

NOTICE OF DECISION

PLANNING DIVISION
555 LIBERTY ST. SE, RM 305
SALEM, OREGON 97301
PHONE: 503-588-6173
FAX: 503-588-6005



*Si necesita ayuda para comprender esta informacion, por favor llame
503-588-6173*

DECISION OF THE PLANNING ADMINISTRATOR

HISTORIC DESIGN REVIEW CASE NO.: HIS19-41

APPLICATION NO.: 19-121051-DR

NOTICE OF DECISION DATE: DECEMBER 4, 2019

SUMMARY: A proposal to replace a window at the rear of the Weinstein House (c.1938).

REQUEST: Minor Historic Design Review of a proposal to replace a window at the rear of the Weinstein House (c.1938) a historic contributing building in the Gaiety Hill/Bushs Pasture Park Historic District in the RS (Single Family Residential) zone, and located at 775 High Street SE - 97301 (Marion County Assessor Map and Tax Lot Number: 073W27CA01600).

APPLICANT: Emily Singleton on behalf of Carroll and Ashley Cottingham

LOCATION: 755 High St SE / 97301

CRITERIA: Salem Revised Code (SRC) Chapter 230.025(g)

FINDINGS: The findings are in the attached Decision dated December 4, 2019.

DECISION: The **Historic Preservation Officer**, a Planning Administrator Designee, **APPROVED** Historic Design Review HIS19-41 based upon the application materials deemed complete on November 26, 2019 and the findings as presented in this report.

This Decision becomes effective on December 20, 2019. No work associated with this Decision shall start prior to this date unless expressly authorized by a separate permit, land use decision, or provision of the Salem Revised Code (SRC).

The rights granted by the attached decision must be exercised, or an extension granted, by December 20, 2021 or this approval shall be null and void.

Application Deemed Complete:	<u>November 26, 2019</u>
Notice of Decision Mailing Date:	<u>December 4, 2019</u>
Decision Effective Date:	<u>December 20, 2019</u>
State Mandate Date:	<u>March 25, 2020</u>

Case Manager: Kimberli Fitzgerald, kfitzgerald@cityofsalem.net, 503-540-2397

This decision is final unless written appeal from an aggrieved party is filed with the City of Salem Planning Division, Room 305, 555 Liberty Street SE, Salem OR 97301, no later than 5:00 p.m., Thursday, December 19, 2019. The notice of appeal must contain the information required by SRC 300.1020 and must state where the

decision failed to conform to the provisions of the applicable code section, SRC Chapter 230. The appeal must be filed in duplicate with the City of Salem Planning Division. The appeal fee must be paid at the time of filing. If the appeal is untimely and/or lacks the proper fee, the appeal will be rejected. The Historic Landmarks Commission will review the appeal at a public hearing. After the hearing, the Historic Landmarks Commission may amend, rescind, or affirm the action, or refer the matter to staff for additional information.

The complete case file, including findings, conclusions and conditions of approval, if any, is available for review at the Planning Division office, Room 305, City Hall, 555 Liberty Street SE, during regular business hours.

<http://www.cityofsalem.net/planning>

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503-588-6173*

BEFORE THE PLANNING ADMINISTRATOR OF THE CITY OF SALEM

**HISTORIC DESIGN REVIEW CASE NO. HIS19-41
DECISION**

**IN THE MATTER OF APPROVAL OF) MINOR HISTORIC DESIGN REVIEW
HISTORIC DESIGN REVIEW)
CASE NO. HIS19-41)
755 HIGH STREET SE) DECEMBER 4, 2019**

In the matter of the application for a Minor Historic Design Review submitted by Emily Singleton on behalf of Carroll and Ashley Cottingham, the Historic Preservation Officer (a Planning Administrator Designee), having received and reviewed evidence and the application materials, makes the following findings and adopts the following order as set forth herein.

REQUEST

SUMMARY: A proposal to replace a window at the rear of the Weinstein House (c.1938).

REQUEST: Minor Historic Design Review of a proposal to replace a window at the rear of the Weinstein House (c.1938) a historic contributing building in the Gaiety Hill/Bush's Pasture Park Historic District in the RS (Single Family Residential) zone, and located at 775 High Street SE - 97301 (Marion County Assessor Map and Tax Lot Number: 073W27CA01600).

A vicinity map illustrating the location of the property is attached hereto, and made a part of this decision (**Attachment A**).

DECISION

APPROVED based upon the application materials deemed complete on November 26, 2019 and the findings as presented in this report.

FINDINGS

1. Minor Historic Design Review Applicability

SRC230.020(f) requires Historic Design Review approval for any alterations to historic resources as those terms and procedures are defined in SRC 230. The Planning Administrator shall render a decision supported by findings that explain conformance or lack thereof with relevant design standards, state the facts relied upon in rendering the decision, and explain justification for the decision.

2. Analysis of Minor Historic Design Review Approval Criteria

Finding: The applicant is proposing to replace and enlarge a basement level window and install a new window well at the rear (western façade) of the Weinstein House in order to provide adequate egress and meet applicable Building and Safety codes (**Attachment B**). The existing window is 2' 10" wide by 1' 6" tall and does not meet the standards for egress in this location. The proposed new window is a wood sash 48" x 48" (Siteline EX pine) slider. The associated new window well is one piece rigid molded fiberglass composite (Rockwell) that has the appearance of stone. This well will extend 6' 8" adjacent to the existing basement wall, with 3' 8" below the bottom sill of the proposed new window to the concrete slab that will be installed at the base of the window well. The existing grade is approximately 4' 10" above the basement floor.. Staff determined that the following standards from SRC 230.025(g) *Standards for Contributing Resources in Residential Historic Districts, Alterations and Additions* are applicable to this project.

FINDINGS:

Criteria: 230.025(g) Alterations and Additions.

(1) Materials.

(A) *Building materials shall be of traditional dimensions.*

Finding: The applicant is proposing to install a new window which will be comprised of a wood frame and sash of traditional dimensions. Staff finds that this standard has been met.

(B) *Material shall be of the same type, quality and finish as original material in the building.*

Finding: The applicant is proposing a new replacement window to be of wood, which is the same type, quality and finish as the original window material in the resource. Staff finds that this standard has been met.

