

NOTICE OF DECISION

PLANNING DIVISION
555 LIBERTY ST. SE, RM 305
SALEM, OREGON 97301
PHONE: 503-588-6173
FAX: 503-588-6005



*Si necesita ayuda para comprender esta informacion, por favor llame
503-588-6173*

DECISION OF THE HISTORIC LANDMARKS COMMISSION

HISTORIC DESIGN REVIEW CASE NO.: HIS18-39

APPLICATION NO. : 18-124845-DR

NOTICE OF DECISION DATE: FEBRUARY 22, 2019

SUMMARY: A proposal to replace wireless antennae and associated equipment on an existing water tank at the Willamette Heritage Center.

REQUEST: Major historic design review of a proposal to modify an existing wireless communication facility, replacing 6 wireless antennae and associated equipment with 6 antennae and associated equipment on an existing water tank (1925) within the Willamette Heritage Center/ Thomas Kay Historic Park, individually listed on the National Register of Historic Places, on property zoned CR (Retail Commercial), and located at 1313 Mill Street SE, 97301; Marion County Assessor Map and Tax Lot number: 073W26BC04100.

APPLICANT: Natalie Erlund for Velocitel

LOCATION: 1313 Mill St SE / 97301

CRITERIA: Salem Revised Code (SRC) Chapter 230.065

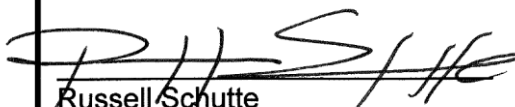
FINDINGS: The findings are in the attached Decision dated February 21, 2019.

DECISION: The **Historic Landmarks Commission APPROVED** Historic Design Review HIS18-39 subject to the following conditions of approval:

Condition 1. Any new or replacement communication device(s), including but not limited to dishes, antennas and associated equipment shall not exceed the total number and cumulative size of the dishes, antennas and associated equipment currently approved for installation.

VOTE:

Yes 5 No 0 Absent 2 (French, Sund) Abstain 1 (Schwartz)


Russell Schutte
Vice-Chair, Historic Landmarks Commission

This Decision becomes effective on March 12, 2019. No work associated with this Decision shall start prior to this date unless expressly authorized by a separate permit, land use decision, or provision of the Salem Revised Code (SRC).

The rights granted by the attached decision must be exercised, or an extension granted, by March 12, 2021 or this approval shall be null and void.

Application Deemed Complete:	<u>January 24, 2019</u>
Public Hearing Date:	<u>February 21, 2019</u>
Notice of Decision Mailing Date:	<u>February 22, 2019</u>
Decision Effective Date:	<u>March 12, 2019</u>
State Mandate Date:	<u>May 24, 2019</u>

Case Manager: Kimberli Fitzgerald, kfitzgerald@cityofsalem.net, 503-540-2397

This decision is final unless written appeal from an aggrieved party is filed with the City of Salem Planning Division, Room 305, 555 Liberty Street SE, Salem OR 97301, no later than 5:00 p.m., Monday, March 11, 2019. Any person who presented evidence or testimony at the hearing may appeal the decision. The notice of appeal must contain the information required by SRC 300.1020 and must state where the decision failed to conform to the provisions of the applicable code section, SRC Chapter 230. The appeal must be filed in duplicate with the City of Salem Planning Division. The appeal fee must be paid at the time of filing. If the appeal is untimely and/or lacks the proper fee, the appeal will be rejected. The Hearings Officer will review the appeal at a public hearing. After the hearing, the Hearings Officer may amend, rescind, or affirm the action, or refer the matter to staff for additional information.

The complete case file, including findings, conclusions and conditions of approval, if any, is available for review at the Planning Division office, Room 305, City Hall, 555 Liberty Street SE, during regular business hours.

<http://www.cityofsalem.net/planning>

Si necesita ayuda para comprender esta informacion, por favor llame 503-588-6173

DECISION OF THE SALEM HISTORIC LANDMARKS COMMISSION

CASE NO. Historic Review Case No. HIS18-39

FINDINGS: Based upon the application materials, the facts and findings in the Staff Report incorporated herein by reference, and testimony provided at the Public Hearing of February 21, 2019, the Historic Landmarks Commission (HLC) finds that the applicant adequately demonstrated that their proposal complies with the applicable provisions of the Salem Revised Code (SRC) 230.050 as follows:

FINDINGS

Salem Revised Code 230.065 General Guidelines for Historic Contributing Buildings

FINDINGS

a) Except as otherwise provided in this Chapter, the property shall be used for its historic purpose, or for a similar purpose that will not alter street access, landscape design, entrance(s), height, footprint, fenestration, or massing.

Finding: The HLC finds that while the original tower was not constructed for this use, the replacement antennas are substantially the same size and in the same location as the existing antenna. Further, the applicant has proposed to locate the Remote Radio Heads (RRH's) and associated equipment either behind the antennas or within the equipment shelter, minimizing the visual impact of this proposed alteration. The proposed replacement antennas and associated equipment does not significantly alter the appearance of the water tower. The HLC finds that this proposed use is compatible with the historic use and that this guideline has been met.

(b) Historic materials, finishes and distinctive features shall, when possible, be preserved and repaired according to historic preservation methods, rather than restored.

Finding: The HLC finds that there are no historic materials or features proposed for removal, reconstruction, or repair and that Guideline 230.065 (b) is not applicable to the evaluation of this proposal.

(c) Distinctive stylistic features or examples of skilled craftsmanship significance shall be treated with sensitivity.

Finding: The HLC finds that there are no distinctive stylistic features proposed for removal, reconstruction, or repair and Guideline 230.065 (c) does not apply to the evaluation of this proposal.

(d) Historic features shall be restored or reconstructed only when supported by physical or photographic evidence.

Finding: The HLC finds that there are no historic materials or features proposed for removal, reconstruction, or repair and that Guideline 230.065 (d) is not applicable to the evaluation of this proposal.

(e) Changes that have taken place to a historic resource over the course of time are evidence of the history and development of a historic resource and its environment, and should be recognized and respected. These changes may have acquired significance in their own right, and this significance should be recognized and respected.

Finding: The HLC finds that while the existing water tower is not the original tower, it was constructed in 1925, within the period of significance for the Thomas Kay Woolen Mill, and that the water tower is evidence of the history and development of the Thomas Kay Woolen Mill. The proposed replacement antennas would not increase the total number already on the tower, and the placement of associated equipment behind the antenna or within the equipment shelter minimizes the visual impact to the tower and the adjacent Mill building and surrounding site. The HLC finds that this Guideline has been met.

(f) Additions and alterations to a historic resource shall be designed and constructed to minimize changes to the historic resource.

Finding: The HLC finds that the replacement antennas will be in the same location as the existing, and locating the associated equipment behind the antennas or within the equipment shelter will ensure that this equipment will not be visible on the water tower. The replacement of antennas and associated equipment will not result in an adverse visual impact. The HLC finds that the proposal is compatible with the size and scale of the water tower and the surrounding buildings within the historic Thomas Kay Historic Park, and that SRC 230.065(f) has been met.

(g) Additions and alterations shall be constructed with the least possible loss of historic materials and so that significant features are not obscured, damaged, or destroyed.

Finding: The HLC finds that while a total of twelve antennas were initially approved for installation on the water tower, AT&T's current configuration only requires the proposed replacement antenna panels along with the reconfigured and relocated remote radio heads. This configuration and the smaller size of the remote radio heads ensures that the significant character defining features of the water tower are not obscured. While the current proposal does not exceed a total of twelve antennas, the HLC has made it clear that their intent is to limit the future cumulative adverse impact of too much wireless equipment attached to this historic resource. Therefore in order to continue to limit the cumulative adverse effect of future wireless modification proposals on this resource, the HLC adopts the following CONDITION of APPROVAL:

Condition 1: Any new or replacement communication device(s), including but not limited to dishes, antennas and associated equipment shall not exceed the total number and cumulative size of the dishes, antennas and associated equipment currently approved for installation.

(h) Structural deficiencies in a historic resource shall be corrected without visually changing the composition, design, texture or other visual qualities.

Finding: The HLC finds that the proposal does not include any plans to correct structural deficiencies, and that Guideline 230.065 (h) does not apply to the evaluation of this proposal.

(i) Excavation or re-grading shall not be allowed adjacent to or within the site of a historic resource which could cause the foundation to settle, shift, or fail, or have a similar effect on adjacent historic resources.

Finding: The HLC finds that the proposal does not include any plans for excavation or regrading, and that Guideline 230.065 (i) does not apply to the evaluation of this proposal.

The Historic Landmarks Commission **APPROVES** the proposal with the following CONDITION:

Condition 1: Any new or replacement communication device(s), including but not limited to dishes, antennas and associated equipment shall not exceed the total number and cumulative size of the dishes, antennas and associated equipment currently approved for installation.

VOTE: Yes 5 No 0 Absent 2 (French, Sund) Abstain 1 (Schwartz)

Attachments: A. Hearing Notice and Vicinity Map
B. Excerpt from National Register Historic Resource Document
C. Applicant's Submittal Materials
D. HIS16-16 Decision (Cover Page only, no attachments)
E. HIS16-33 Decision (Cover Page only, no attachments)

Prepared by Kimberli Fitzgerald, Historic Preservation Officer



HEARING NOTICE

LAND USE REQUEST AFFECTING THIS AREA

Audiencia Pública

Si necesita ayuda para comprender esta informacion, por favor llame 503-588-6173

CASE NUMBER:	Historic Design Review Case No. HIS18-39
AMANDA APPLICATION NO:	18-124845-DR
HEARING INFORMATION:	<u>Historic Landmarks Commission, Thursday, February 21, 2019, 5:30 P.M., Council Chambers, Room 240, Civic Center</u>
PROPERTY LOCATION:	1313 Mill St SE, Salem, OR / 97301
OWNER(S):	Willamette Heritage Center
APPLICANT / AGENT(S):	Natalie Erlund for Velocitel
DESCRIPTION OF REQUEST:	Summary: A proposal to replace wireless antennae and associated equipment on an existing water tank at the Willamette Heritage Center. Request: Major historic design review of a proposal to modify an existing wireless communication facility, replacing 6 wireless antennae and associated equipment with 6 antennae and associated equipment on an existing water tank (1925) within the Willamette Heritage Center/ Thomas Kay Historic Park, individually listed on the National Register of Historic Places, on property zoned CR (Retail Commercial), and located at 1313 Mill Street SE, 97301; Marion County Assessor Map and Tax Lot number: 073W26BC04100.
CRITERIA TO BE CONSIDERED:	<u>MAJOR HISTORIC DESIGN REVIEW</u> General Guidelines for Historic Contributing Resources Pursuant to SRC 230.065, an application for a Major Historic Design Review proposing changes to a contributing building or structure may be approved if the proposal conforms to the following guidelines: (a) Except as otherwise provided in this Chapter, the property shall be used for its historic purpose, or for a similar purpose that will not alter street access, landscape design, entrance(s), height, footprint, fenestration, or massing. (b) Historic materials, finishes and distinctive features shall, when possible, be preserved and repaired according to historic preservation methods, rather than restored. (c) Distinctive stylistic features or examples of skilled craftsmanship significance shall be treated with sensitivity. (d) Historic features shall be restored or reconstructed only when supported by physical or photographic evidence. (e) Changes that have taken place to a historic resource over the course of time are evidence of the history and development of a historic resource and its environment, and should be recognized and respected. These changes may have acquired significance in their own right, and this significance should be recognized and respected. (f) Additions and alterations to a historic resource shall be designed and constructed to minimize changes to the historic resource. (g) Additions and alterations shall be constructed with the least possible loss of historic materials and so that significant features are not obscured, damaged, or destroyed. (h) Structural deficiencies in a historic resource shall be corrected without visually changing the composition, design, texture or other visual qualities. (i) Excavation or re-grading shall not be allowed adjacent to or within the site of a

**HOW TO PROVIDE
TESTIMONY:**

historic resource which could cause the foundation to settle, shift, or fail, or have a similar effect on adjacent historic resources.

Any person wishing to speak either for or against the proposed request may do so in person or by representative at the Public Hearing. Written comments may also be submitted at the Public Hearing. Include case number with the written comments. Prior to the Public Hearing, written comments may be filed with the Salem Planning Division, Community Development Department, 555 Liberty Street SE, Room 305, Salem, Oregon 97301. Only those participating at the hearing, in person or by submission of written testimony, have the right to appeal the decision.

HEARING PROCEDURE:

The hearing will be conducted with the staff presentation first, followed by the applicant's case, neighborhood organization comments, testimony of persons in favor or opposition, and rebuttal by the applicant, if necessary. The applicant has the burden of proof to show that the approval criteria can be satisfied by the facts. Opponents may rebut the applicant's testimony by showing alternative facts or by showing that the evidence submitted does not satisfy the approval criteria. Any participant may request an opportunity to present additional evidence or testimony regarding the application. A ruling will then be made to either continue the Public Hearing to another date or leave the record open to receive additional written testimony.

Failure to raise an issue in person or by letter prior to the close of the Public Hearing with sufficient specificity to provide the opportunity to respond to the issue, precludes appeal to the Land Use Board of Appeals (LUBA) on this issue. A similar failure to raise constitutional issues relating to proposed conditions of approval precludes an action for damages in circuit court.

Following the close of the Public Hearing a decision will be issued and mailed to the applicant, property owner, affected neighborhood association, anyone who participated in the hearing, either in person or in writing, and anyone who requested to receive notice of the decision.

CASE MANAGER:

Kimberli Fitzgerald, Historic Preservation Officer, City of Salem Planning Division, 555 Liberty Street SE, Room 305, Salem, Oregon 97301. Telephone: 503-540-2397; E-mail: kfitzgerald@cityofsalem.net.

**NEIGHBORHOOD
ORGANIZATION:**

Southeast Salem Neighborhood Association (SESNA), Darrin Brightman, Land Use Co-Chair; Phone: 503-586-3964; Email: darrinSESNA@gmail.com; Jeff Leach, Land Use Co-Chair; Phone: 503-508-5499; Central Area Neighborhood Development Organization (CAN-DO), Bruce Hoffman, Land Use Chair; Phone: 503-781-8542; Email: bruhof@gmail.com.

**DOCUMENTATION
AND STAFF REPORT:**

Copies of the application, all documents and evidence submitted by the applicant are available for inspection at no cost at the Planning Division office, City Hall, 555 Liberty Street SE, Room 305, during regular business hours. Copies can be obtained at a reasonable cost. The Staff Report will be available seven (7) days prior to the hearing, and will thereafter be posted on the Community Development website:

www.cityofsalem.net/notices

ACCESS:

The Americans with Disabilities Act (ADA) accommodations will be provided on request.

