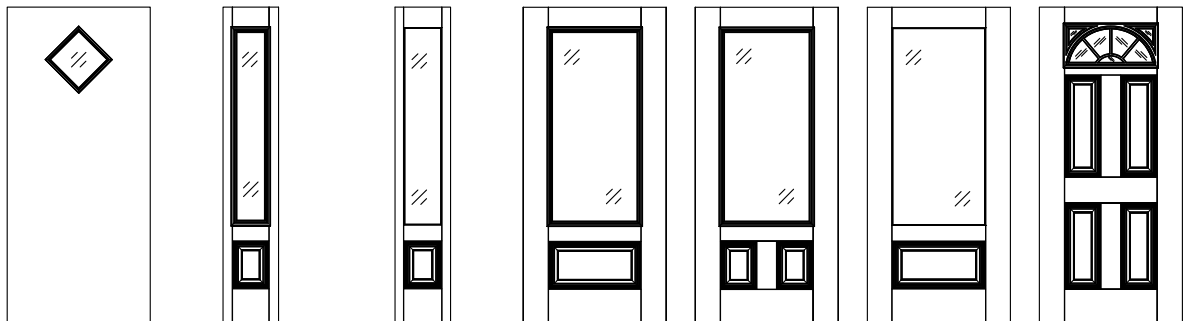
Model: 2 Panel Arch Top    2 Panel Square Top    2 Panel Plank Arch Top    2 Panel Arch Top    2 Panel Euro    3 Panel 3/4 Top    3 Panel Scroll

Page: 6    9    13    19    20    21    22



Model: 4 Panel    4 Panel Blank Top    4 Panel Blank Top    6 Panel    8 Panel Center Arch    Flush    4 Panel Gothic

Page: 23    24    25    26    31    32    35



Model: Diamond    3/4 View Sidelite    3/4 View Direct Glazed Sidelite    3/4 View 1 Panel    3/4 View 2 Panel    3/4 View 1 Panel Direct Glazed    Sunburst 7 Lite