(C) *New masonry added to a building shall, to the greatest degree possible, match the color, texture and bonding pattern of the original masonry.*

Finding: The applicant is proposing to install a new window well adjacent to the resource, the well will be comprised of rigid composite that has the exterior appearance of stone. While this material is new and the Weinstein house is not constructed of architectural materials that include historic masonry, this material is compatible with the resource.

(D) *For those areas where original material must be disturbed, original material shall be retained to the maximum extent possible.*

Finding: In order to meet the applicable building code the applicant must replace the existing window (2'10" wide by 1" 6" tall) with one that is larger in size (48" x 48"). While original siding and this window will be lost, this window is located at the rear of the resource, not visible from the right of way, minimizing the adverse effect to the resource. Staff finds that this standard has been met.

(2) Design.

(A) *Be located at the rear, or on an inconspicuous side, of the building.*

Finding: The proposed new window will be installed on a secondary façade, at the rear of the Weinstein House. Additionally, the existing grade is approximately 4' 10" above the basement floor, and the majority of the proposed new window and window well will be below grade and the proposed alteration will be minimally visible. Staff finds that this standard has been met.

(B) *Be designed and constructed to minimize changes to the building.*

Finding: The applicant is proposing to replace an existing basement level window with a new window that meets the applicable building code for egress. This window is located at the rear of the resource, and therefore not visible from the right of way. No alterations are proposed to the primary façade or any character defining features of the resource. Staff finds that this standard has been met.

(C) *Be limited in size and scale such that a harmonious relationship is created in relationship to the original building.*

Finding: The proposed window and window well are compatible with the Weinstein House and located on a secondary façade of the resource. Staff finds that this standard has been met.

(D) *Be designed and constructed in a manner that significant historical, architectural or cultural features of the building are not obscured, damaged, or destroyed.*

Finding: The proposed new window and window well will be installed so that no significant architectural features of the resource will be obscured, damaged, or destroyed by the proposal. Staff finds that this standard has been met.

(E) *Be designed to be compatible with the size, scale, material, and character of the building, and the district generally.*

Finding: The proposed window and window well are compatible with the Weinstein House and located on a secondary façade of the resource. Staff finds that this standard has been met.

(F) *Not destroy or adversely impact existing distinctive materials, features, finishes and construction techniques or examples of craftsmanship that are part of the building.*

Finding: The proposed window replacement will result in the removal of an existing window and the enlargement of a window opening. However, a majority of the alterations extend below grade, and are located on the rear façade of the resource. No distinctive materials, features, or significant examples of craftsmanship will be adversely affected by the proposal. Staff finds that this standard has been met.

(G) *Be constructed with the least possible loss of historic materials.*

Finding: The historic materials required to be removed will be limited to the 2'10" wide by 1'6" window, and the removal of siding needed to accommodate the new window opening and associated window well extending along the existing basement wall. The proposed new window will be installed at the rear the resource, minimizing any impact to historic materials. Staff finds that this standard has been met.

(H) *Not create a false sense of historical development by including features that would appear to have been part of the building during the period of significance but whose existence is not supported by historical evidence.*

Finding: The applicant's proposed new wood slider window and associated concrete window well are clearly new, and does not create a false sense of historical development as it does not appear to have been part of the original structure historically. Staff finds that this standard has been met.

(I) *Be designed in a manner that makes it clear what is original to the building and what is new.*

Finding: The applicant's proposed new window, while of a compatible material and design is a modern wood slider window, and clearly new. The window well, a rigid molded fiberglass composite is also clearly new, but with the appearance of stone is compatible with the resource. Staff finds that this standard has been met.

(J) *Be designed to reflect, but not replicate, the architectural styles of the period of significance.*

Finding: The proposed new window does not replicate the window types found throughout the Weinstein House, but instead is reflects a new addition to the resource with simple slider style that is clearly modern, yet compatible, therefore staff finds that this standard has been met.

(K) *Preserve features of the building that has occurred over time and has attained significance in its own right.*

Finding: The applicant is not proposing to alter any features that have acquired significance over time. Staff finds that this standard is not applicable to the evaluation of this proposal.

(L) *Preserve distinguishing original qualities of the building and its site.*

Finding: While the applicant is proposing to remove a small basement window at the rear of the resource, this window is not significant or character defining. The applicant is not proposing to significantly alter any distinguishing original qualities of the resource or the site, therefore staff finds that this standard has been met.