NOTICE MAILING DATE:

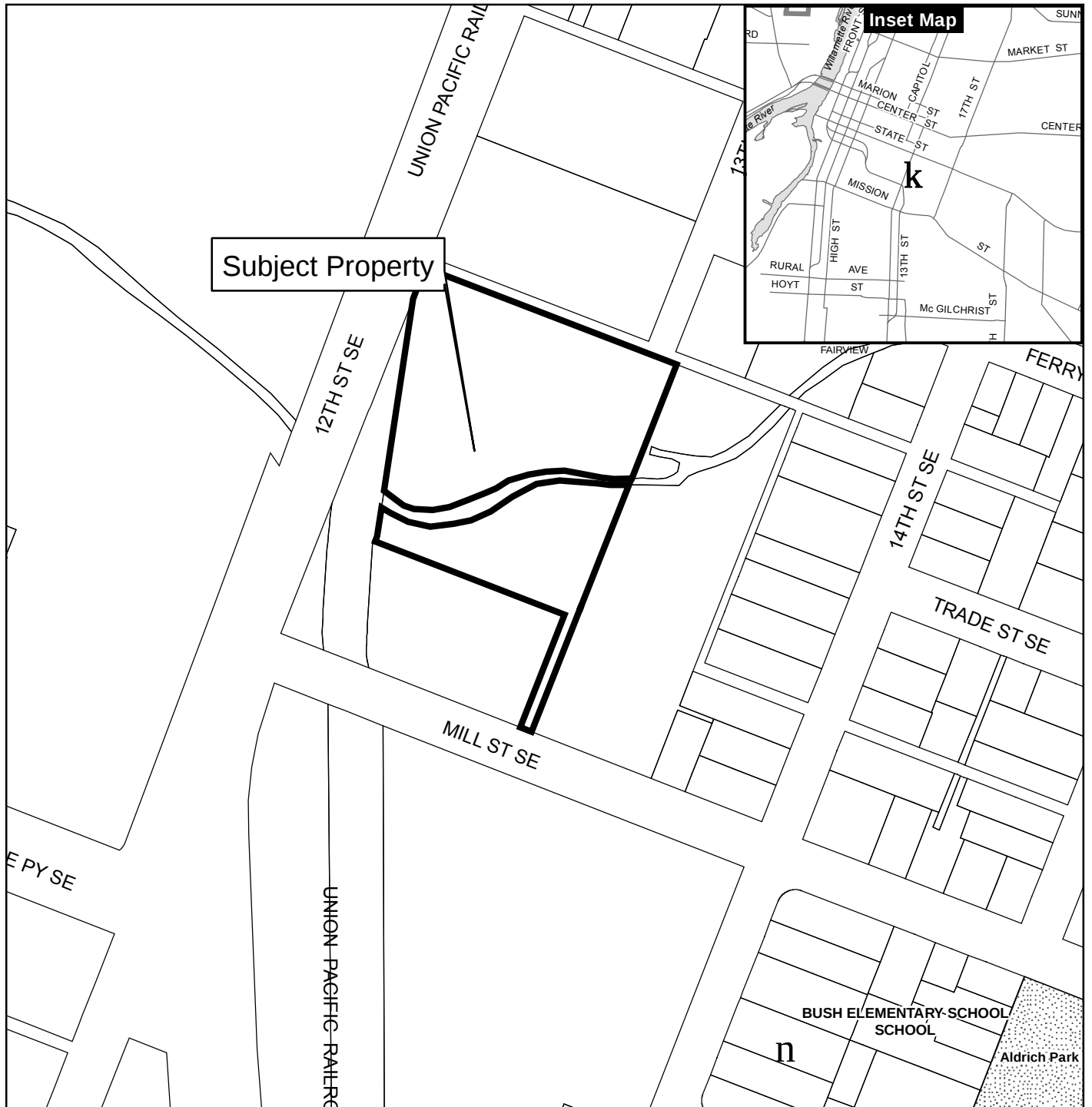
January 31, 2019

PLEASE PROMPTLY FORWARD A COPY OF THIS NOTICE TO ANY OTHER OWNER, TENANT OR LESSEE.
For more information about Planning in Salem: <http://www.cityofsalem.net/planning>

It is the City of Salem's policy to assure that no person shall be discriminated against on the grounds of race, religion, color, sex, marital status, familial status, national origin, age, mental or physical disability, sexual orientation, gender identity and source of income, as provided by Salem Revised Code Chapter 97. The City of Salem also fully complies with Title VI of the Civil Rights Act of 1964, and related statutes and regulations, in all programs and activities. Disability-related modification or accommodation, including auxiliary aids or services, in order to participate in this meeting or event, are available upon request. Sign language and interpreters for languages other than English are also available upon request. To request such an accommodation or interpretation, contact the Community Development Department at 503-588-

*6173 at least three business days before this meeting or event.
TTD/TTY telephone 503-588-6439 is also available 24/7*

Vicinity Map 1313 Mill Street SE



Legend

-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools

-  Parks

CITY OF Salem
AT YOUR SERVICE
Community Development Dept.

This product is provided as is, without warranty. In no event is the City of Salem liable for damages from the use of this product. This product is subject to license and copyright limitations and further distribution or resale is prohibited.

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EXCERPT FROM THE NATIONAL REGISTER NOMINATION DOCUMENTS
Thomas Kay Woolen Mill

Thomas Kay Woolen Mill PRIMARY (Contributing)
1313 Mill Street SE; Assessor's Map 073W26BC04100;
Owner: Mission Mill Museum, Salem, OR 97301

Description: Located on the eastern edge of Willamette University campus, the Thomas Kay Woolen Mill property is livened by a water course and large oak trees. The façade of the mill is the focal point of a park-like corridor through the campus which is created by the mill stream. The major component of the property (the mill and its warehouse, dye house, picker house and other back buildings) is to be partially restored as a museum of wool technology by the non-profit Mission Mill Association. The Kay Mill was constructed in 1898 during the mining boom and after the destruction of the Company's mill at Waterloo made it necessary to combine all operations in the mill at Salem. The second period of alterations occurred in 1904 when fuel oil supplanted wood as an auxiliary fuel for heating and dyeing. By 1915 28 looms were operating and the complex included the detached office and storage buildings, a 15,000 gallon Redwood water tank, the main mill building, a single story extension for dry finishing, a boiler room, picker house, carpenters and machine shop, housing for a turbine water wheel; dye house with drug and drying rooms, two wool warehouses an oil and bleach house and a shoddy and wood storage house. The third period of development came in 1925 when a new boiler room and other additions were constructed.

Cultural Data: The Thomas Kay Woolen Mill Company was founded in 1889 by native-born Englishman Thomas Kay, Squire Farrar, and C.P. Bishop. The existing mill was the largest plant of its type in the state, and it was the longest-lived woolen manufactory ever established in Salem. Until its sale to the Mission Mill Museum Association in 1965, it had been under continuous ownership and management by the family-controlled Thomas Kay Woolen Mill Company.

Historic Design Review Narrative

For a proposed modification to existing site: SA06 Mission Street

City of Salem
Community Development Department
555 Liberty Street SE, Rm 305
Salem, Oregon 97301

12/21/18

Attn: Kimberli Fitzgerald, AICP

RE: AT&T Mobility Application for a modification to AT&T's existing site.
AT&T site number: SA06
Site name: Mission Street
Site address: 1313 Mill St SE, Salem, OR 97301
Current Use: Water Tower & Wireless Transmission site
Zone Classification: IC

AT&T Mobility is continually in the process of a system wide upgrade of its facilities to support and improve its LTE platform, while also adding FirstNet technology. LTE will increase the speed and volume of data that can be transmitted and received over wireless devices. LTE is also referred to as 4G technology and is usually developed and installed in steps called 2C, 3C, 4C etc. This project is the upgrade for 6C, including a 5G technology upgrade, WCS spectrum, and FirstNet, a dedicated first responder public safety LTE broadband network.

AT&T Mobility is requesting Historic review and consideration for a modification to its existing site, previously entitled under HIS 16-16. I have included the following list of documentation:

- Historic Review Process Application Form
- Historic Alteration Review – Commercial Resource Worksheet
- Velocitel Check \$1,250.00, for a Historic Design review for the proposed Modification.
- This Narrative as required.
- Assessor's Map showing subject and surrounding property
- 11 x 17 Zoning Drawings
- Photo simulations
- Copy of the previously approved Decision (HIS 16-16) for reference
- Redacted copy of the Site Lease Agreement
- Specifications for equipment, both proposed and to be removed

Project Description synopsis:

The existing water tank site has existing AT&T antennas and associated equipment attached to the water tank legs. AT&T has been at this location since 1997. The current configuration consists of (9) AT&T antennas, and (12) RRH's (remote radio heads).

Impact of this proposed modification:

New Cingular Wireless LLC dba AT&T Mobility is proposing to swap out (6) antennas and (3) RRH's, and add (3) RRH's, (1) fiber feeder, and (4) DC feeders to the existing array. The new RRH's will be installed behind existing antennas and so will be hidden from view. There will also be equipment added to the existing ground equipment shelter. All new equipment will be painted to match existing and no ground disturbance is proposed for this modification.

This proposed modification includes equipment specifically needed for the FirstNet First Responder Network, created by the United States Government "to be a force-multiplier for first responders – to give public safety 21st century communication tools to help save lives, solve crimes and keep our communities and emergency responders safe".

Detail of this proposed modification:**AT&T will remove the following from the existing water tank installation:**

- (1) LTE 700/1900 panel antenna per sector, (3) total
- (1) LTE 850/AWS/WCS panel antenna per sector, (3) total
- (1) LTE 700 RRH per sector, (3) total

AT&T will install the following at the existing water tank installation:

- (1) FirstNet/700/1900 panel antenna per sector, (3) total
- (1) LTE 850/AWS/WCS panel antenna per sector, (3) total
- (1) LTE 700 B12/B14 dual RRH per sector, (3) total
- (1) LTE 850 B5 RRH per sector, (3) total,
- (1) fiber trunk and (3) DC trunks

AT&T will add to the existing equipment shelter:

- (1) 721 Netsure PDU rack with DC-DC converter module & rectifiers
- Netsure BBU rack with batteries

AT&T will remove from the existing equipment shelter:

- (1) DC-DC converter shelf in existing LTE rack
- Battery strings in existing PDU rack
- (2) Absolyte battery stacks
- (1) LTE 850 RRH per sector, (3) total

Result: Though some new equipment will be added to the array, the visual impact will be minimal because new equipment will be installed behind existing equipment.

Detail of this proposed modification:

The following sections address the review criteria relevant for this project:

(Responses are shown in italics)

230.065. General Guidelines for Historic Contributing Resources. In lieu of the standards for historic contributing buildings set forth in SRC 230.025 and SRC 230.040, an applicant may make a proposal for preservation, restoration, or rehabilitation activity, regardless of type of work, which shall conform to the following guidelines:

(a) Except as otherwise provided in this Chapter, the property shall be used for its historic purpose, or for a similar purpose that will not alter street access, landscape design, entrance(s), height, footprint, fenestration, or massing.

Though the original structure was not constructed for this use, this proposal will not alter the visual impact of the overall antenna installation as the proposed radio heads will be mounted behind the existing antennas.

This proposal will not alter street access, landscape design, entrances, height, footprint, fenestration or massing. No employees or customers will visit or work at this site, other than for a short period during the installation of this proposed modification, and by technical staff on a monthly basis or during emergencies. This site is, and will remain, an “unstaffed” facility. Guideline 230.065 (a) has been met.

(b) Historic materials, finishes and distinctive features shall, when possible, be preserved and repaired according to historic preservation methods, rather than restored.

(c) Distinctive stylistic features or examples of skilled craftsmanship significance shall be treated with sensitivity.

(d) Historic features shall be restored or reconstructed only when supported by physical or photographic evidence.

There is no proposal to remove, repair, reconstruct or disturb any historic materials, finishes, or distinctive feature, therefore Guidelines 230.065 (b) (c) (d) do not apply.

(e) Changes that have taken place to a historic resource over the course of time are evidence of the history and development of a historic resource and its environment, and should be recognized and respected. These changes may have acquired significance in their own right, and this significance should be recognized and respected.

The proposed modification will not adversely affect the surrounding historic property as AT&T has been in operation at this water tower location since 1997 and has become part of the environment in this part of Salem.

(f) Additions and alterations to a historic resource shall be designed and constructed to minimize changes to the historic resource.

(g) Additions and alterations shall be constructed with the least possible loss of historic materials and so that significant features are not obscured, damaged, or destroyed.

The proposed modification will minimize and provide the least visual impact to the historic structure and the surrounding area by maintaining the current overall visual impact while providing the necessary technical needs for today and into the future.

(h) Structural deficiencies in a historic resource shall be corrected without visually changing the composition, design, texture or other visual qualities.

There is no proposed correction of any structural deficiencies; therefore Guideline 230.065 (h) is not applicable for this application.

(i) Excavation or re-grading shall not be allowed adjacent to or within the site of a historic resource which could cause the foundation to settle, shift, or fail, or have a similar effect on adjacent historic resources. (Ord No. 34-10)

There is no proposed excavation or re-grading, therefore Guideline 230.065 (i) does not apply to this application.

Natalie Erlund

PNW LTE Site Acquisition Specialist
AT&T Turf Project

Velocitel, LLC
4004 Kruse Way Place, Suite 220
Lake Oswego, Oregon 97035
971-303-1568
nerlund@velocitel.com

Attachments:

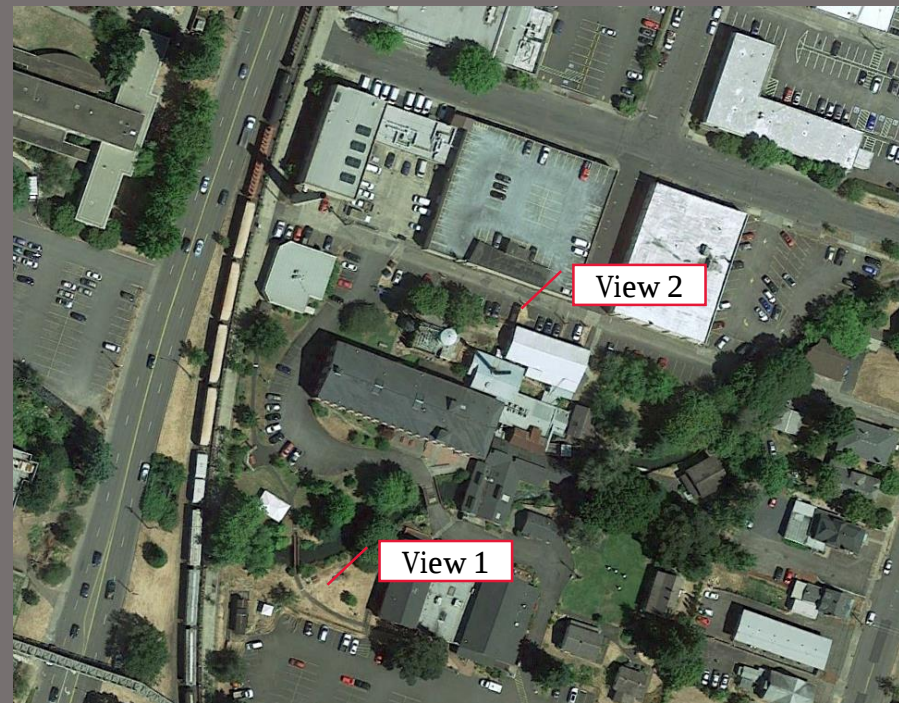
- Specifications for existing equipment to be removed
- Specifications for proposed equipment

Mission Street

SA06 FA# 10094075

1313 Mill Street SE | Salem, OR 97301

Location



Existing



Proposed

Looking North towards Ferry Street SE



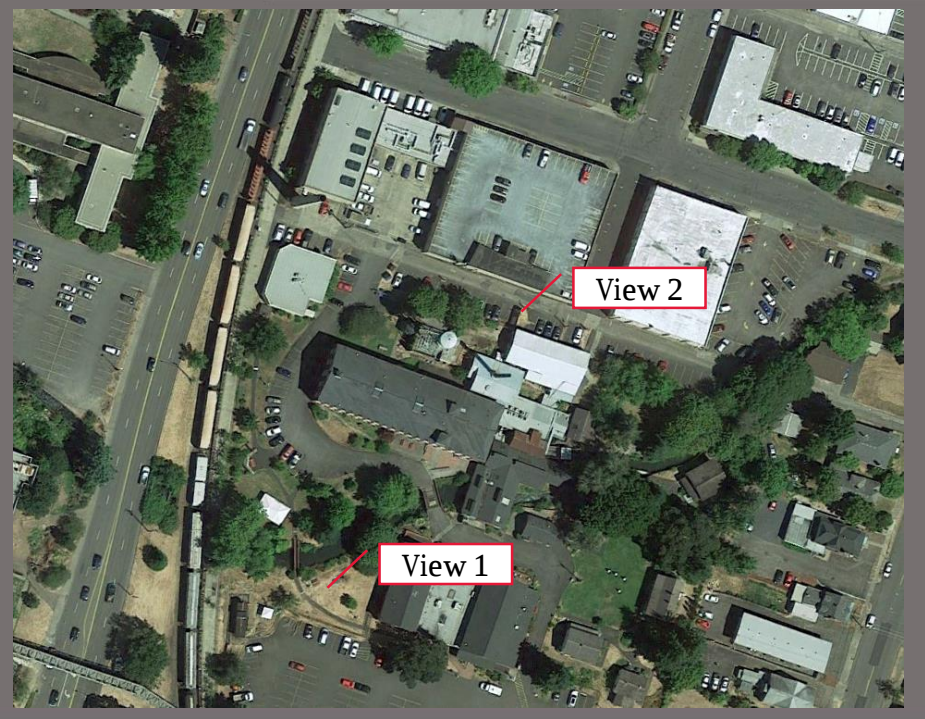
Note: Other RRHs and antennas obscured in this view

Mission Street

SA06 FA# 10094075

1313 Mill Street SE | Salem, OR 97301

Location



Existing



Proposed

Looking South West towards the corner of Mill Street SE and 12th Street SE



Note: Other RRHs and antennas obscured in this view



THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO THE AT&T MOBILITY SERVICES IS STRICTLY PROHIBITED.