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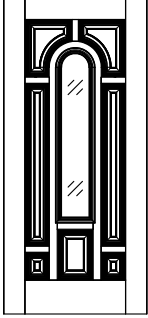
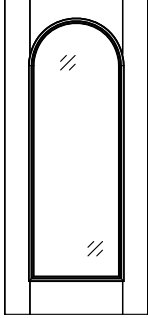
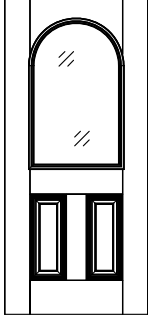
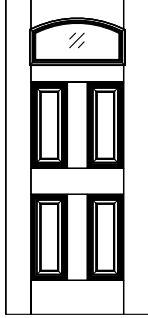
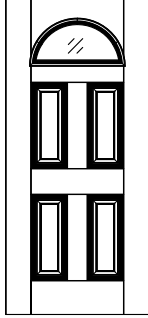
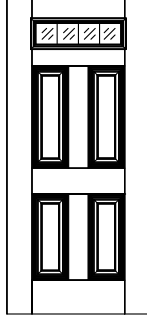
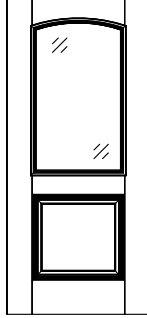
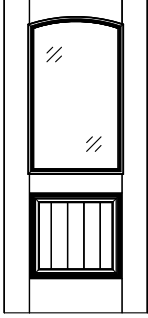
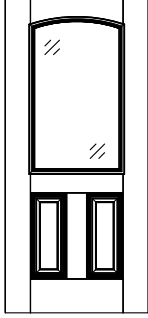
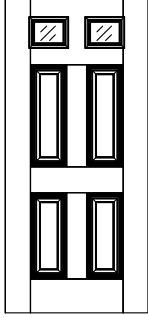
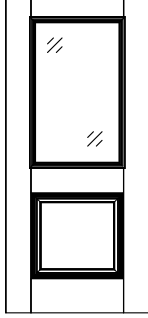
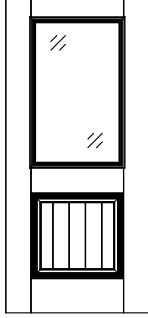
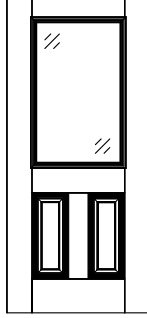
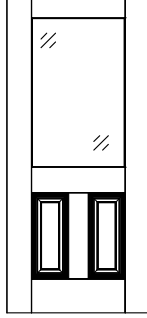
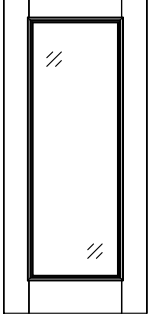
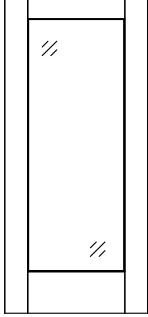
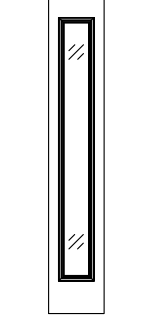
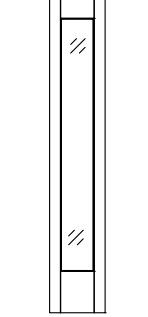
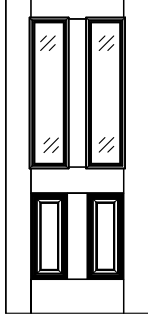
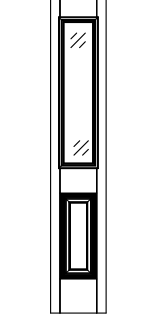
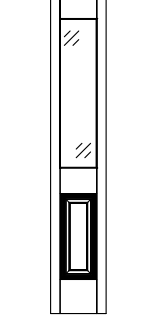
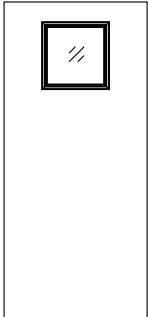
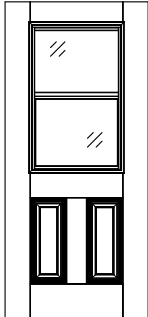



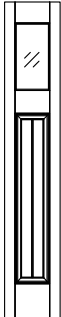
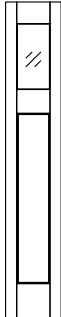
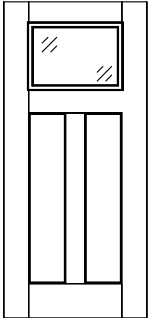
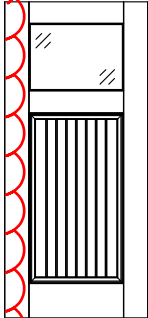
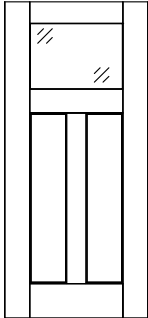
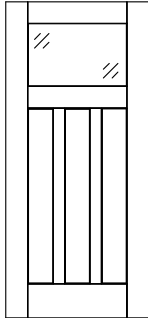
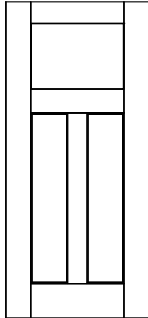
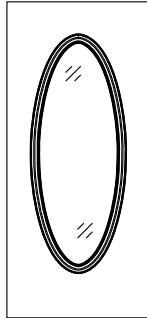
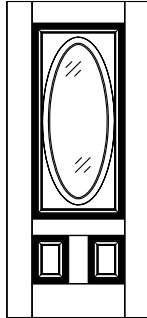
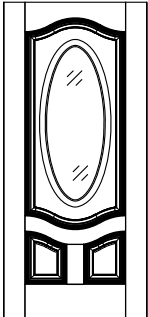
						