DECISION

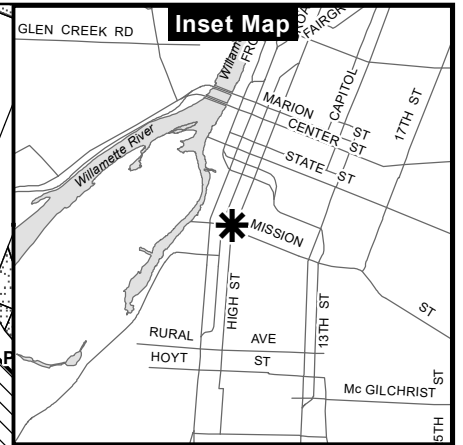
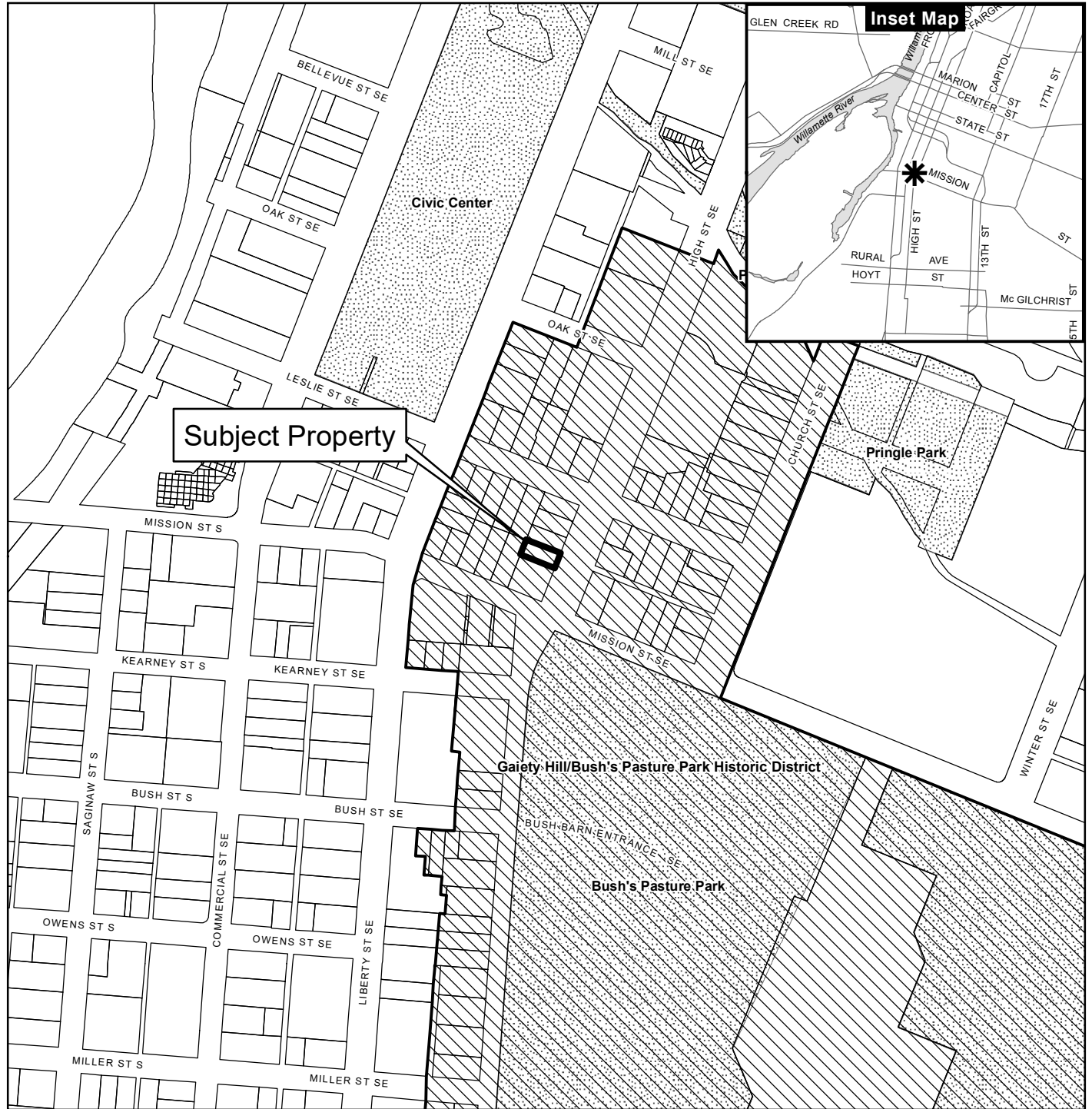
Based upon the application materials deemed complete on November 26, 2019 and the findings as presented in this report, the application for HIS19-41 is **APPROVED**.



Kimberli Fitzgerald, AICP
Historic Preservation Officer
Planning Administrator Designee

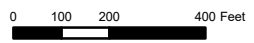
Attachments: A. Vicinity Map
C. Historic Documents
B. Applicant's Submittal Materials

Vicinity Map 755 High St SE



Legend

- Taxlots
- Urban Growth Boundary
- City Limits
- Outside Salem City Limits
- Historic District
- Schools
- Parks



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40. French Renaissance Residence, 755 High Street SE SECONDARY
Assessor's Map 27CA073W 073W-27CA-01600; Tax Lot 1-84870-150
Owner: Wilmar A. & Karen L Kohne, 490 Oak Street SE, Salem, OR 97301

Description: French Renaissance - Ca. 1938; a one and one-half story square wood frame structure with multiple gables and steeply pitched roof of composition shingles. There is an exterior chimney. The structure has bevel siding. In the front there are two casement windows in plain trim--one 24 pane and the other is 16 pane. The upper story features a rectangular six pane casement window and a rectangular vent, each with plain trim and a triangular pediment over them. There is also a six-over-six double hung sash with plain trim. The structure has a one-bay entrance porch.

Long-Time Grocer Buys Apparel Shop in Salem

Harold T. Busick, 1534 Court St. NE, long-time Salem grocer, Wednesday announced the purchase of United Shirt Shop at 115 Liberty St. NE.

Present owner, Arthur Weinstein, 755 High St. SE, who opened the store on State Street 26 years ago and moved to the present location eight years ago, said he plans to retire from business life.

Busick, who with his nephew Raymond C. Busick, operates J. L. Busick & Sons grocery at 197 Commercial St. NE, said he is "still very much in the grocery business" although he will manage the clothing store and Raymond will manage the grocery store.

The Busick family has been in the grocery business in Salem since 1912 when J. L. Busick first opened a store here.



HAROLD T. BUSICK

Historic Alteration Review WorksheetSite Address: 755 High St SEResource Status: Contributing Non- Contributing Individual Landmark Type of Work Activity Proposed: Major Minor Chose One: Commercial District Individual Resource Public District
Residential District Sign **Replacement, Alteration, Restoration or Addition of:****Architectural Feature:**

- Awning
 Door
 Exterior Trim, Lintel
 Other architectural feature
 Roof/Cornice
 Masonry/Siding
 Storefront
 Window(s) Number of windows: 1

Landscape Feature:

- Fence
 Streetscape
 Other Site feature (describe)

New:

- Addition
 Accessory Structure
 Sign
 Mural
 Accessibility Ramp
 Energy Improvements
 Mechanical Equipment
 Primary Structure

Will the proposed alteration be visible from any public right-of-way? Yes NoProject's Existing Material: See below Project's New Material: See below**Project Description**

Briefly provide an overview of the type of work proposed. Describe how it meets the applicable design criteria in SRC Chapter 230. Please attach any additional information (i.e., product specification sheets) that will help staff and the HLC clearly understand the proposed work:

Project involves the installation of a new 48"x48" egress window in an existing 6'-8" basement wall, new window well, and Dry Track drainage system at the interior of the basement. There is currently a 2'-10" wide by 1'-6" tall existing window located in the intended location of the new window. Existing grade is approximately 4'-10" above basement floor. New header and supporting king/jack studs is to frame out new window opening and support existing floor/wall/roof loads from above.