SITE LOCATION

Pringle Pkwy SE

Bellevue St SE

22nd St SE

23rd St SE

24th St SE

25th St SE

26th St SE

27th St SE

28th St SE

29th St SE

30th St SE

31st St SE

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<u>APPLICANT:</u> VELOCITEL LLC. B/O AT&T MOBILITY CORP. 4004 KRUSE WAY PL., SUITE #220 LAKE OSWEGO, OR 97035 NATALIE ERLUND PH: (971) 303-1568	<u>PROPERTY OWNER:</u> MISSION & MILL MUSEUM C/O WILLAMETTE HERITAGE CENTER 1313 MILL ST SE #200 SALEM, OR 97301
<u>PROJECT ENGINEER:</u> VELOCITEL LLC. 576 COLONIAL PARK DR., SUITE #200 ROSWELL, GA 30075 WILLIAM PANEK	<u>ZONING CONSULTANT:</u> VELOCITEL LLC. 4004 KRUSE WAY PL., SUITE #220 LAKE OSWEGO, OR 97035 NATALIE ERLUND PH: (971) 303-1568

ZONING CLASSIFICATION: IC (INDUSTRIAL COMMERCIAL)
BUILDING CODE: OSSC 2014
CONSTRUCTION TYPE: IIB
OCCUPANCY: B2
JURISDICTION: CITY OF SALEM

TAX LOT #: 073W26BC04100
LATITUDE: N 44° 66' 7.08" (44.93252800)
LONGITUDE: W 123° 1' 36.984" (-123.0269400)
TOP OF STRUCTURE AGL: 104'-0"
BASE OF STRUCTURE AMSL: ± 174.0'

APPROXIMATE LEASE AREA: 1,019 SQ. FT.

1. PARKING REQUIREMENTS ARE UNCHANGED.
2. TRAFFIC IS UNAFFECTED.
3. NO SIGNAGE IS PROPOSED.

AT&T MOBILITY PROPOSES THE FOLLOWING TO AN EXISTING UNSTAFFED RADIO TELECOMMUNICATIONS FACILITY CONSISTING OF AN ANTENNA ARRAY ON A 104FT SELF SUPPORT WATER TANK TOWER AND AN EQUIPMENT SHELTER.

- (1) LTE 700/1900 ANTENNA PER SECTOR, (3) TOTAL
- (1) LTE 850/AWS/WCS PER SECTOR, (3) TOTAL
- (1) LTE 700 RRH PER SECTOR, (3) TOTAL

- (1) LTE FN/700/1900 ANTENNA PER SECTOR, (3) TOTAL
- (1) LTE 850/AWS/WCS ANTENNA PER SECTOR, (3) TOTAL
- (1) LTE 700 B12/B14 DUAL RRH PER SECTOR, (3) TOTAL
- (1) LTE 850 B5 RRH PER SECTOR, (3) TOTAL
- (1) FIBER TRUNK
- (3) DC TRUNKS

- (1) 721 NETSURE PDU RACK W/ DC-DC CONVERTER MODULES AND RECTIFIERS
- (1) NETSURE BBU RACK W/ BATTERIES

- (1) DC TO DC CONVERTER SHELF IN EXISTING LTE RACK
- (1) PDU CABINET
- (2) ABSOLYTE BATTERY STACKS

INC	DWG #	DESCRIPTION
X	T-1	TITLE SHEET
	SV-1	SURVEY
X	GN-1	GENERAL NOTES
X	A-1	OVERALL SITE PLAN
X	A-2	COMPOUND LAYOUT PLANS
X	A-3	EQUIPMENT LAYOUT PLANS
X	A-4	ELEVATIONS
	A-5	EQUIPMENT DETAILS
X	A-6	EQUIPMENT DETAILS
	A-7	SITE DETAILS
	A-8	GRADING & EROSION CONTROL PLAN
	A-9	GRADING & EROSION CONTROL DETAILS
	A-10	GENERATOR DETAILS
	A-11	PROPANE TANK DETAILS
	A-12	SIGNAGE DETAILS
	A-13	SIGNAGE DETAILS
X	RF-1	ANTENNA CONFIGURATIONS
X	RF-2	RF DETAILS
	RF-3	RF DETAILS
	RF-4	RF NOTES
X	G-1	GROUNDING PLAN
X	G-2	GROUNDING DETAILS
	G-3	GROUNDING DETAILS
	G-4	GROUNDING DETAILS
	E-1	UTILITY SITE PLAN
	E-2	ELECTRICAL DETAILS
X	E-3	ELECTRICAL BBU DATA
	S-1	SHELTER FOUNDATION DETAILS
	S-2	STRUCTURAL EQUIPMENT DETAILS

N/A

CONSULTANT GROUP SIGN OFF		DATE	SIGNATURE	AT&T SIGN OFF		DATE	SIGNATURE
CONSTRUCTION MANAGER				COMPLIANCE			
LANDLORD'S REPRESENTATIVE				CONSTRUCTION MANAGER			
PROJECT MANAGER				DEPLOYMENT MANAGER			
SITE ACQUISITION				EQUIPMENT ENGINEER			
ZONING				INTERCONNECT			
SITE ACQUISITION MANAGER				OPERATIONS			
PERMITS				RF ENGINEER			
REVIEWERS SHALL CLEARLY PLACE INITIALS ADJACENT TO EACH REDLINE NOTE AS DRAWINGS ARE BEING REVIEWED				RF ENGINEER MANAGER			

1313 MILL STREET SE
SALEM, OR 97301

LTE 6C(FN)/MULTI

CONSTRUCTION

REV.	DATE	DESCRIPTION	BY
A	10/5/18	PRELIM CDS	MH
0	10/24/18	FINAL CDS	MH
1	11/29/18	RRH RELOCATION	MH

[illegible]

FA#:	10094075
DRAWN BY:	MH
CHECKED BY:	JW

CURRENT ISSUE DATE:
11/29/18

STAMP: _____



THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AT&T MOBILITY IS STRICTLY PROHIBITED.

SHEET TITLE:

TITLE SHEET

SHEET NUMBER: _____ REV. _____

SHEET NUMBER:	REV:
T-1	1

X:\Projects\AT&T Portland\10094075 SA05 [vision] SITE 6C

GENERAL NOTES:

- VERIFY AND CONFIRM ALL DIMENSIONS AND CONDITIONS. NOTIFY AT&T AND ARCHITECT OF ANY DISCREPANCIES PRIOR TO START OF WORK.
- DRAWINGS ARE NOT TO BE SCALED, WRITTEN DIMENSIONS TAKE PRECEDENCE, THIS SET OF DOCUMENTS IS INTENDED TO BE USED FOR DIAGRAMMATIC PURPOSES ONLY, UNLESS NOTED OTHERWISE. THE GENERAL CONTRACTOR'S SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR, AND ANY REQUIREMENTS DEEMED NECESSARY TO COMPLETE PROJECT AS DESCRIBED IN THE DRAWINGS AND OWNER'S PROJECT MANUAL.
- PRIOR TO THE SUBMISSION OF BIDS, CONTRACTORS INVOLVED SHALL VISIT THE JOB SITE TO FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING THE PROPOSED PROJECT. CONTRACTORS SHALL VISIT THE CONSTRUCTION SITE WITH THE CONSTRUCTION/CONTRACT DOCUMENTS TO VERIFY FIELD CONDITIONS AND CONFIRM THAT THE PROJECT WILL BE ACCOMPLISHED AS SHOWN. PRIOR TO PROCEEDING WITH CONSTRUCTION, ANY ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER VERBALLY AND IN WRITING.
- AT&T, AND THE ARCHITECTS/ENGINEERS HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. CONTRACTORS BIDDING THE JOB ARE NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS. THE BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) AT&T, AND THE ARCHITECT/ENGINEER OF ANY CONFLICTS, ERRORS, OR OMISSIONS PRIOR TO SUBMISSION OF CONTRACTOR'S PROPOSAL. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED OTHERWISE.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO MANUFACTURER'S/VENDOR'S SPECIFICATIONS UNLESS NOTED OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
- ALL WORK PERFORMED ON THE PROJECT AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK.
- CONTRACTOR SHALL PROVIDE, AT THE PROJECT SITE, A FULL SET OF CONSTRUCTION DOCUMENTS UPDATED WITH THE LATEST REVISIONS AND ADDENDA OR CLARIFICATIONS FOR USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
- THE STRUCTURAL COMPONENTS OF ADJACENT CONSTRUCTION OR FACILITIES ARE NOT TO BE ALTERED BY THIS CONSTRUCTION PROJECT UNLESS NOTED OTHERWISE. ENSURE THAT EXCAVATION DOES NOT AFFECT ADJACENT STRUCTURES.
- SEAL ALL PENETRATIONS THROUGH FIRE-RATED AREAS WITH U.L. LISTED OR FIRE MARSHALL APPROVED MATERIALS IF APPLICABLE TO THIS FACILITY AND OR PROJECT SITE.
- CONTRACTOR TO PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF PROJECT AREA DURING CONSTRUCTION.
- CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVING, CURBING, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
- CONTRACTOR SHALL KEEP GENERAL WORK AREA CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DIRT, DEBRIS, AND RUBBISH. CONTRACTOR SHALL REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY OR PREMISES. SITE SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
- THE CONTRACTOR SHALL RECEIVE WRITTEN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS/CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL PERFORM WORK DURING OWNER'S PREFERRED HOURS TO AVOID DISTURBING NORMAL BUSINESS.
- THE CONTRACTOR SHALL PROVIDE AT&T. PROPER INSURANCE CERTIFICATES NAMING AT&T. AS ADDITIONAL INSURED, AND AT&T. PROOF OF LICENSE(S) AND PE AND PD INSURANCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND COORDINATING ALL INSPECTIONS.
- VERIFY AND CONFIRM ALL DIMENSIONS AND CONDITIONS. NOTIFY AT&T AND CAUTION! CALL BEFORE YOU DIG! BURIED UTILITIES EXIST IN THE AREA AND UTILITY INFORMATION SHOWN MAY NOT BE COMPLETE. CONTACT THE ONE-CALL UTILITY LOCATE SERVICE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT REGIONAL UTILITY LOCATE SERVICE.
- CONTRACTOR TO DOCUMENT ALL WORK PERFORMED WITH PHOTOGRAPHS AND SUBMIT TO AT&T. ALONG WITH REDLINED CONSTRUCTION SET.

GENERAL NOTES: (CONTINUED)

- CONTRACTOR TO DOCUMENT ALL CHANGES MADE IN THE FIELD BY MARKING UP (REDLINING) THE APPROVED CONSTRUCTION SET AND SUBMITTING THE REDLINED SET TO AT&T. UPON COMPLETION.
- FOR CO-LOCATION SITES: CONTACT TOWER OWNER REPRESENTATIVE FOR PARTICIPATION IN BID WALK.
- CONTRACTOR IS TO COORDINATE ALL POWER INSTALLATION WITH POWER COMPANY AS REQUIRED. CONTRACTOR TO REPORT POWER INSTALLATION COORDINATION SOLUTION(S) TO NETWORK CARRIER REPRESENTATIVE, PROJECT CONSTRUCTION MANAGER AND ARCHITECT.
- ANY SUBSTITUTIONS OF MATERIALS AND/OR EQUIPMENT, MUST BE APPROVED BY AT&T CONSTRUCTION MANAGER.
- WHERE ANCHORING TO A CONCRETE ROOF SLAB, CONTRACTOR SHALL CONFIRM (PRIOR TO SUBMITTING BID) WITH CONSULTING CONSTRUCTION COORDINATOR AND ARCHITECT THE PRESENCE OF POST TENSION TENDONS. CONTRACTOR SHALL INCLUDE PROVISIONS FOR X-RAY PROCEDURES TO LOCATE THE TENDONS.
- CONTRACTOR SHALL USE STAINLESS STEEL METAL LOCKING TIES FOR ALL CABLE TRAY TIE DOWNS AND ALL OTHER GENERAL TIE DOWNS (WHERE APPLICABLE). PLASTIC ZIP TIES SHALL NOT BE PERMITTED FOR USE ON AT&T PROJECTS. RECOMMENDED MANUFACTURER SHALL BE: PANDUIT CORP. METAL LOCKING TIES MODEL NO. MLT4S-CP UNDER SERIES-304 (OR EQUAL). PANDUIT PRODUCT DISTRIBUTED BY TRIARC OF TACOMA, WA.
- MAINTAIN THE INTEGRITY OF THE BUILDING ENVELOP AND CONSTRUCT BARRIERS IN THE AREA OF WORK TO PREVENT DAMAGE FROM WEATHER AND CONSTRUCTION DUST AND DEBRIS.

SITE NOTES:

- CLEAR AND GRUB SITE OF ALL VEGETATION, PAVING, GRAVEL BASE AND OTHER DEBRIS NOT TO REMAIN. SUBGRADES ARE TO BE SET PRIOR TO LANDSCAPE INSTALLATION.
- ELEVATION OF SUBGRADE TO BE WITHIN .10 FOOT OF ELEVATIONS SHOWN ON PLAN MINUS DEPTH OF TOPSOIL, FILL, AND MULCH.
- ALL AREAS SHALL BE ROUGH GRADED WITHIN FOOT OF ELEVATIONS INDICATED BEFORE PLANTING. ALL GRADES SHALL PRODUCE POSITIVE DRAINAGE AWAY FROM EQUIPMENT SLABS, BUILDINGS AND THROUGH ALL PLANTER AREAS TO AVOID LOW SPOTS AND STANDING WATER.
- NEW GRADES SHALL BLEND NATURALLY INTO EXISTING GRADES.
- IN LANDSCAPE AREAS, FINISH GRADES ARE TO FOLLOW THE GRADES AND EDGE DETAILS INDICATED AND BE MOUNDED 6 INCHES IN THE CENTER OF THE BED ABOVE THE EDGE OF THE LANDSCAPE AREA.
- NOTIFY AT&T AND THE ARCHITECT IF MODIFICATIONS TO THE SHOWN GRADING SEEM NECESSARY AND OBTAIN APPROVAL PRIOR TO START OF WORK.
- FOOTINGS SHALL BEAR ON FIRM, NATURAL, UNDISTURBED SOIL, OR ON ENGINEERED FILL (COMPACTED TO 95%). ENSURE THAT EXCAVATIONS ARE FREE OF ORGANIC MATERIAL, DEBRIS, OR OTHER FOREIGN MATERIAL. NOTIFY ARCHITECT IF ANY UNUSUAL CONDITIONS ARE ENCOUNTERED.
- FILL AND SLAB BASE MATERIAL SHALL BE 3/4" MINUS CRUSHED ROCK PLACED IN 8" (MAXIMUM) LOOSE LIFTS AND COMPACTED TO 98% ASTM D1557 OR AASHTO T-180.
- SPECIAL INSPECTION SHALL BE PERFORMED AS REQUIRED BY THE 2014 OSSC SECTION 1705 BY AN INDEPENDENT SPECIAL INSPECTOR APPROVED BY THE LOCAL JURISDICTION.