Model: Center Arch	Full View Round Top	1/2 View Round Top	Camber Top	Sunburst	4 Lite	1/2 View 1 Panel Camber Top
Page: 61	63	67	69	71	73	77
						
Model: 1/2 View 1 Panel Plank Camber Top	1/2 View Camber Top	Twin Top Lite	1/2 View 1 Panel	1/2 View 1 Panel Plank	1/2 View 2 Panel	1/2 View 2 Panel Direct Glazed
Page: 81	85	89	93	99	105	111
						
Model: Full View	Full View Direct Glazed	Full View Sidelite	Full View Direct Glazed Sidelite	Twin 1/2 View	1/2 View Sidelite	1/2 View Direct Glazed Sidelite
Page: 113	119	122	132	135	137	143



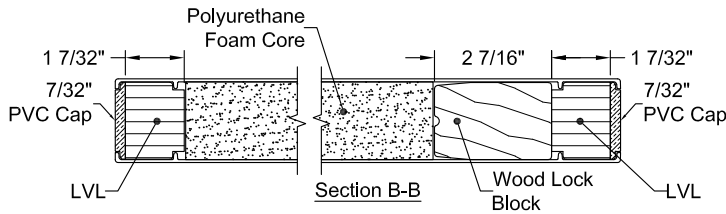
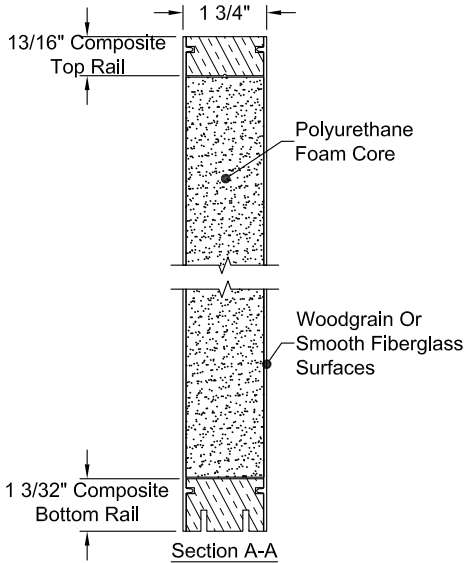
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Model: Square	1/2 View 2 Panel Vented	Craftsman Full View Sidelite	Craftsman Full View Direct Glazed	Craftsman Sidelite	Beadboard Sidelite	Craftsman Direct Glazed Sidelite
Page: 145	149	153	157	159	161	164
						
Model: Craftsman	Beadboard Direct Glazed	Craftsman Direct Glazed	Craftsman Direct Glazed	Craftsman Opaque	Full Oval	3/4 Oval
Page: 167	170	173	176	178	179	181
						
Model: 3/4 Oval Scroll						
Page: 187						

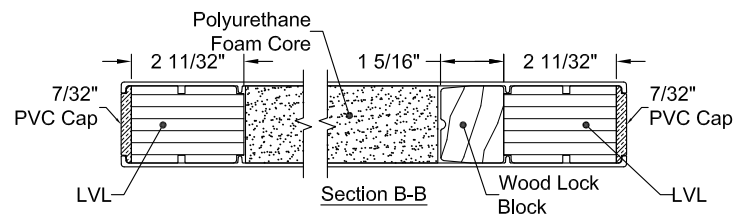
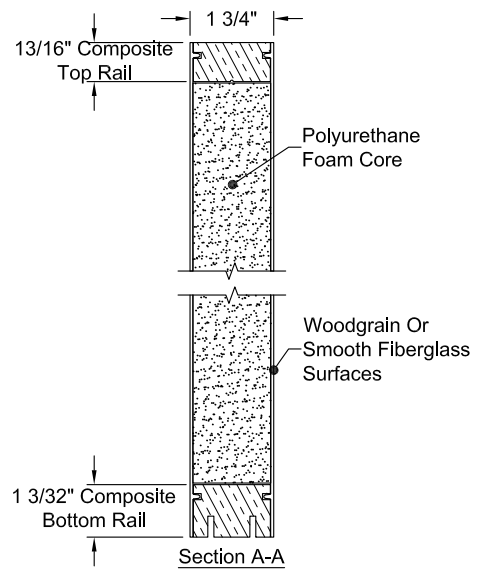