Signature of Applicant

Date Submitted/Signed



Western Pacific Building Materials
 Jeff Davis
 2805 NW 31st Ave
 Portland, OR 97210



QUOTE BY : Jeff Davis
SOLD TO : terra firma
PO# :
Ship Via : Ground

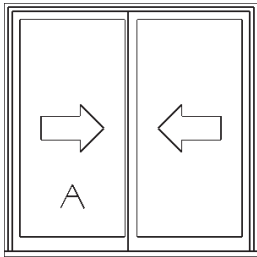
QUOTE # : JW191100FG3 - Version 0
SHIP TO :
PROJECT NAME :
REFERENCE :

U-Factor Weighted Average: 0.29

SHGC Weighted Average: 0.2

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
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Line 1
 Rough Opening : 46 3/4 X 46 3/4



Viewed from Exterior. Standard

Frame Size : 46 X 46
 (Outside Casing Size: 48 5/8 X 47 11/16),
 Sitrine EX Wood Sliding Window, Auralast Pine,
 Primed Exterior,
 Primed Interior,
 Brickmould, Standard Sill Nosing, DripCap, Brilliant White Drip Cap,
 4 9/16 Jamb,
 Left Hand ,
 White Hardware,
 US National-WDMA/ASTM, PG 30,
 Insulated Low-E 366 Annealed Glass, Protective Film, Black Spacer, Argon
 Filled, Traditional Glz Bd,
 BetterVue Mesh Brilliant White Screen,
 Custom-Width, *Custom-Height*, GlassThick=0.756, Clear Opening:20w,
 42h, 5.8 sf
 U-Factor: 0.30, SHGC: 0.21, VLT: 0.48, CPD: JEL-N-337-01214-00001
 PEV 2019.3.0.2677/PDV 6.281 (09/16/19)NW



TERRAFIRMA FOUNDATION SYSTEMS
 COTTINGHAM RESIDENCE EGRESS WINDOW
 755 HIGH STREET SE
 SALEM, OR 97301

SITE PLAN

REVISIONS	

PROJECT NO: TF19-138
 DESIGNED BY: MEK
 DRAWN BY: MEK
 CHECKED BY: CVR, JLD
 DATE: 09-18-2019

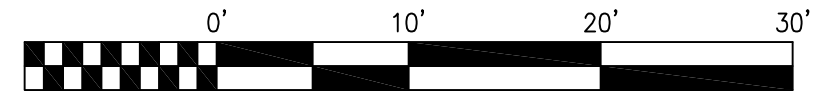
SHEET NO:
S1.0

PROJECT DATA

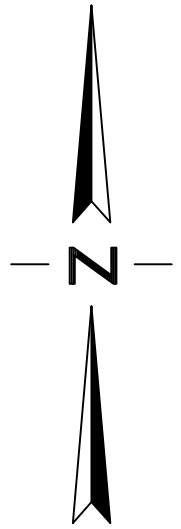
- PROJECT DESCRIPTION: INSTALLATION OF EGRESS WINDOW
- PROJECT ADDRESS: 755 HIGH ST SE, SALEM, OR 97301
- COUNTY: MARION COUNTY
- PARCEL NO: 073W27CA01600
- BUILDING CODE: 2015 IBC, 2015 IRC, 2014 OSSC & 2017 ORSC
- ZONING CODE: 2019 SALEM ZONING CODE
- ZONING: SINGLE FAMILY RESIDENTIAL (RS)
- SITE AREA: 4400 SF
- LOT DIMENSIONS: AS SHOWN
- EXISTING BUILDING FOOTPRINT: 900 SF ((2) STORIES)

SITE PLAN NOTES

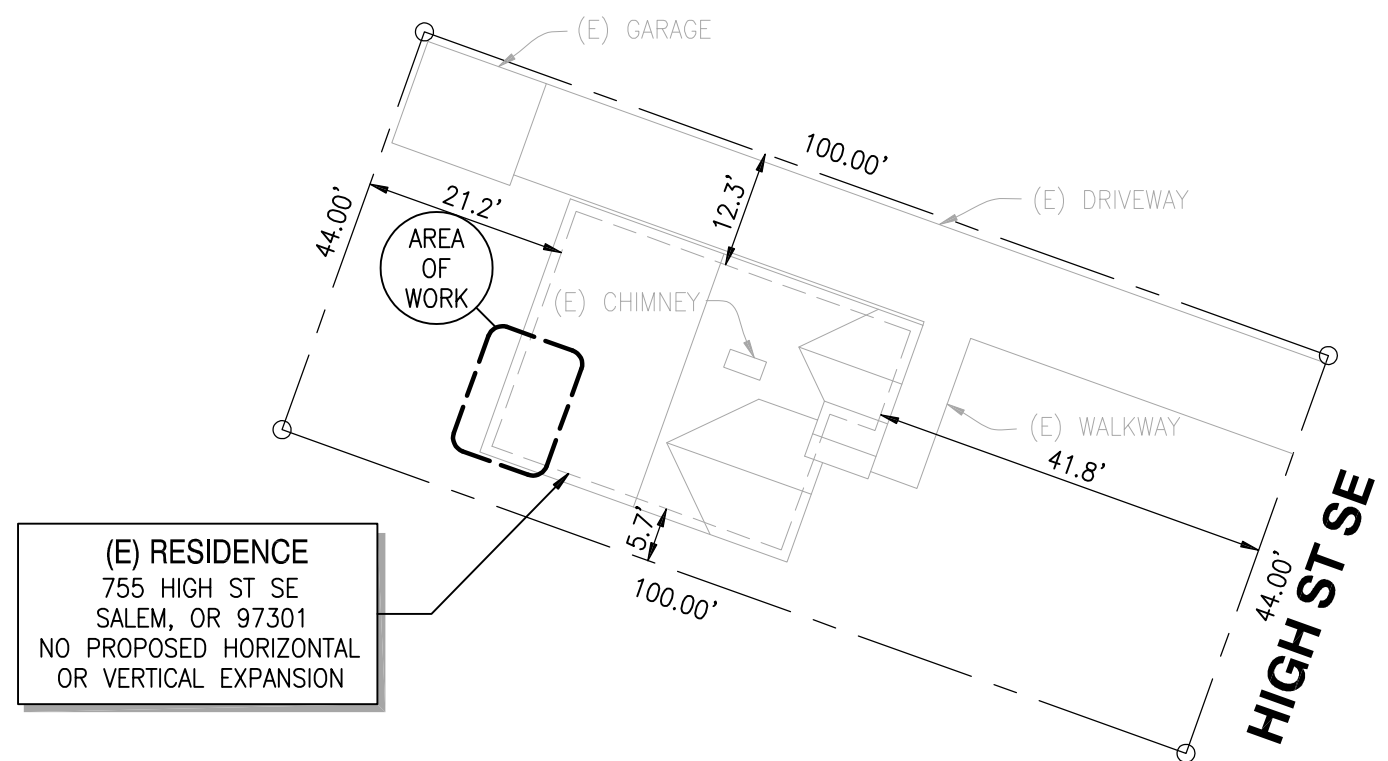
1. ALL WORK AND MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF SALEM DESIGN STANDARDS.
2. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES BEFORE STARTING CONSTRUCTION.
3. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, CITY OF SALEM 24 HOURS BEFORE STARTING CONSTRUCTION OR RESUMING WORK AFTER SHUTDOWNS, EXCEPT FOR NORMAL RESUMPTION OF WORK FOLLOWING SUNDAYS OR HOLIDAYS.
4. THE CONTRACTOR SHALL ASSIST THE ENGINEER IN PREPARING AS-CONSTRUCTED DRAWINGS.
5. SUBCONTRACTOR TO SPECIFY LOCATIONS OF UTILITY STUBS.