SPECIAL INSPECTIONS:

- CONTRACTOR SHALL PROVIDE REQUIRED SPECIAL INSPECTIONS PERFORMED BY AN INDEPENDENT INSPECTOR, APPROVED BY AT&T AND THE LOCAL JURISDICTION.
- THE SPECIAL INSPECTOR SHALL PROVIDE A COPY OF THE REPORT TO THE OWNER, ARCHITECT, STRUCTURAL ENGINEER, CONTRACTOR, AND BUILDING OFFICIAL.

CONCRETE NOTES:

- ALL CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH ACI-318.
- CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH CHAPTER 19 OF THE 2014 OSSC. CEMENT SHALL BE ASTM C150, PORTLAND CEMENT TYPE II U.N.O.
- THE GENERAL CONTRACTOR SHALL SUPERVISE AND BE RESPONSIBLE FOR THE METHODS AND PROCEDURES OF CONCRETE PLACEMENT.
- ALL CONCRETE WITH SURFACES EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, C618, C989 AND C1017. CONCRETE EXPOSED TO FREEZING AND THAWING WHILE MOIST SHALL BE AIR ENTRAINED IN ACCORDANCE WITH ACI 318, SECTION 4.4.1.
- REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, fy=60,000 PSI. EXCEPTIONS: ANY BARS SPECIFICALLY SO NOTED ON THE DRAWINGS SHALL BE GRADE 40, fy=40,000 PSI. GRADE 60 REINFORCING BARS INDICATED ON DRAWINGS TO BE WELDED SHALL CONFORM TO ASTM A706. REINFORCING COMPLYING WITH ASTM A615(S1) MAY BE WELDED ONLY IF MATERIAL PROPERTY REPORTS INDICATING CONFORMANCE WITH WELDING PROCEDURES SPECIFIED IN A.W.S. D14 ARE SUBMITTED.

CONCRETE NOTES: (CONTINUED)

- REINFORCING STEEL SHALL BE DETAILED (INCLUDING HOOKS AND BENDS) IN ACCORDANCE WITH AC1 315 AND 318. LAP ALL CONTINUOUS REINFORCEMENT AT LEAST 30 BAR DIAMETERS OR A MINIMUM OF 2'-0". PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP CORNER BARS AT LEAST 30 BAR DIAMETERS OR A MINIMUM OF 2'-0". LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185.
- SPIRAL REINFORCEMENT SHALL BE PLAIN WIRE CONFORMING TO ASTM A615, GRADE 60, fy=60,000 PSI.
- REINFORCING PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE CONSULTANT.
- CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

FOOTINGS AND OTHER UNFORMED SURFACES, EARTH FACE	3"
FORMED SURFACES EXPOSED(= #6 BARS)	2"
TO EARTH OR WEATHER (= #5 BARS)	1½"
SLABS AND WALLS (INTERIOR FACE)	¾"
- BARS SHALL BE SUPPORTED ON CHAIRS OR DOBIE BRICKS.
- ANCHOR BOLTS TO CONFORM TO ASTM A307.
- NON-SHRINK GROUT SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT STRENGTH SHALL BE AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (3,000 PSI MINIMUM).
- ALL EXPANSION ANCHORS TO BE HILTI BRAND. ADHESIVE ANCHORS REQUIRE TESTING TO CONFIRM CAPACITY UNLESS WAIVED BY ENGINEER AND LOCAL JURISDICTION.

STRUCTURAL STEEL NOTES:

- SHOP DRAWINGS FOR STRUCTURAL STEEL SHALL BE SUBMITTED TO AT&T AND THE CONSULTANT FOR REVIEW PRIOR TO FABRICATION.
- STRUCTURAL STEEL DESIGN, FABRICATION AND ERECTION (INCLUDING FIELD WELDING, HIGH STRENGTH FIELD BOLTING, EXPANSION BOLTS, AND THREADED EXPANSION ANCHORS) SHALL BE BASED ON THE A.I.S.C. "SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS" LATEST EDITION. SUPERVISION SHALL BE IN ACCORDANCE WITH 2014 OSSC CHAPTER 22, BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE CONSULTANT. THE CONSULTANT SHALL BE FURNISHED WITH A COPY OF ALL INSPECTION REPORTS AND TEST RESULTS.
- STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

TYPE OF MEMBER	
A. WIDE FLANGE SHAPES	ASTM A992, GRADE 50
A. SHAPES, PLATES, ANGLES, & RODS	ASTM A36, Fy 36 KSI
B. SPECIAL SHAPES AND PLATES	ASTM A572, Fy 50 KSI
C. PIPE COLUMNS	ASTM A53, Fy 35 KSI
D. STRUCTURAL TUBING	ASTM A500, Fy 46KSI
E. ANCHOR BOLTS	ASTM A307
F. CONNECTION BOLTS	ASTM A325 TWIST-OFF
- HOT DIP GALVANIZE AFTER FABRICATION PER A123/A123M-00 ALL STEEL EXPOSED TO WEATHER AND WHERE NOTED.
- ALL WELDING SHALL BE IN CONFORMANCE WITH A.I.S.C. AND AWS STANDARDS AND SHALL BE PERFORMED BY ANSI/AWS D1.1 CERTIFIED WELDERS USING E70 XX ELECTRODES. ONLY PRE-QUALIFIED WELDS (AS DEFINED BY AWS) SHALL BE USED. WELDING OF GRADE 60 REINFORCING BARS (IF REQUIRED) SHALL BE PERFORMED USING LOW HYDROGEN ELECTRODES. WELDING OF GRADE 40 REINFORCING BARS (IF REQUIRED) SHALL BE PERFORMED USING E70 XX ELECTRODES. WELDING WITHIN 4" OF COLD BENDS IN REINFORCING STEEL IS NOT PERMITTED. SEE REINFORCING NOTE FOR MATERIAL REQUIREMENTS OF WELDED BARS.
- COLD-FORMED STEEL FRAMING MEMBERS SHALL BE OF THE SHAPE, SIZE, AND GAGE SHOWN ON THE PLANS. PROVIDE MINIMUM SECTION PROPERTIES INDICATED. ALL COLD-FORMED STEEL FRAMING SHALL CONFORM TO THE A.I.S.S. "SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS."
- BOLTED CONNECTIONS SHALL USE BEARING TYPE ASTM A325 BOLTS (3/4" DIA.) AND SHALL HAVE A MINIMUM OF TWO BOLTS UNLESS NOTED OTHERWISE.
- NON-STRUCTURAL CONNECTIONS FOR STEEL GRATING MAY USE 5/8" DIA. ASTM A307 BOLTS UNLESS NOTED OTHERWISE.
- (UNLESS NOTED OTHERWISE). PREPARATION AND PAINTING SHALL BE IN ACCORDANCE WITH THE SPECIFICATION AND IN ACCORDANCE WITH THE PAINT MANUFACTURERS WRITTEN INSTRUCTIONS.
- ALL WELDS TO BE 1/4" FILLET UNLESS NOTED OTHERWISE.
- TOUCH UP ALL FIELD DRILLING, WELDING AND CUT SURFACES WITH 2 COATS OF GALVACON (ZINC RICH PAINT) OR APPROVED EQUAL.

SAFETY PROCEDURES

FALL PROTECTION METHODS TO BE PER FEDERAL, STATE, LOCAL, OSHA, AT&T AND OWNER REQUIREMENTS.

TOWER/POLE NOTES:

- VERIFICATION THAT THE EXISTING TOWER/POLE CAN SUPPORT THE PROPOSED ANTENNA LOADING IS TO BE DONE BY OTHERS.
- PROVIDE SUPPORTS FOR THE ANTENNA COAX CABLES TO THE ELEVATION OF ALL INITIAL AND FUTURE ANTENNAS. ANTENNA COAX CABLES ARE TO BE SUPPORTED AND RESTRAINED AT THE CENTERS SUITABLE TO THE MANUFACTURER'S REQUIREMENTS.

SYMBOLS AND ABBREVIATIONS

A/C	AIR CONDITIONING	MAX	MAXIMUM
AGL	ABOVE GROUND LEVEL	MECH	MECHANICAL
APRX	APPROXIMATELY	MTL	METAL
AWS	ADVANCED WIRELESS SERVICE	MFR	MANUFACTURE
BBU	BATTERY BACKUP UNIT	MGR	MANAGER
BLDG	BUILDING	MIN	MINIMUM
BLK	BLOCKING	MISC	MISCELLANEOUS
CLG	CEILING	NA	NOT APPLICABLE
CLR	CLEAR	NIC	NOT IN CONTRACT
CONC	CONCRETE	NTS	NOT TO SCALE
CONST	CONSTRUCTION	OC	ON CENTER
CONT	CONTINUOUS	OD	OUTSIDE DIAMETER
DBL	DOUBLE	PCS	PERSONAL COMMUNICATION SERVICE
Ø	DIAMETER		
DIAG	DIAGONAL	PDU	POWER DISTRIBUTION UNIT
DN	DOWN	PLYWD	PLYWOOD
DET	DETAIL	PROJ	PROJECT
DWG	DRAWING	PROP	PROPERTY
EA	EACH	PT	PRESSURE TREATED
ELEV	ELEVATION	REQ	REQUIRED
ELEC	ELECTRICAL	RF	RADIO FREQUENCY
EQ	EQUAL	RM	ROOM
EQUIP	EQUIPMENT	RO	ROUGH OPENING
EXT	EXTERIOR	RRH	REMOTE RADIO HEAD
FIF	FIBER INTERFACE FRAME	SHT	SHEET
FIN	FINISH	SIM	SIMILAR
FLUOR	FLUORESCENT	SPEC	SPECIFICATION
FLR	FLOOR	SF	SQUARE FOOT
FT	FOOT	SS	STAINLESS STEEL
GA	GAUGE	STL	STEEL
GALV	GALVANIZED	STRUCT	STRUCTURAL
GC	GENERAL CONTRACTOR	STD	STUD
GRND	GROUND	SUSP	SUSPENDED
GSM	GLOBAL SYSTEM MOBILE	THRU	THROUGH
GYP	GYPSUM BOARD	TMA	TOWER MOUNTED AMPLIFIER
HORZ	HORIZONTAL	TND	TINNED
HR	HOUR	TYP	TYPICAL
HT	HEIGHT	UMTS	UNIVERSAL MOBILE
ID	INSIDE DIAMETER		TELECOMMUNICATION SERVICE
INCH	INCH	VERT	VERTICAL
INFO	INFORMATION	W/	WITH
INSUL	INSULATION	W/O	WITHOUT
INT	INTERIOR	WCS	WIRELESS COMMUNICATION SERVICE
LBS	POUNDS		
LTE	LONG TERM EVOLUTION	WP	WATER PROOF

LEGEND

	SUBJECT PARCEL
	SECTION LINES
	PROPERTY LINES
	RIGHT-OF-WAY LINES
	PROPOSED CONTOUR - MAJOR
	PROPOSED CONTOUR - MINOR
	EXISTING CONTOUR - MAJOR
	EXISTING CONTOUR - MINOR
	COAXIAL CABLE RUN
	FIBER OPTIC CABLE RUN
	ELECTRICAL CABLE RUN
	TELECOM UNDER/OVER HEAD
	FENCE - SEDIMENT
	FENCE - CHAINLINK, /W BARB



Know what's below.
Call before you dig.

NOTE:
STRUCTURAL DRAWINGS AND NOTES SHALL TAKE PRECEDENCE OVER ALL DRAWINGS AND NOTES.



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TUALATIN, OR 97062



4004 KRUSE WAY PLACE
BLDG.4004, SUITE #220
LAKE OSWEGO, OR 97035

SITE: SA06

MISSION STREET

1313 MILL STREET SE
SALEM, OR 97301

PROJECT:

LTE 6C(FN)/MULTI

ISSUED FOR:

CONSTRUCTION

SUBMITTALS			
REV.	DATE	DESCRIPTION	BY
A	10/5/18	PRELIM CDS	MH
0	10/24/18	FINAL CDS	MH
1	11/29/18	RRH RELOCATION	MH

FA#:

10094075

DRAWN BY:

MH

CHECKED BY:

JW

CURRENT ISSUE DATE:

11/29/18

STAMP:



EXPIRATION DATE: 12/31/2018

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SHEET TITLE:

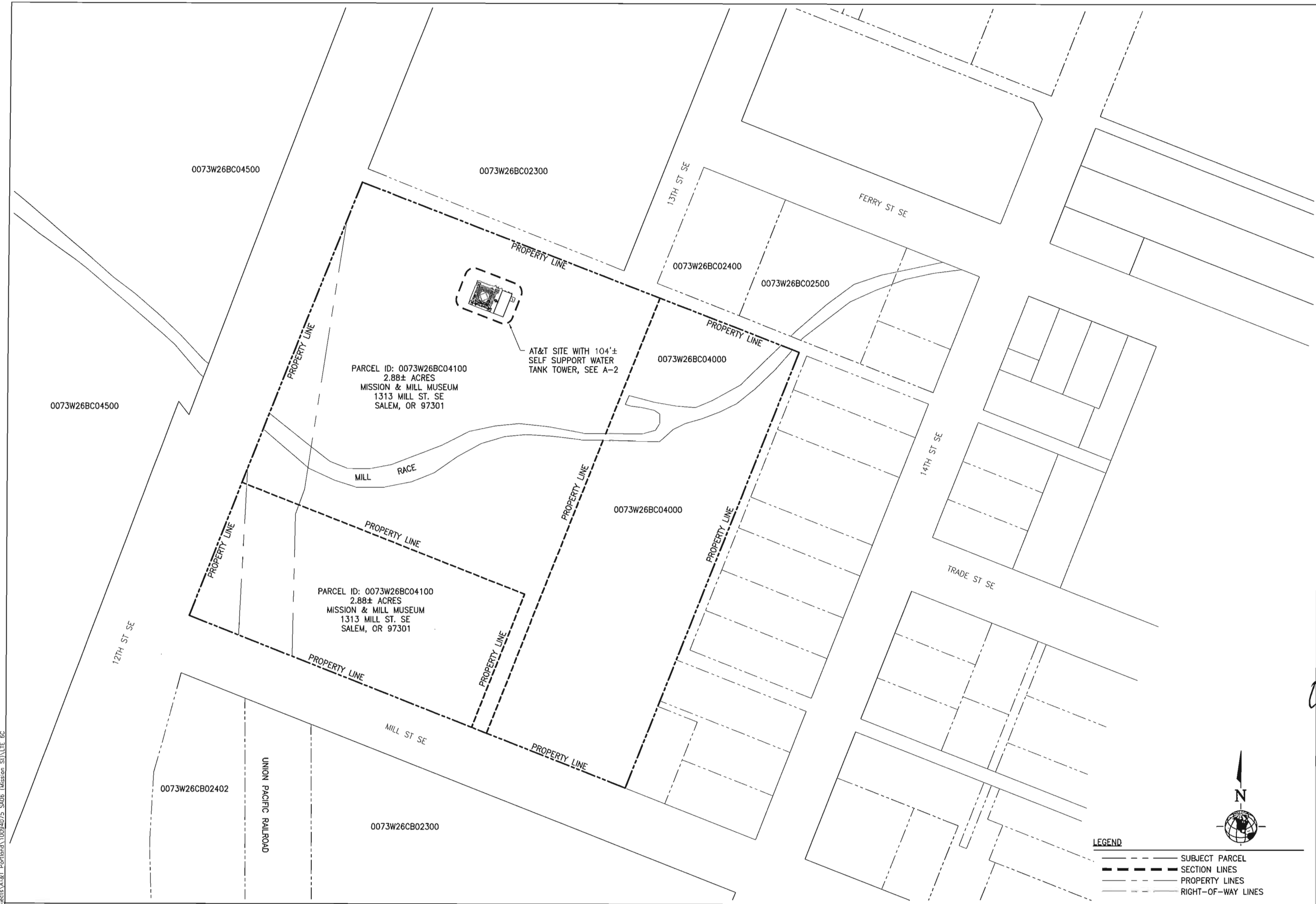
GENERAL NOTES

SHEET NUMBER:

GN-1

REV.

1



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SHEET TITLE:

OVERALL SITE PLAN

SHEET NUMBER: REV.