TYPICAL CROSS-SECTION DETAILS

6/8 & 7/0 Sections



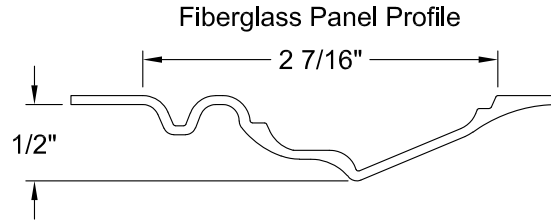
8/0 Sections



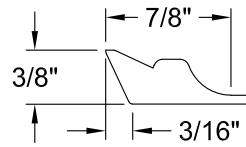




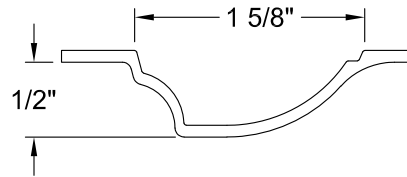
STICKING PROFILE DETAILS



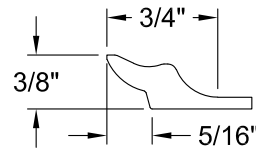
Fiberglass Direct Glaze Profile



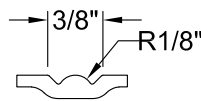
Beadboard Panel Profile



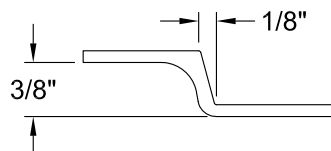
Beadboard Direct Glaze Profile



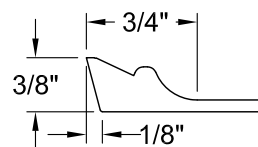