SCALE: 1"=10'-0"



SITE PLAN



(E) RESIDENCE
 755 HIGH ST SE
 SALEM, OR 97301
 NO PROPOSED HORIZONTAL
 OR VERTICAL EXPANSION

1. GENERAL STRUCTURAL NOTES:
REFER TO SUBSEQUENT PLAN AND DETAIL NOTES FOR VARIATIONS AND REQUIREMENTS SPECIFIC TO REFERENCED PROJECT.

NOTES ON DRAWINGS TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES.

2. DESIGN CRITERIA:

BUILDING CODE CONFORMANCE (MEETS OR EXCEEDS REQUIREMENTS):

- 2015 INTERNATIONAL BUILDING CODE (IBC)
- 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)
- 2014 OREGON STRUCTURAL SPECIALTY CODE (OSSC)
- 2017 OREGON RESIDENTIAL SPECIALTY CODE (ORSC)

DEAD LOADS:

- ROOF DEAD LOAD 15 PSF
- FLOOR DEAD LOAD 15 PSF
- WALL DEAD LOAD (WOOD) 12 PSF
- CONCRETE 150 PCF

LIVE LOADS:

- ROOF SNOW LOAD 25 PSF
- FLOOR LIVE LOAD (RESIDENTIAL) 40 PSF

3. MATERIALS:

STEEL ANGLE SHAPES – ASTM A36
(MIN YIELD STRESS, $F_y = 36$ KSI / MIN TENSILE STRESS, $F_u = 58$ KSI)

4. WELDING NOTES:

CONFORM TO AWS D1.1. WELDERS SHALL BE CERTIFIED IN ACCORDANCE WITH AWS REQUIREMENTS. USE E70 ELECTRODES OF TYPE REQUIRED FOR MATERIALS TO BE WELDED.

5. CORROSION PROTECTION:

SACRIFICIAL DESIGN THICKNESS – CAPACITIES INCLUDE A SCHEDULED LOSS IN STEEL THICKNESS DUE TO CORROSION FOR BLACK, UNCOATED STEEL. ANCHORS ARE DESIGNED FOR 50-YEAR SCHEDULED SACRIFICIAL THICKNESS LOSS IN ACCORDANCE WITH ICC-ES AC308.

6. EXISTING UTILITY LINES:

CONTRACTOR TO REPAIR UTILITY LINES THAT MAY BE DAMAGED DURING INSTALLATION.

7. IBC CODE:

SECTION R310 EMERGENCY ESCAPE AND RESCUE OPENINGS:

R310.1 EMERGENCY ESCAPE AND RESCUE OPENING REQUIRED.

BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS, AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE REQUIRED IN EACH SLEEPING ROOM. EMERGENCY ESCAPE AND RESCUE OPENING SHALL OPEN DIRECTLY IN A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY.

R310.2.3 WINDOW WELLS.

THE HORIZONTAL AREA OF THE WINDOW WELL SHALL BE NOT LESS THAN 9 SQUARE FEET (0.9 METERS SQUARE), WITH A HORIZONTAL PROJECTION AND WIDTH OF NOT LESS THAN 36 INCHES (915 MM) THE AREA OF THE WINDOW WELL SHALL ALLOW EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED.

R310.2.3.1 LADDER AND STEPS.

WINDOW WELLS WITH A VERTICAL DEPTH GREATER THEN 44 INCHES (1118MM) SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH THE WINDOW IN THE FULLY OPEN POSITION. LADDERS OR STEPS REQUIRED BY THIS SECTION SHALL NOT BE REQUIRED TO COMPLY WITH SECTION R311.7 AND R311.8. LADDERS OR RUNGS SHALL HAVE AN INSIDE WIDTH OF NOT LESS THAN 12 INCHES (305MM), SHALL PROJECT NOT LESS THAN 3 INCHES (76MM) FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18 INCHES (457MM) ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL.

R310.2.3.2 DRAINAGE.

WINDOW WELLS SHALL BE DESIGNED FOR PROPER DRAINAGE BY CONNECTING TO THE BUILDING'S FOUNDATION DRAINAGE SYSTEM REQUIRED BY SECTION R405.1 OR BY AN APPROVED ALTERNATIVE METHOD.