A-1 1

Y:\Projects\AT&T Portland\10094075 SA06 (Mission St)\LTE 6C

22"x34" SCALE: 1"=50'
11"x17" SCALE: 1"=100'
0' 50' 100'

OVERALL SITE PLAN 1

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FA#: 10094075
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CURRENT ISSUE DATE:
11/29/18

STAMP:

REGISTERED PROFESSIONAL
ENGINEER
66878
OREGON
MAY 15, 2001
WILLIAM PANEK

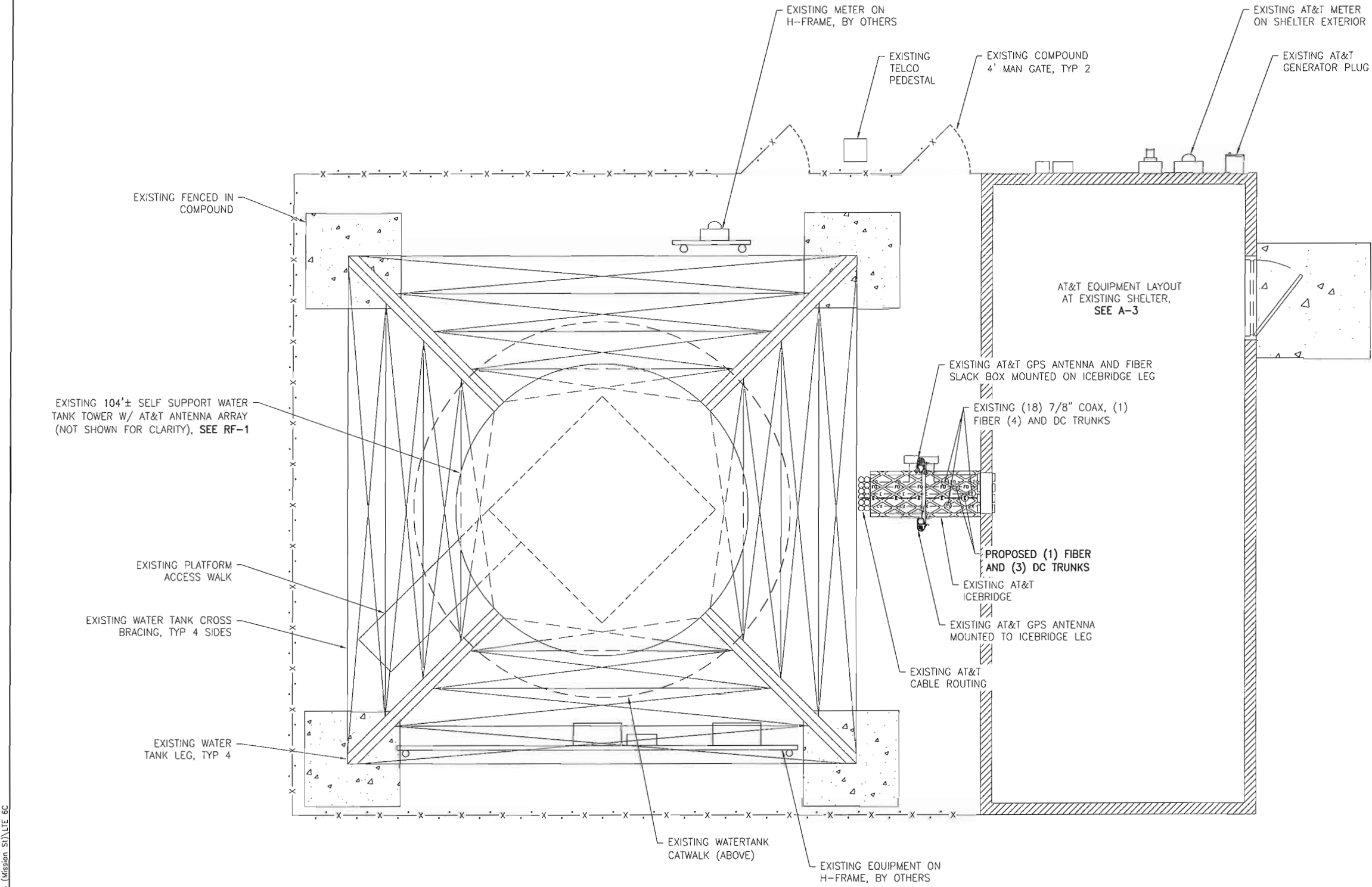
11/30/18

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SHEET TITLE:
COMPOUND LAYOUT PLANS

SHEET NUMBER: **A-2** REV. **1**





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SITE: SA06

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1313 MILL STREET SE
SALEM, OR 97301

PROJECT:

LTE 6C(FN)/MULTI

ISSUED FOR:

CONSTRUCTION

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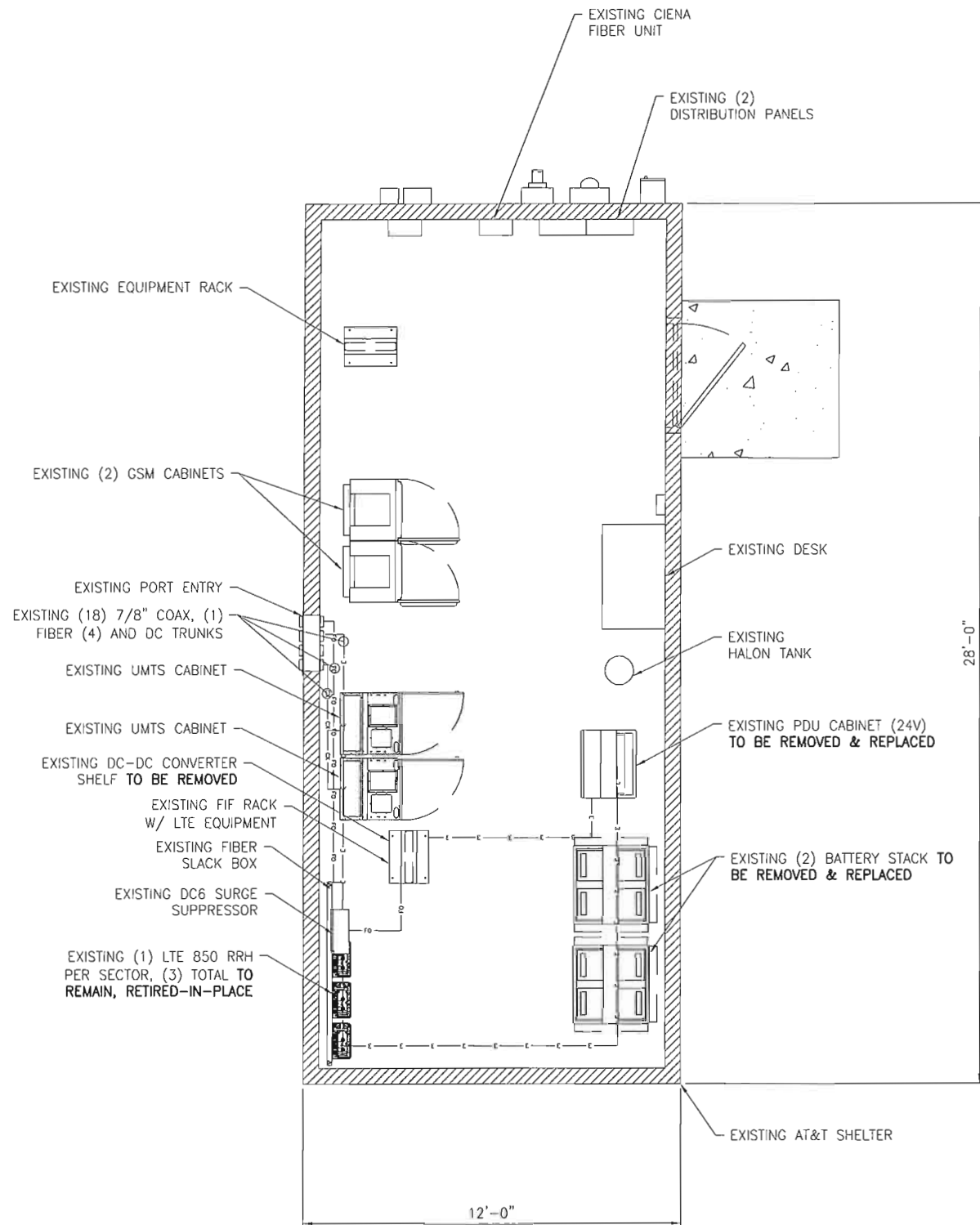
SHEET TITLE:

EQUIPMENT LAYOUT PLANS

SHEET NUMBER: REV.

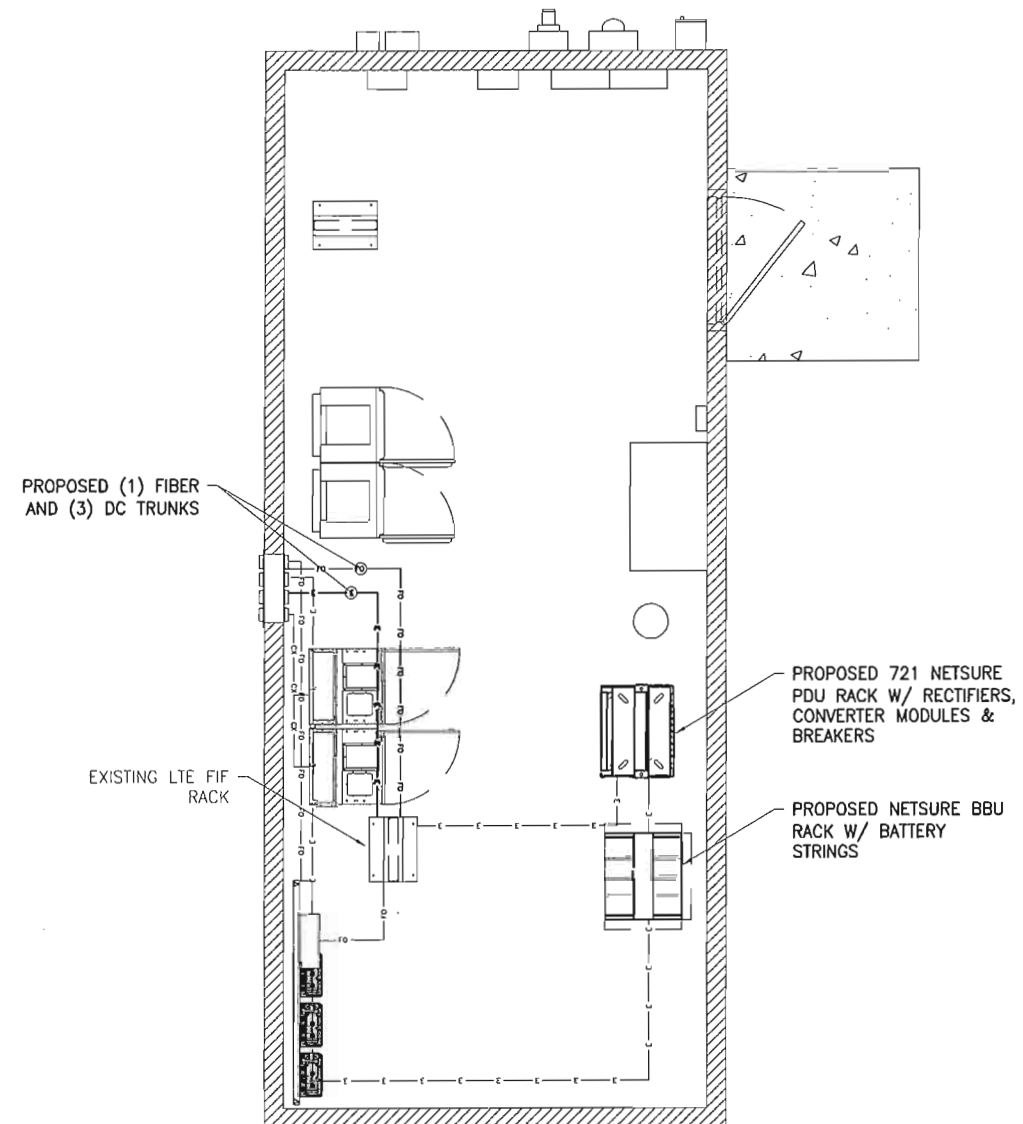
A-3

1



EXISTING EQUIPMENT LAYOUT

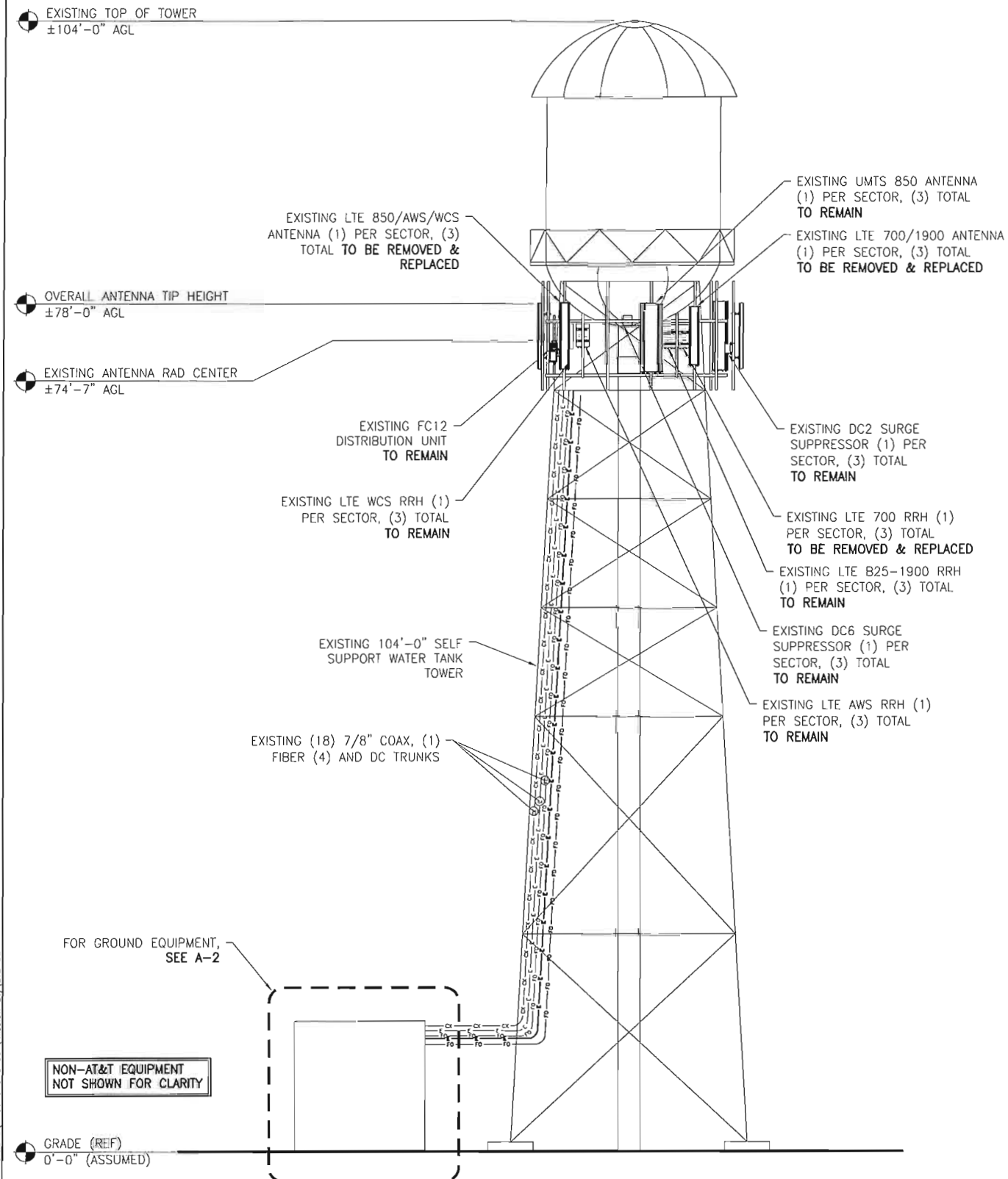
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PROPOSED EQUIPMENT LAYOUT