Bead Profile



Craftsman Panel Profile

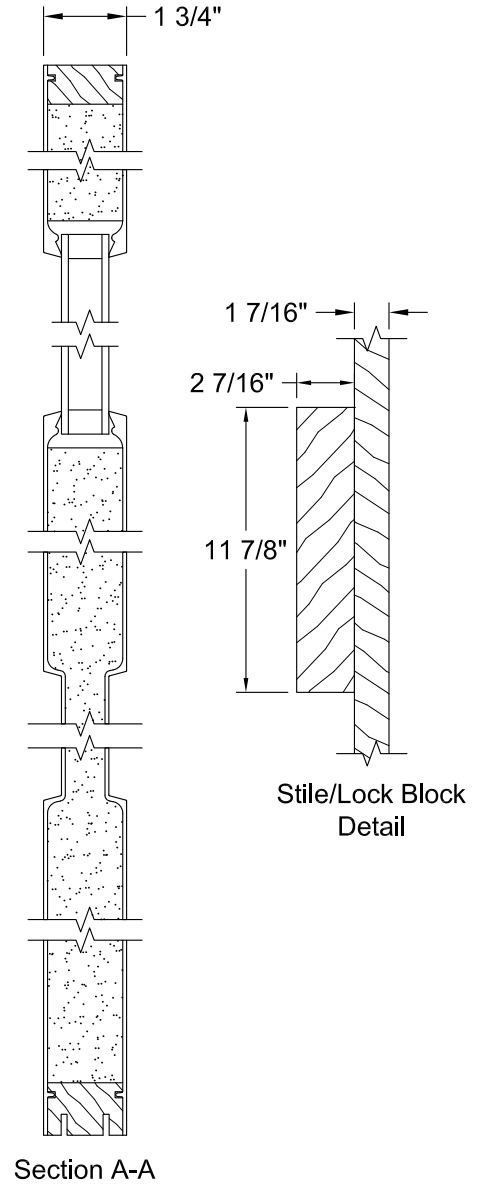
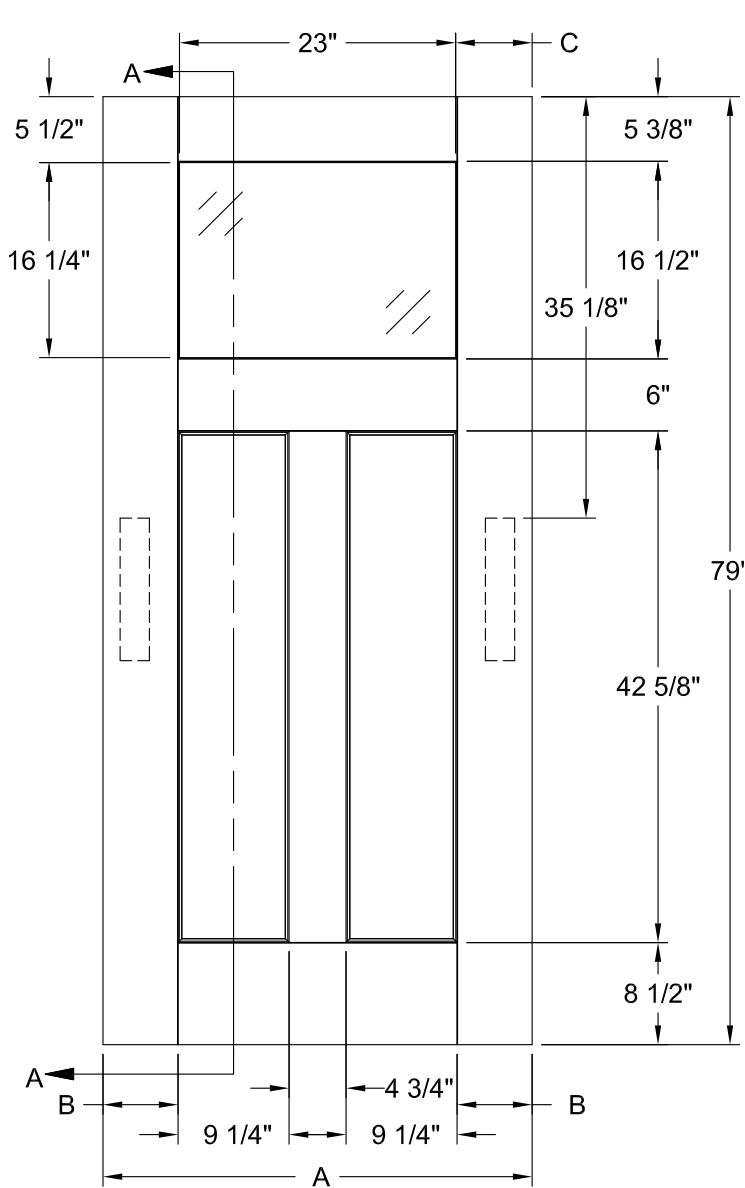


Craftsman Direct Glaze Profile





CRAFTSMAN DIRECT GLAZE 6/8



DIMENSION TABLE								
Door Width	A	B	C	Daylight Opening	Smooth-Pro	Design-Pro Fir	Design-Pro Mahogany	Design-Pro Oak
3/0	35 3/4"	6 1/4"	6 3/8"	2.60 ft <sup>2</sup>	SPC-866DG	DFC-866DG	DMC-866DG	DOC-866DG
2/10	33 3/4"	5 1/4"	5 3/8"					
2/8	31 3/4"	4 1/4"	4 3/8"					