R310.1.1 OPERATIONAL CONSTRAINTS AND OPENING CONTROL DEVICES.

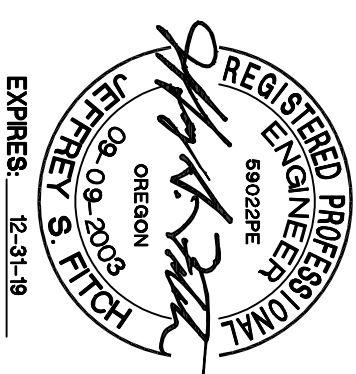
EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. WINDOW OPENING CONTROL DEVICES COMPLYING WITH ASTM F 2090 SHALL BE PERMITTED FOR USE ON WINDOWS SERVING AS A REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING.

R310.2.1 MINIMUM OPENING AREA.

EMERGENCY AND ESCAPE RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET (0.530 METERS SQUARE). THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE. THE NET CLEAR HEIGHT OPENING SHALL BE NOT LESS THAN 24 INCHES (610MM) AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20 INCHES (508MM).

R310.2.2 WINDOW SILL HEIGHT.

WHERE A WINDOW IS PROVIDED AS THE EMERGENCY ESCAPE AND RESCUE OPENING, IT SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES (1118 MM) ABOVE THE FLOOR, WHERE THE SILL HEIGHT IS BELOW GRADE, IT SHALL BE PROVIDED WITH A WINDOW WELL IN A ACCORDANCE WITH SECTION R310.2.3



TERRAFIRMA FOUNDATION SYSTEMS
COTTINGHAM RESIDENCE EGRESS WINDOW
755 HIGH STREET SE
SALEM, OR 97301

GENERAL NOTES

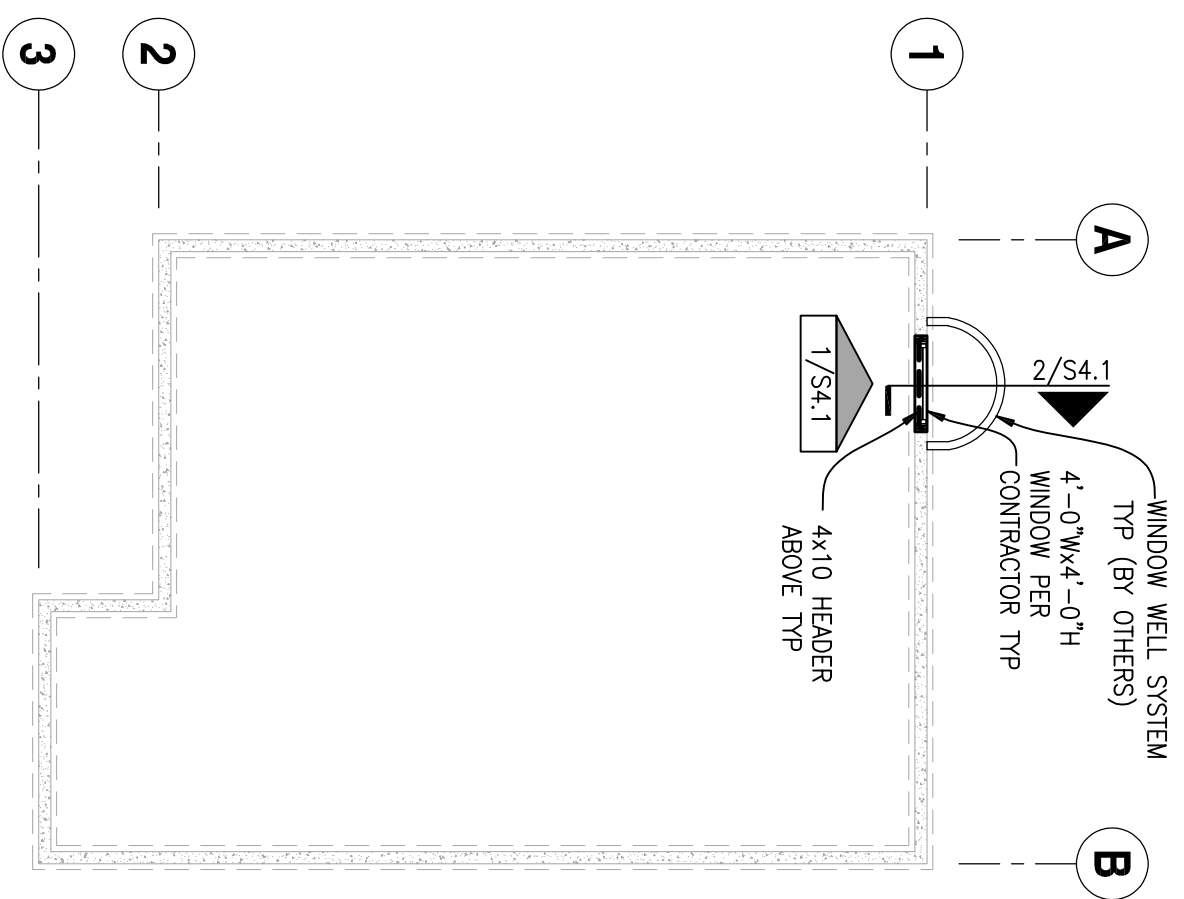
REVISIONS

NO.	DESCRIPTION

PROJECT NO:
TF19-138
DESIGNED BY:
MEK
DRAWN BY:
MEK
CHECKED BY:
CVR, JLD
DATE:
09-18-2019

SHEET NO:

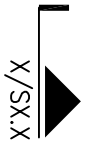
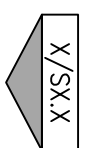
S1.1

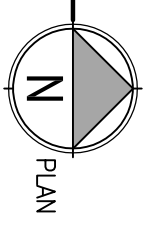


(E) FOUNDATION/(N) EGRESS WINDOW

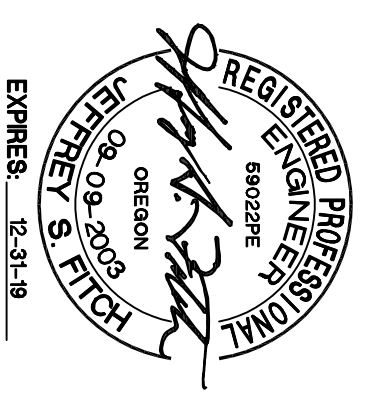
SCALE: 1/8"=1'-0"