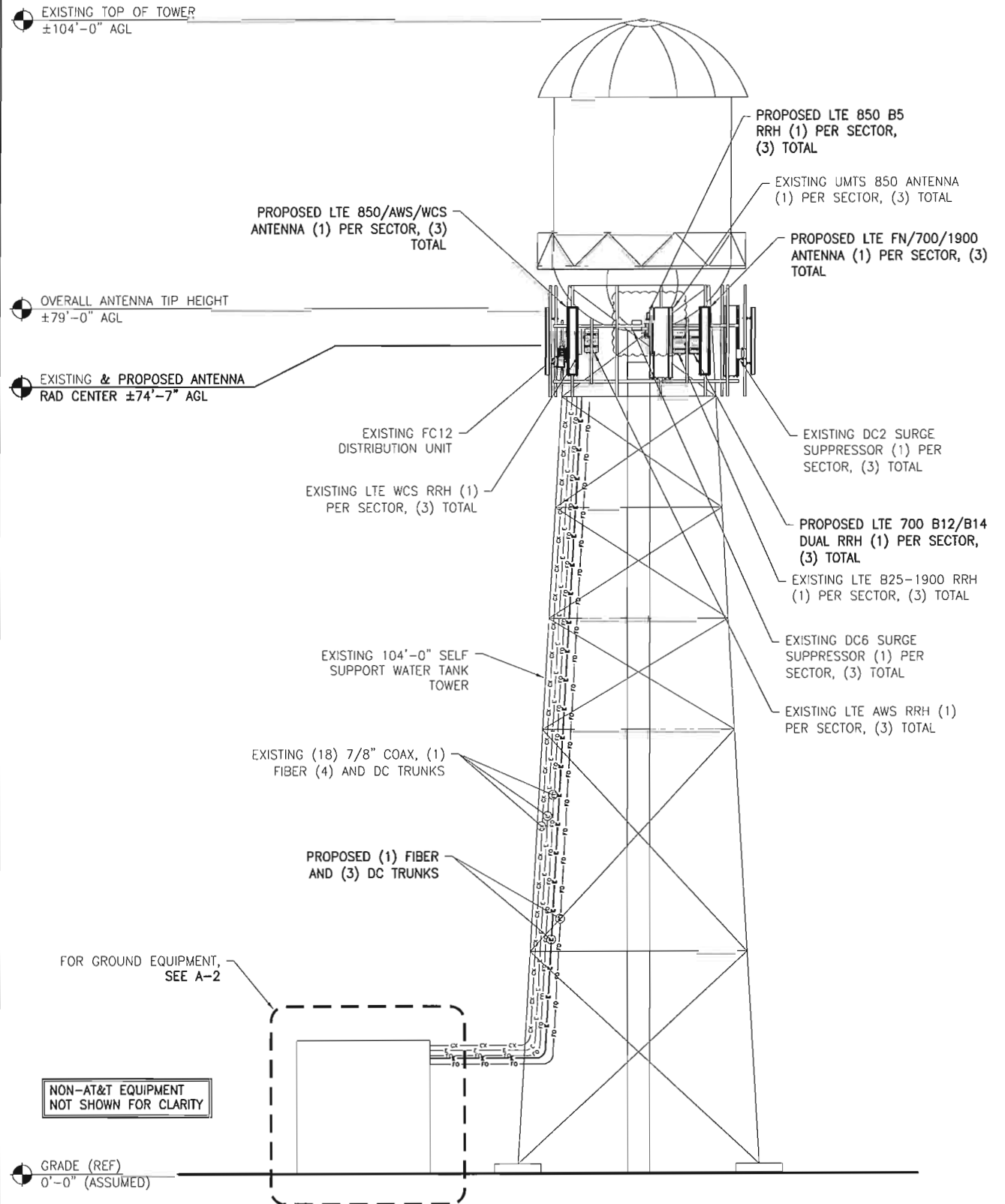
1

Y:\Projects\AT&T Portland\10094075_Sa06 (Mission St)\LTE 6C



1. PAINT PROPOSED ANTENNAS TO MATCH EXISTING.
2. CONTRACTOR TO VERIFY RF DATA WITH CONSTRUCTION MANAGER AND/OR RF ENGINEER PRIOR TO CONSTRUCTION

90' CRANE PERMITTED.



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SITE: SA06
MISSION STREET
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SALEM, OR 97301

PROJECT:
LTE 6C(FN)/MULTI
ISSUED FOR:
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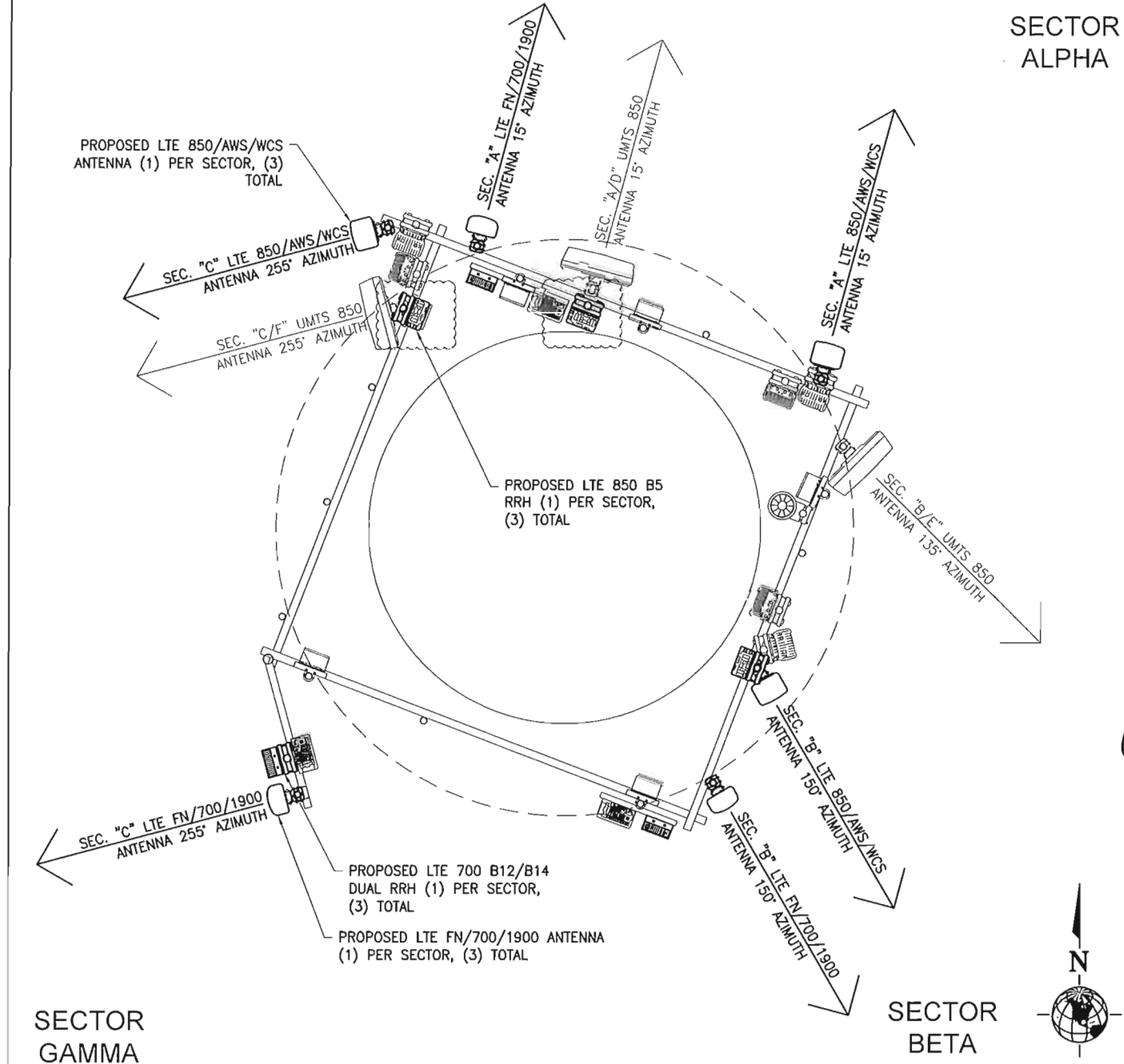
11/30/18
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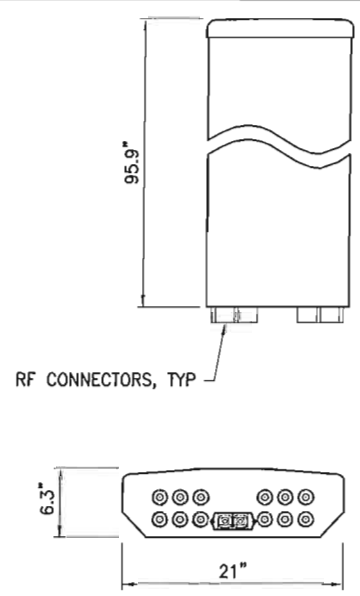
SHEET TITLE:
ELEVATIONS
SHEET NUMBER: **A-4** REV. **1**

PROPOSED ANTENNA CONFIGURATION AND CABLE SCHEDULE												
SA06 - CASCADIA			SUPPLIED BY AT&T WIRELESS, FROM RF CONFIG DATED: 8/1/2018					BY: rb438h				
SECTOR	POS	TECHNOLOGY	ANTENNA MAKE	ANTENNA MODEL	ANTENNA RAD CENTER (FEET AGL)	AZIMUTH (DEGREES)	TMA MODEL	QTY	DC SURGE AND DISTRIBUTION (QTY)	FEEDER TYPE (LTE)	FEEDER LENGTH (FT)	DOWNTILT (DEGREES)
A	1	LTE FN/700/1900	CommScope	NNHH-65C-R4	74.6	15	0	0	DC6-48-60-1B-01 (4) DC2-48-60-0-9E (3) FC12-PC6-10E (1) DC12-48-60-RM (1)	(2) FIBER / (7) DC (18) 7/8" COAX	100	(M): 2° (E): L7(12°), L9(3°), L7_PS(12°)
	2	UMTS 850	TenXc Wireless	BSA-M65-19R010-02_L	74.6	15	0	0				(M): 0° (E): U8(6°), U8_1(6°)
	3											
	4	LTE 850/AWS/WCS	KMW	EPBQ-654L8H8-L2	74.6	15	0	0				(M): 2° (E): L2(3°), L8(12°), WCS(3°), L2_1(3°)
B	1	UMTS 850	TenXc Wireless	BSA-M65-19R010-02_L	74.6	135	0	0				(M): 0° (E): U8(8°), U8_1(8°)
	2											
	3	LTE 850/AWS/WCS	KMW	EPBQ-654L8H8-L2	74.6	150	0	0				(M): 2° (E): L2(3°), L8(7°), WCS(3°), L2_1(3°)
	4	LTE FN/700/1900	CommScope	NNHH-65C-R4	74.6	150	0	0				(M): 2° (E): L7(7°), L9(3°), L7_PS(7°)
C	1	LTE FN/700/1900	CommScope	NNHH-65C-R4	74.6	255	0	0				(M): 0° (E): L7(2°), L9(2°), L7_PS(2°)
	2											
	3	UMTS 850	TenXc Wireless	BSA-M65-19R010-02_L	74.6	255	0	0				(M): 0° (E): U8(8°), U8_1(8°)
	4	LTE 850/AWS/WCS	KMW	EPBQ-654L8H8-L2	74.6	255	0	0				(M): -1° (E): L2(2°), L8(2°), WCS(2°), L2_1(1°)
D		UMTS 850	TenXc Wireless	BSA-M65-19R010-02_L	74.6	15	0	0				(M): 0° (E): U8(6°), U8_1(6°)
E		UMTS 850	TenXc Wireless	BSA-M65-19R010-02_L	74.6	135	0	0				(M): 0° (E): U8(8°), U8_1(8°)
F		UMTS 850	TenXc Wireless	BSA-M65-19R010-02_L	74.6	255	0	0				(M): 0° (E): U8(8°), U8_1(8°)

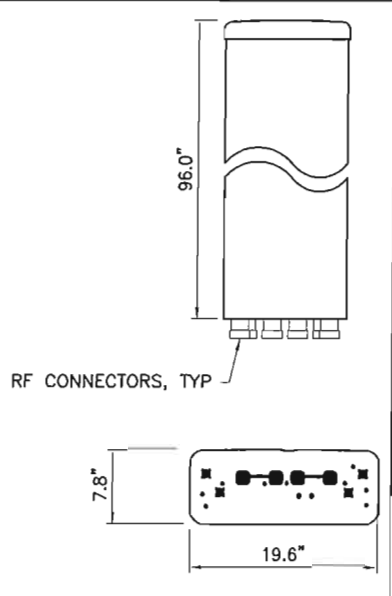
- | | | |
|---------------|--|----------|
| SHEET NUMBER: | | REV. |
| RF-1 | | 1 |



MANUFACTURER: KMW
PART#: EPBQ-654L8H8-L2
LENGTH: 96.0"
WIDTH: 21.0"
DEPTH: 6.3"
WEIGHT: 86.0 lbs

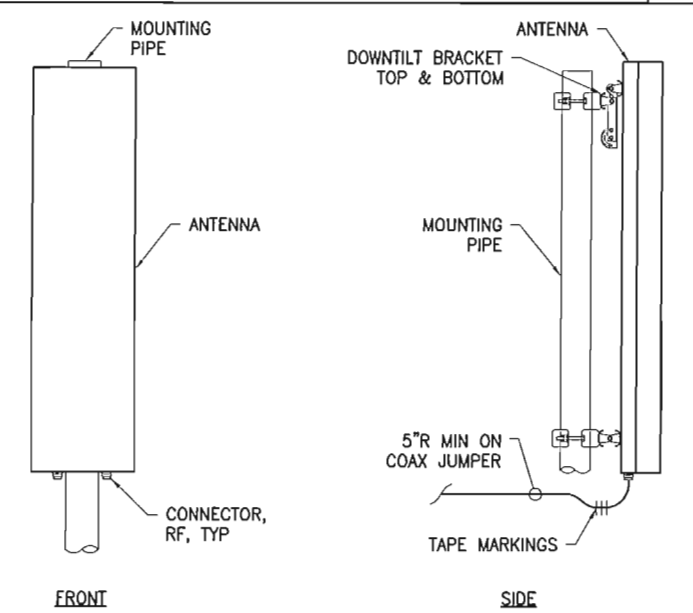


MANUFACTURER: COMMScope
PART #: NNHH-65C-R4
LENGTH: 96.0"
WIDTH: 19.6"
DEPTH: 7.8"
WEIGHT: 99.2 lbs.