(E) FOUNDATION/(N) EGRESS WINDOW LAYOUT PLAN NOTES:

1. REFERENCE S1.1 FOR GENERAL REQUIREMENTS
2. CONTRACTOR TO NOTIFY ENGINEER OF RECORD OF DISCREPANCIES BETWEEN FIELD CONDITIONS & THOSE SHOWN IN THESE DOCUMENTS PRIOR TO CONSTRUCTION/INSTALLATION OF EGRESS WINDOWS TYP
3. INDICATES (E) CONC WALL ON (E) CONC FOOTING (CONTRACTOR TO VERIFY 6"Wx8'-0"H (E) CONC WALL AND 1'-0"Wx10"DP (E) CONC FOOTING MIN TYP (NOTIFY ENGINEER OF RECORD IF FIELD CONDITIONS DIFFER))
4. SECTION CUT – DETAIL NUMBER/SHEET NUMBER

5. ELEVATION CALLOUT – DETAIL NUMBER/SHEET NUMBER

6. EGRESS WINDOW MUST HAVE A CLEAR OPENING A MINIMUM OF 20" WIDE x 24" HIGH AND WITH SUFFICIENT DIMENSIONS TO RESULT IN A MINIMUM CLEAR OPENING OF 5.7 SQ. FT.



7. A WINDOW W/ ONLY MINIMUM WIDTH & MINIMUM HEIGHT DOES NOT MEET THE MINIMUM AREA REQUIREMENT
8. ALL SIMPSON HARDWARE IN CONTACT WITH PRESSURE TREATED LUMBER, CONCRETE OR MASONRY SHALL HAVE "ZMAX" COATING PER MANUF, TYP
9. REPLACE "IN-KIND" ALL (E) WOOD MEMBERS (JOISTS, PURLINS, SUBPURLINS, SHEATHING, STUDS, WALL PLATES) WHICH SHOW SIGNS OF DRY ROT OR STRUCTURAL DAMAGE
10. WORK SHOWN IN THESE DOCUMENTS REPRESENTS A VOLUNTARY UPGRADE TO THE STRUCTURE FROM BOTTOM OF THE FIRST FLOOR DIAPHRAGM LEVEL TO TOP OF CONCRETE FOUNDATION
11. ALL DIMENSIONAL LUMBER TO BE DF/L #2 OR BETTER
12. ALL WOOD EXPOSED TO CONCRETE, WEATHER, OR WITHIN 6" OF FINISH GRADE SHALL BE PRESSURE-TREATED
13. ALL CONSTRUCTION MATERIALS ON PLANS, ELEVATIONS & DETAILS ARE (N) UNO

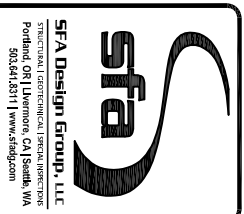


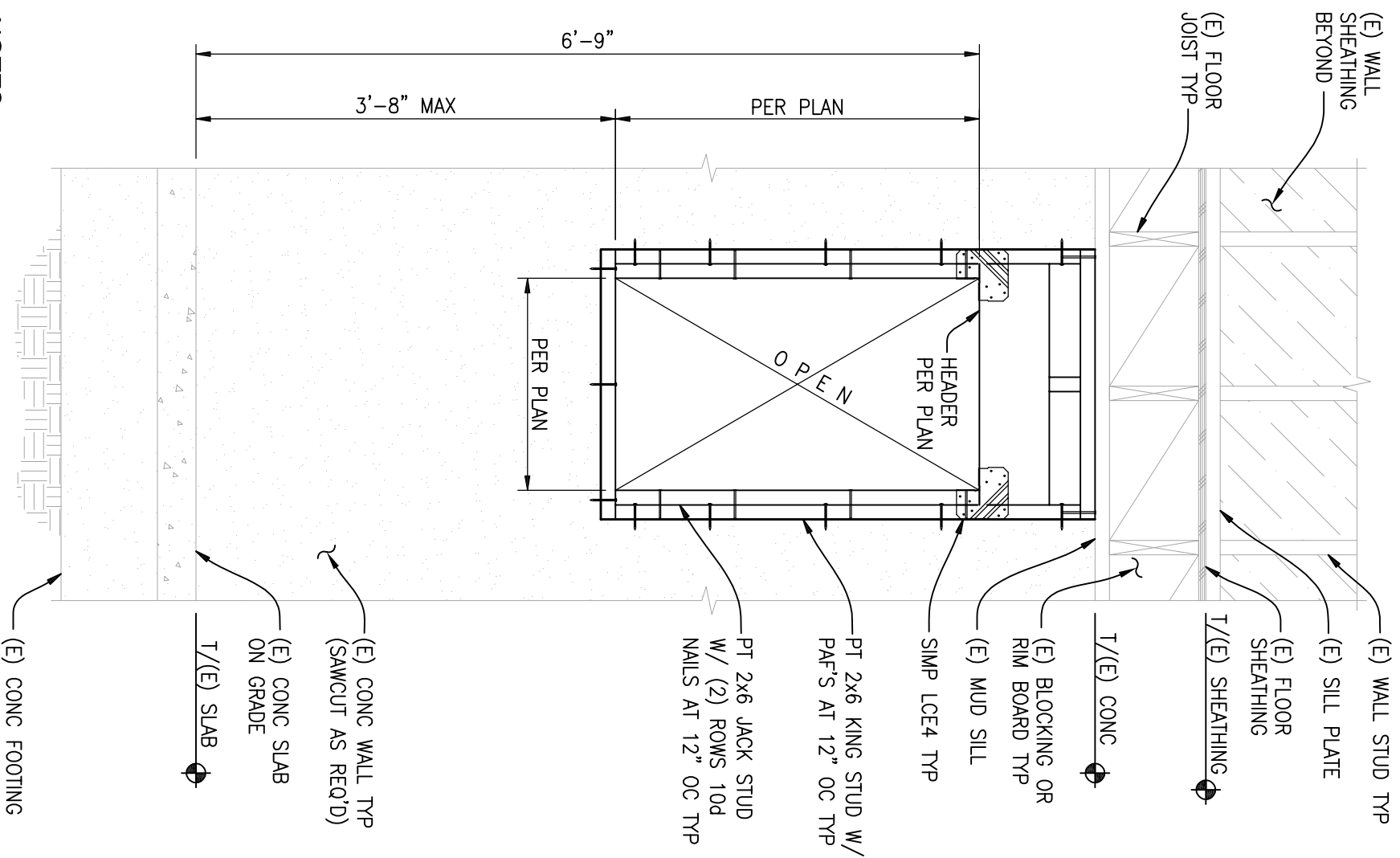
TERRAFIRMA FOUNDATION SYSTEMS
 COTTINGHAM RESIDENCE EGRESS WINDOW
 755 HIGH STREET SE
 SALEM, OR 97301