SCALE : NTS LTE ANTENNA 9

SCALE : NTS LTE ANTENNA 8



SCALE : NTS ANTENNA MOUNTING DETAIL 7

SCALE : NTS NOT USED 6

MANUFACTURER: NOKIA AIRSCALE
MODEL: 4T4R B12/14 320W AHLBA
HEIGHT: 560mm
WIDTH: 308mm
DEPTH: 177mm
WEIGHT: 46kg

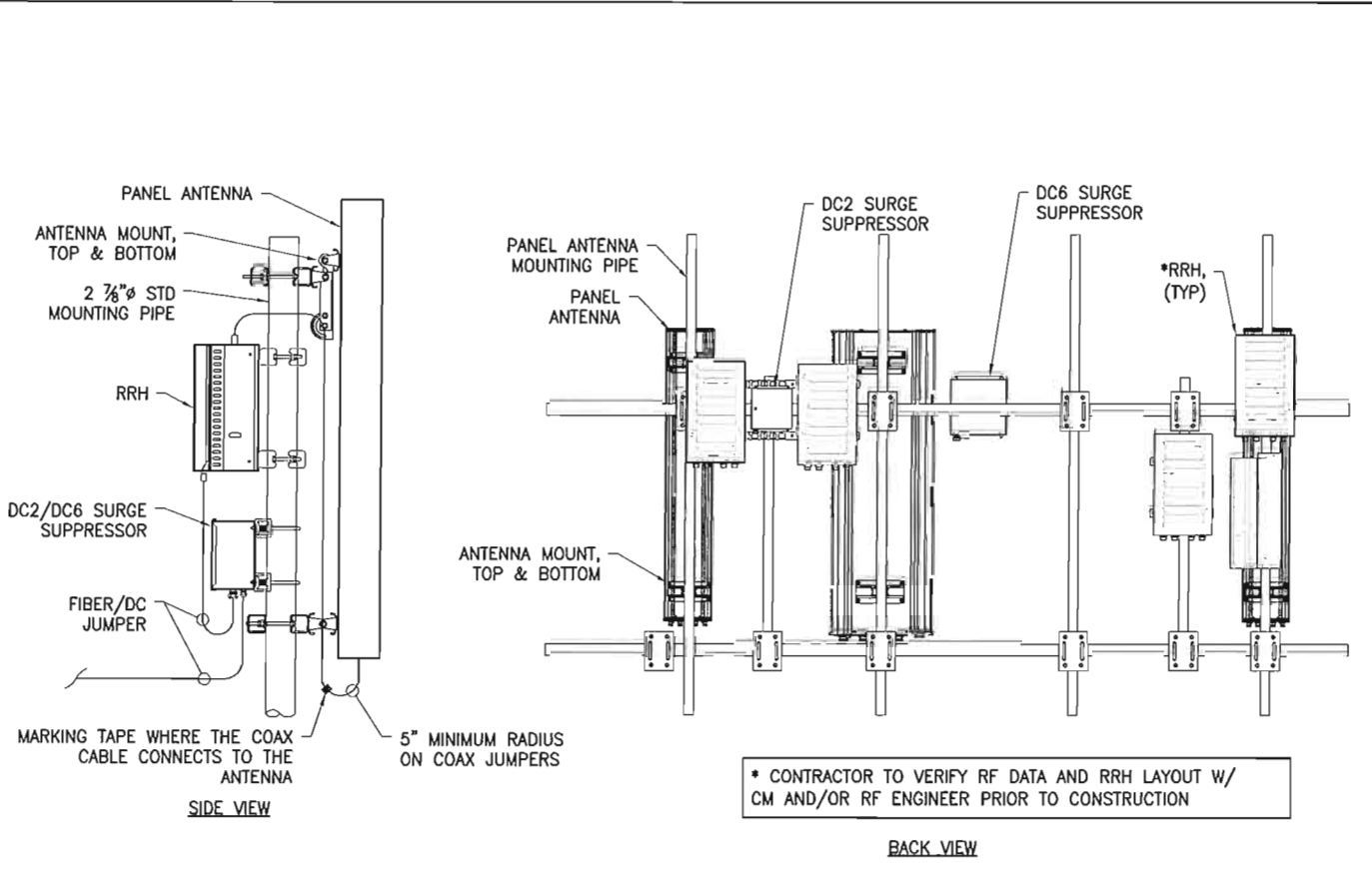


SCALE : NTS AIRSCALE LTE 700 RRH 4

MANUFACTURER: NOKIA AIRSCALE
MODEL: 4T4R B5 160W AHCA
HEIGHT: 337mm
WIDTH: 295mm
DEPTH: 165mm
WEIGHT: 16.7kg



SCALE : NTS AIRSCALE LTE 850 RRH 3



SCALE : NTS SURGE PROTECTION, RRH & ANTENNA MOUNTING DETAIL 5

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LAKE OSWEGO, OR 97035

SITE: SA06

MISSION STREET

1313 MILL STREET SE
SALEM, OR 97301

PROJECT:
LTE 6C(FN)/MULTI

ISSUED FOR:
CONSTRUCTION

SUBMITTALS			
REV.	DATE	DESCRIPTION	BY
A	10/5/18	PRELIM CDS	MH
0	10/24/18	FINAL CDS	MH
1	11/29/18	RRH RELOCATION	MH

FA#: 10094075
DRAWN BY: MH
CHECKED BY: JW

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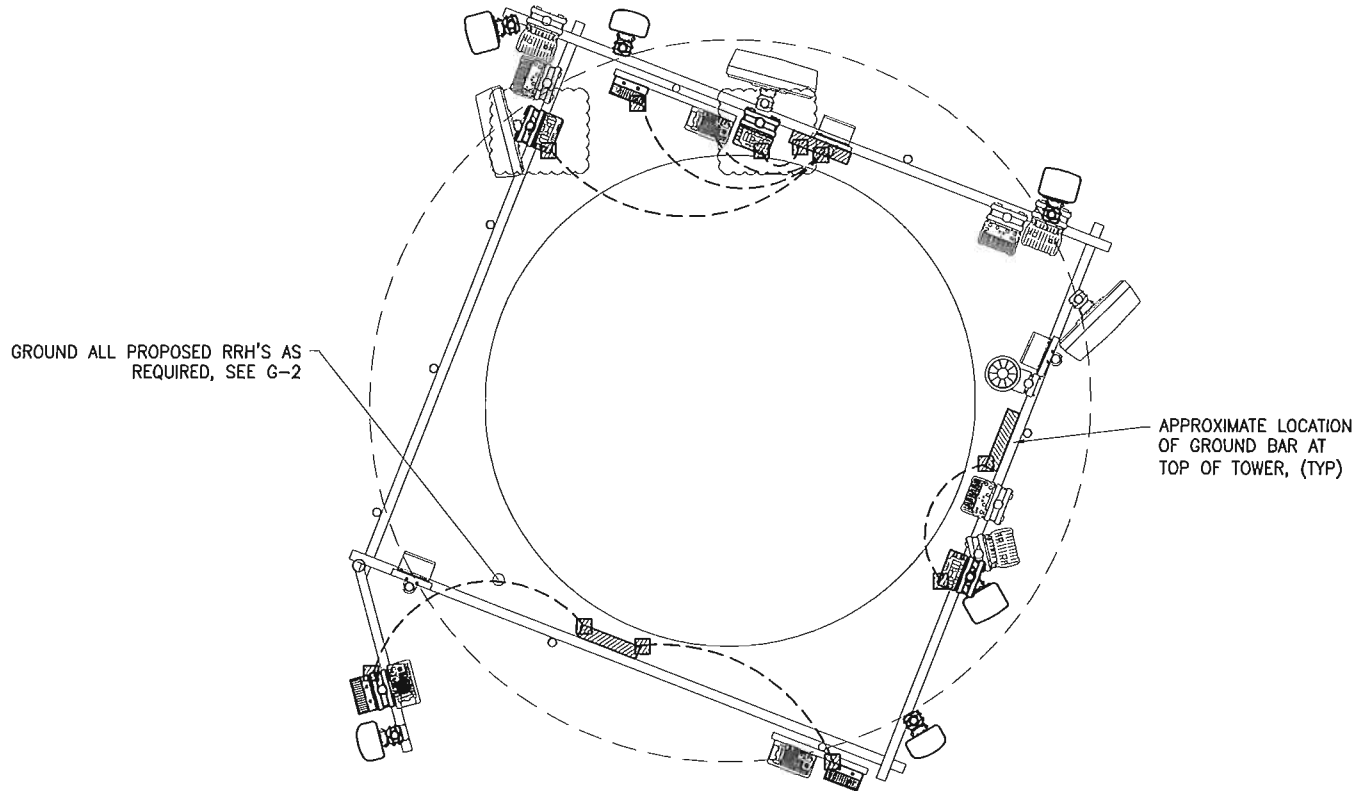
SHEET TITLE:
RF DETAILS

SHEET NUMBER:
RF-2

REV. 1

V:\Projects\AT&T Portland\10094075 SA06 (Mission St)\LTE 6C

Y:\Projects\AT&T Portland\10094075 SA06 Mission S\1117E 6C



SYMBOL	DESCRIPTION
⊗	COPPER GROUND ROD
⊠	TEST WELL
△	CADWELD CONNECTION
▨	GROUND BAR
▩	MECHANICAL CONNECTION
⋈	FIELD VERIFY & TIE INTO EXISTING GROUNDING SYSTEM

GENERAL GROUNDING NOTES:

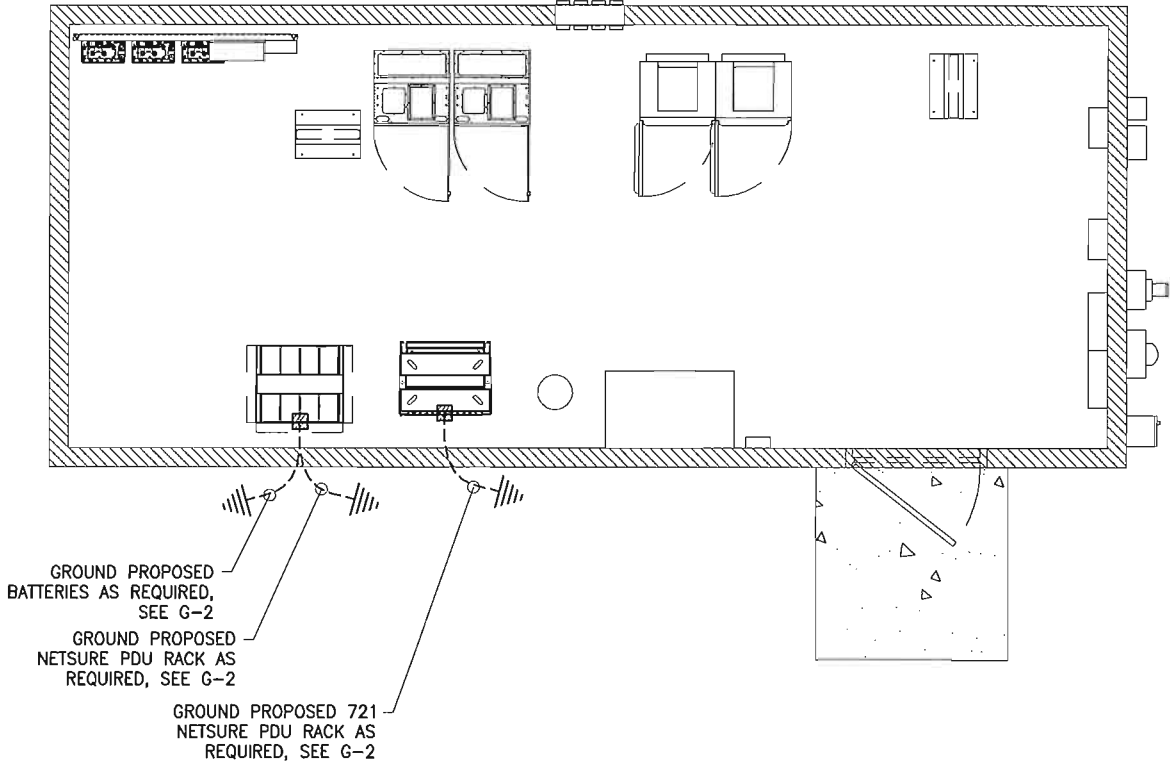
1. GROUNDING SHALL BE INSTALLED 6" BELOW FROST DEPTH OR 30" BELOW GRADE, WHICHEVER IS GREATER. CONFIRM FROST DEPTH WITH JURISDICTION.
2. ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS.
3. GROUND ALL ANTENNA BASES, FRAMES, CABLE RUNS, AND OTHER METALLIC COMPONENTS USING GROUND WIRES AND CONNECT TO SURFACE MOUNTED BUS BARS. FOLLOW ANTENNA AND BTS MANUFACTURERS PRACTICES FOR GROUNDING REQUIREMENTS. GROUND COAX SHIELD AT BOTH ENDS AND EXIT FROM TOWER OR POLE USING MFR'S PRACTICES.
4. ALL GROUND CONNECTIONS SHALL BE CADWELDED. ALL WIRES SHALL BE COPPER THHN/THWN. ALL GROUND WIRE SHALL BE GREEN INSULATED WIRE ABOVE GROUND.
5. CONTRACTOR TO VERIFY AND TEST GROUND TO SOURCE. GROUNDING AND OTHER OPERATIONAL TESTING WILL BE WITNESSED BY AT&T REPRESENTATIVE.
6. REFER TO DIVISION 16 GENERAL ELECTRIC; GENERAL ELECTRICAL PROVISION AND COMPLY WITH ALL REQUIREMENTS OF GROUNDING STANDARDS.
7. ELECTRICAL CONTRACTOR TO PROVIDE DETAILED DESIGN OF GROUNDING SYSTEM, AND RECEIVE APPROVAL OF DESIGN BY AUTHORIZED AT&T MOBILITY REPRESENTATIVE, PRIOR TO INSTALLATION OF GROUNDING SYSTEM. PHOTO DOCUMENT ALL CADWELDS AND GROUND RING
8. NOTIFY CONSTRUCTION MANAGER IF THERE ARE ANY DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SITE SOIL CONDITIONS.

GENERAL ROD NOTES (WHERE APPLICABLE):

1. ELECTRICAL CONTRACTOR SHALL ORDER GROUND RESISTANCE TESTING ONCE THE GROUND SYSTEM HAS BEEN INSTALLED; A QUALIFIED INDIVIDUAL, UTILIZING THE FALL OF POTENTIAL METHOD, SHOULD PERFORM THE TEST. THE REPORT WILL SHOW THE LOCATION OF THE TEST AND CONTAIN NO LESS THAN 9 TEST POINTS ALONG THE TESTING LINE, GRAPHED OUT TO SHOW THE PLATEAU.
2. 2 POINT GROUND TEST OR 3 POINT 62% TESTS WILL NOT BE ACCEPTED AS ALTERNATIVES TO THE AFOREMENTIONED GROUND TESTS. TEST SHALL BE PERFORMED WHILE THE COUNTERPOISE IS ISOLATED FROM THE A/C SYSTEM GRIDS AND EXISTING COMMUNICATIONS FACILITY.

PLATFORM GROUNDING PLAN 1

22"x34" SCALE: 1"=2.5'
11"x17" SCALE: 1"=5'



22"x34" SCALE: 1"=2.5'
11"x17" SCALE: 1"=5'

GROUNDING PLAN 2



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LAKE OSWEGO, OR 97035

SITE: SA06

MISSION STREET

1313 MILL STREET SE
SALEM, OR 97301

PROJECT:

LTE 6C(FN)/MULTI

ISSUED FOR:

CONSTRUCTION

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FA#: 10094075

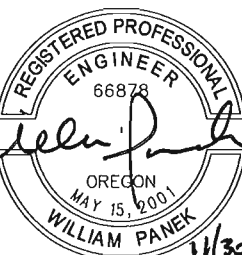
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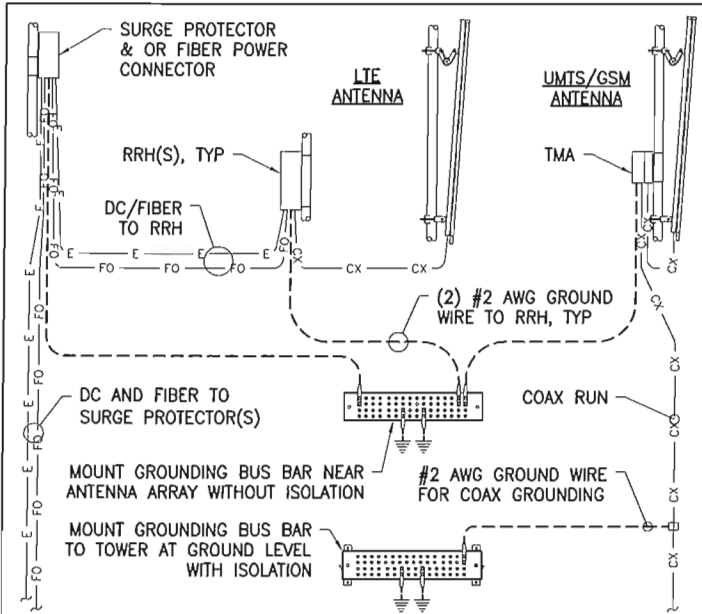
SHEET TITLE:

GROUNDING PLAN

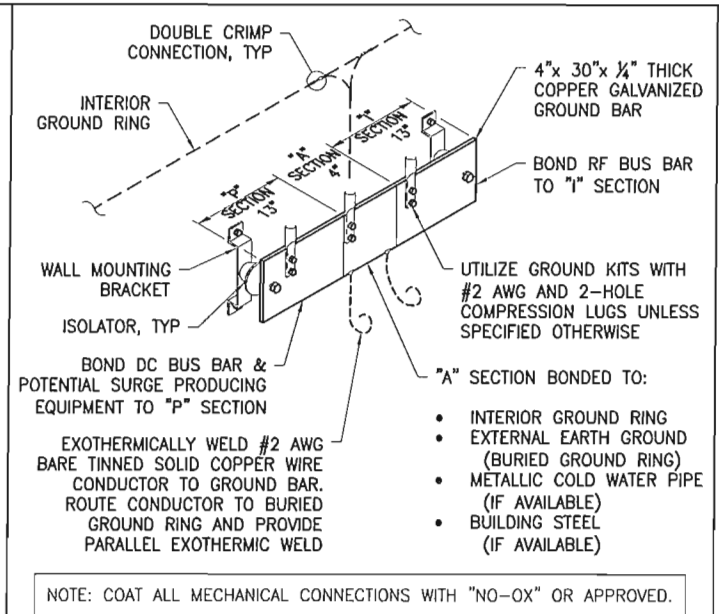
SHEET NUMBER: REV.

G-1

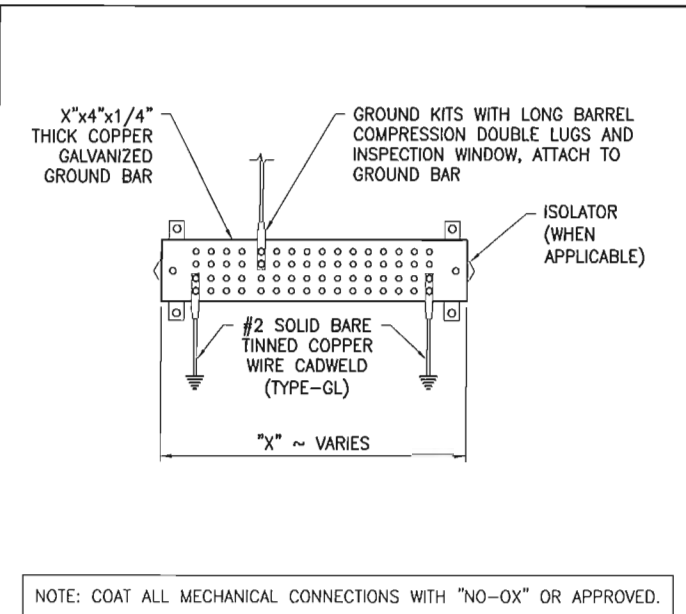
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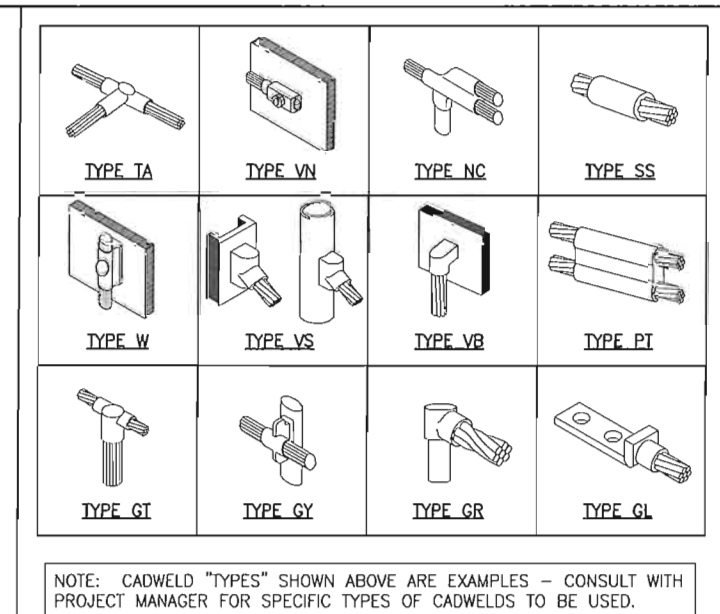
SCALE : NTS **GROUNDING SCHEMATIC DIAGRAM** 5



SCALE: NTS **CELL REF GROUND BAR (CRGB)** 4



SCALE : NTS **GROUND BAR** 3



SCALE : NTS **CAD WELD EXAMPLES** 2

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SITE: SA06

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PROJECT: **LTE 6C(FN)/MULTI**

ISSUED FOR: **CONSTRUCTION**

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SHEET TITLE: **GROUNDING DETAILS**

SHEET NUMBER: **G-2** REV. 1

1. ALL ELECTRICAL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE.
2. COMPLY WITH THE LATEST EDITION OF THE UNIFORM BUILDING CODE, THE REQUIREMENTS OF ALL APPLICABLE MUNICIPAL AND STATE CODES AND REGULATIONS, AND UTILITY GUIDELINES.
3. PERFORM ALL VERIFICATION, OBSERVATIONS, TESTING AND EXAMINATION OF WORK PRIOR TO THE ORDERING OF ELECTRICAL EQUIPMENT AND THE ACTUAL CONSTRUCTION. ISSUE A WRITTEN NOTICE OF ALL FINDINGS TO THE CONSTRUCTION MANAGER LISTING ALL MALFUNCTIONS, FAULTY EQUIPMENT AND DISCREPANCIES.
4. UNDERGROUND CONDUIT SHALL BE RIGID POLYVINYL CHLORIDE CONDUIT: TYPE SCHEDULE 40 (OVERHEAD CONDUIT SHALL BE GALVANIZED RIGID CONDUIT-GRC) CONFORMING TO UL ARTICLE 651: WESTERN PLASTICS OR CARBON MANUFACTURER. COUPLINGS SHALL BE SLIP-ON SOLVENT SEALED T PIPE: SOLVENT, WESTERN TYPE COMPATIBLE WITH PVC DUCT, ALL BENDS SHALL BE 30" MINIMUM RADIUS.
5. ALL WIRING SHALL BE STRANDED COPPER WITH MINIMUM 600V INSULATION (UNLESS OTHERWISE NOTED).
6. NEUTRAL SHALL BE COLOR CODED, INSULATION SHALL BE CROSS-LINKED POLYETHYLENE.
7. CONTRACTOR TO CONTACT ALL UTILITIES FOR LOCATION OF UNDERGROUND SERVICES. SERVICE LOCATIONS TO BE CONFIRMED PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITTING, FILING, AND FEES IN CONJUNCTION WITH THE PROJECT.
9. THE CONTRACTOR SHALL SCHEDULE ALL NECESSARY INSPECTIONS WITH THE PROPER AUTHORITIES AND INFORM VELOCITEL 24-HOURS IN ADVANCE. ALL TICKETS AND INSPECTION VERIFICATIONS WILL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE WITHIN 24-HOURS AFTER THE INSPECTION HAS TAKEN PLACE.
10. ALL EQUIPMENT, WIRING, AND MATERIALS MUST HAVE A UL LABEL.
11. ALL WORK SHALL BE DONE BY QUALIFIED AND EXPERIENCED JOURNEYMEN AND PERFORMED IN A WORKMANLIKE MANNER AND SHALL PROCEED IN AN ORDERLY MANNER SO AS NOT TO HOLD UP THE PROGRESS OF THE PROJECT.
12. THOROUGHLY TEST ALL LINES FEEDERS, EQUIPMENT, AND DEVICES WITH MAXIMUM LOADS TO ASSURE PROPER OPERATION.
13. CONDUCTOR LENGTHS SHALL BE CONTINUOUS FROM TERMINATION TO TERMINATION WITHOUT SPLICES.
14. PROVIDE PULL BOXES WHERE SHOWN AND/OR WHERE REQUIRED BY CODES AND/OR UTILITY COMPANIES.
15. ALL CONDUIT ROUGH-IN SHALL BE COORDINATED WITH THE MECHANICAL EQUIPMENT TO AVOID LOCATION CONFLICTS, CONTRACTOR SHALL VERIFY ALL LOCATIONS.
16. ALL WIRES SHALL BE TAGGED AT ALL PULL BOXES, J-BOXES, EQUIPMENT BOXES, AND CABINETS WITH APPROVED PLASTIC TAGS.
17. ALL BREAKERS IN PANEL BOXES SHALL BE IDENTIFIED WITH TYPE WRITTEN LABELS NEATLY PLACED ALONG SIDE OF THE BREAKER.
18. ALL FIRE-RATED WALL AND FLOOR PENETRATIONS ARE TO BE CAULKED AND SEALED WITH A FIRE RESISTANT CAULKING TO MAINTAIN THE INTEGRITY OF THE FIRE SEPARATION.
19. UTILIZE SONNEBORN TYPE NP-1 CAULKING FOR SEALING ALL EXTERIOR WALL PENETRATIONS.



SCALE : NTS MARATHON M12V155FT DATA | 2

MARATHON 12V155FT CODE REQUIREMENTS	4
--	----------

MARATHON M12V155FT DETAIL | 1

SCALE : NTS MARATHON M12V155FT DETAIL 1



NOTES

3

SCALE : NTS

MARATHON M12V155FT DATA

2

SCALE : NTS

MARATHON M12V155FT DETAIL

1

*Si necesita ayuda para comprender esta informacion, por favor llame
503-588-6173*

DECISION OF THE HISTORIC LANDMARKS COMMISSION

MAJOR HISTORIC DESIGN REVIEW CASE NO. HIS16-16

APPLICATION NO. : 16-111056-DR

NOTICE OF DECISION DATE: JULY 22, 2016

REQUEST: Major historic design review of a proposal to modify an existing wireless communication facility, removing 6 antennae and replacing 6 wireless antennae and associated equipment with 6 antennae and associated equipment on an existing water tank (1925) within the Willamette Heritage Center/ Thomas Kay Historic Park, individually listed on the National Register of Historic Places, on property zoned CR (Retail Commercial), and located at 1313 Mill Street SE, 97301; Marion County Assessor Map and Tax Lot number: 073W26BC04100.

APPLICANT: Natalie Erlund, FDH Velocitel for AT & T

LOCATION: 1313 Mill St SE

CRITERIA: Salem Revised Code Chapter 230.065

DECISION: The Historic Landmarks Commission **GRANTED** Major Historic Design Review Case No. HIS16-16 subject to the following condition of approval:

Condition 1: Any new or replacement communication device(s), including but not limited to dishes, antennae and associated equipment shall not exceed the total number and cumulative size of the dishes, antennae and associated equipment currently approved for installation.



Andrew Hendrie, Chair, Historic Landmarks Commission

This Decision becomes effective on **August 9, 2016**. No work associated with this Decision shall start prior to this date unless expressly authorized by a separate permit, land use decision, or provision of the Salem Revised Code (SRC).

Application Deemed Complete:	<u>June 28, 2016</u>
Public Hearing Date:	<u>July 21, 2016</u>
Notice of Decision Mailing Date:	<u>July 22, 2016</u>
Decision Effective Date:	<u>August 9, 2016</u>
State Mandate Date:	<u>October 26, 2016</u>

The rights granted by this decision must be exercised by **August 8, 2018**, or this approval shall be null and void. A copy of the decision is attached.

NOTICE OF DECISION

PLANNING DIVISION
555 LIBERTY ST. SE, RM 305
SALEM, OREGON 97301
PHONE: 503-588-6173
FAX: 503-588-6005

CITY OF Salem
AT YOUR SERVICE

^{KF}
Case Manager: Kimberli Fitzgerald, AICP, Historic Preservation Officer
kfitzgerald@cityofsalem.net, 503.540.2397

This decision is final unless written appeal from an aggrieved party is filed with the City of Salem Planning Division, Room 305, 555 Liberty Street SE, Salem OR 97301, no later than **5:00 p.m., August 8, 2016.**

Any person who presented evidence or testimony at the hearing may appeal the decision. The notice of appeal must contain the information required by SRC 300.1020 and must state where the decision failed to conform to the provisions of the applicable code section, SRC Chapter 230. The appeal must be filed in duplicate with the City of Salem Planning Division. The appeal fee must be paid at the time of filing. If the appeal is untimely and/or lacks the proper fee, the appeal will be rejected. The Hearings Officer will review the appeal at a public hearing. After the hearing, the Hearings Officer may amend, rescind, or affirm the action, or refer the matter to staff for additional information.

The complete case file, including findings, conclusions and conditions of approval, if any, is available for review at the Planning Division office, Room 305, City Hall, 555 Liberty Street SE, during regular business hours.

<http://www.cityofsalem.net/planning>

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*Si necesita ayuda para comprender esta informacion, por favor llame
503-588-6173*

DECISION OF THE HISTORIC LANDMARKS COMMISSION

HISTORIC DESIGN REVIEW CASE NO. HIS16-33

APPLICATION NO. : 16-118830-DR

NOTICE OF DECISION DATE:

NOVEMBER 18, 2016

APPLICATION SUMMARY: A proposal to modify the existing wireless transmission facility by adding three radio heads behind existing antennas on an existing water tank (1925) and adding three radio heads to ground shelter.

REQUEST: Major historic design review of a proposal to modify the existing wireless transmission facility by adding three radio heads behind existing antennas on an existing water tank (1925) and adding three radio heads to ground shelter within the Willamette Heritage Center/ Thomas Kay Historic Park, individually listed on the National Register of Historic Places, on property zoned CR (Retail Commercial), and located at 1313 Mill Street SE, 97301; Marion County Assessor Map and Tax Lot number: 073W26BC04100.

APPLICANT: Natalie Erlund, FDH Velocitel for AT & T

LOCATION: 1313 Mill Street SE

CRITERIA: Salem Revised Code (SRC) Chapter 230.065

FINDINGS: The findings are listed in the attached staff report.

DECISION: The Historic Landmarks Commission **APPROVED** Historic Design Review Case No. HIS16-33 with the following condition of approval:

Condition 1: Any new or replacement communication device(s), including but not limited to dishes, antennas and associated equipment shall not exceed the total number and cumulative size of the dishes, antennas and associated equipment currently approved for installation.

VOTE:

Yes 5

No 0

Absent 3 (Holton, Morris, Sund)



Andrew Hendrie, Chair
Historic Landmarks Commission

This Decision becomes effective on **December 6, 2016**. No work associated with this Decision shall start prior to this date unless expressly authorized by a separate permit, land use decision, or provision of the Salem Revised Code (SRC).

NOTICE OF DECISION

PLANNING DIVISION
555 LIBERTY ST. SE, RM 305
SALEM, OREGON 97301
PHONE: 503-588-6173
FAX: 503-588-6005

CITY OF Salem
AT YOUR SERVICE

Application Deemed Complete: October 27, 2016
Public Hearing Date: November 17, 2016
Notice of Decision Mailing Date: November 18, 2016
Decision Effective Date: December 6, 2016
State Mandate Date: February 24, 2017

Case Manager: Kimberli Fitzgerald^{FF}, AICP, Historic Preservation Officer
kfitzgerald@cityofsalem.net, 503.540.2397

The rights granted by this decision must be exercised by December 6, 2018, or this approval shall be null and void. A copy of the decision is attached.

This decision is final unless written appeal from an aggrieved party is filed with the City of Salem Planning Division, Room 305, 555 Liberty Street SE, Salem OR 97301, no later than **5:00 p.m., December 5, 2016.**

Any person who presented evidence or testimony at the hearing may appeal the decision. The notice of appeal must contain the information required by SRC 300.1020 and must state where the decision failed to conform to the provisions of the applicable code section, SRC Chapter 230. The appeal must be filed in duplicate with the City of Salem Planning Division. The appeal fee must be paid at the time of filing. If the appeal is untimely and/or lacks the proper fee, the appeal will be rejected. The Hearings Officer will review the appeal at a public hearing. After the hearing, the Hearings Officer may amend, rescind, or affirm the action, or refer the matter to staff for additional information.

The complete case file, including findings, conclusions and conditions of approval, if any, is available for review at the Planning Division office, Room 305, City Hall, 555 Liberty Street SE, during regular business hours.

<http://www.cityofsalem.net/planning>