REVISIONS

PROJECT NO: TF19-138
DESIGNED BY: MEK
DRAWN BY: MEK
CHECKED BY: CVR, JLD
DATE: 09-18-2019

SHEET NO:
S2.1





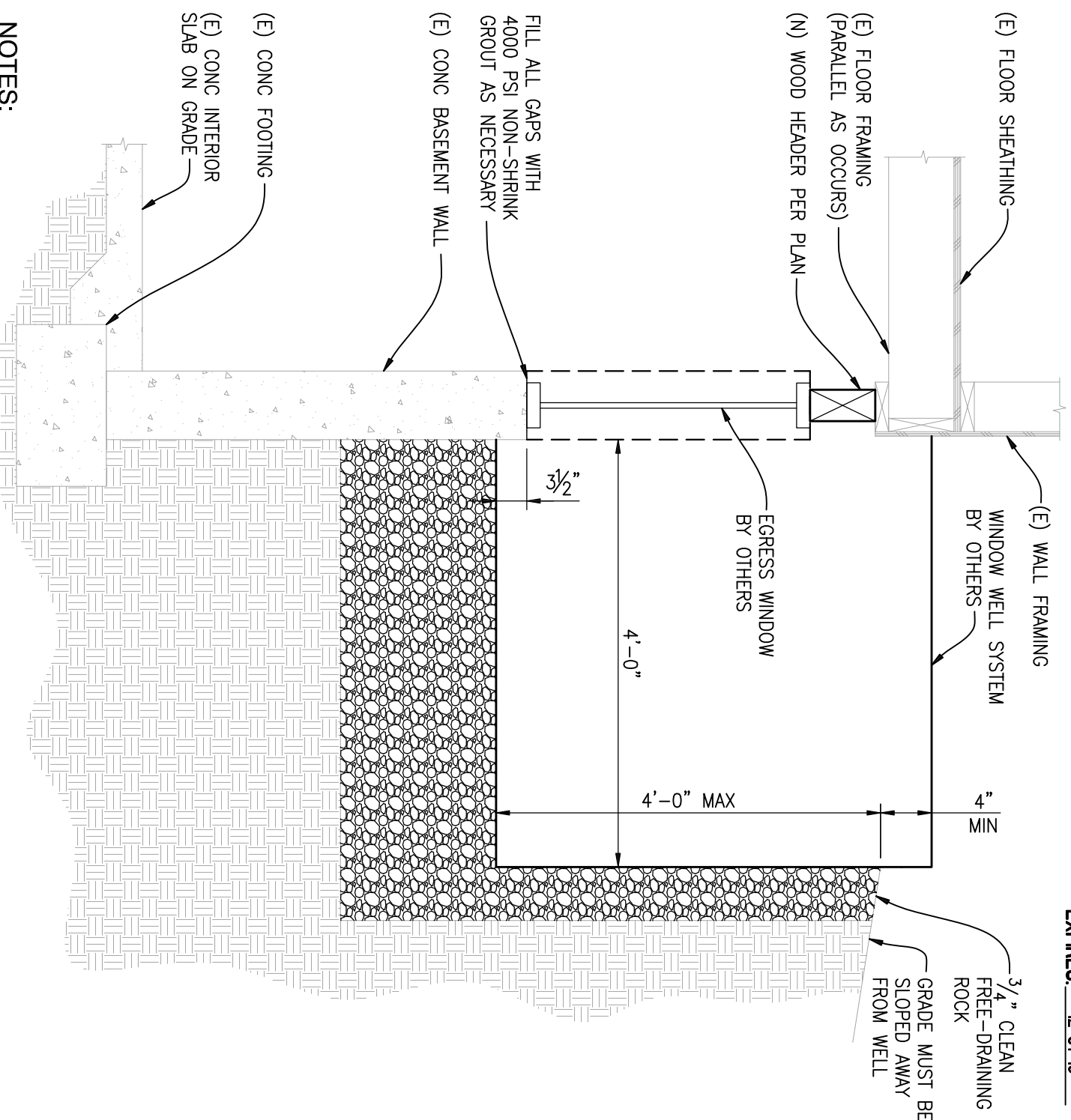
NOTES:

1. CONTRACTOR SHALL ENSURE 5.7 SQ/FT MIN CLR OPENING
2. CONTRACTOR RESPONSIBLE FOR TEMPORARY SHORING

EGRESS WINDOW FRAMING ELEVATION

SCALE: 3/4"=1'-0"

1



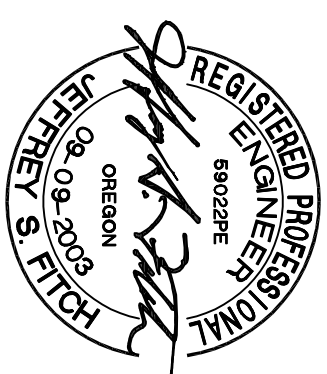
NOTES:

- REF 1/S4.1 FOR ADDITIONAL INFORMATION

EGRESS WINDOW DETAIL

SCALE: 3/4"=1'-0"

2



TERRAFIRMA FOUNDATION SYSTEMS
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EGRESS WINDOW DETAILS

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