

# NOTICE OF DECISION

PLANNING DIVISION  
555 LIBERTY ST. SE, RM 305  
SALEM, OREGON 97301  
PHONE: 503-588-6173  
FAX: 503-588-6005



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503-588-6173*

## DECISION OF THE PLANNING ADMINISTRATOR

**HISTORIC DESIGN REVIEW CASE NO.:** HIS19-49

**APPLICATION NO.:** 19-123677-DR

**NOTICE OF DECISION DATE:** NOVEMBER 4, 2019

**SUMMARY:** A proposal to install a ductless heat pump system on the exterior of the Textile Mill Building (c. 1895).

**REQUEST:** Minor Historic Design Review of a proposal to install a ductless heat pump system on the exterior of the northern facade of the Textile Mill Building (c. 1895), a historic contributing building and individually listed National Register historic resource located at the Willamette Heritage Center, and located at 1313 Mill Street SE - 97301 (Marion County Assessor Map and Tax Lot Number: 073W26BC04100).

**APPLICANT:** Sean O'Harra on behalf of the Willamette Heritage Center

**LOCATION:** 1313 Mill St SE / 97301

**CRITERIA:** Salem Revised Code (SRC) Chapter 230.040(j)

**FINDINGS:** The findings are in the attached Decision dated December 4, 2019.

**DECISION:** The **Historic Preservation Officer**, a Planning Administrator Designee, **APPROVED** Historic Design Review HIS19-49 based upon the application materials deemed complete on November 26, 2019 and the findings as presented in this report.

*This Decision becomes effective on December 20, 2019. No work associated with this Decision shall start prior to this date unless expressly authorized by a separate permit, land use decision, or provision of the Salem Revised Code (SRC).*

The rights granted by the attached decision must be exercised, or an extension granted, by December 20, 2021 or this approval shall be null and void.

Application Deemed Complete:	<u>November 26, 2019</u>
Notice of Decision Mailing Date:	<u>December 4, 2019</u>
Decision Effective Date:	<u>December 20, 2019</u>
State Mandate Date:	<u>March 25, 2020</u>

Case Manager: Kimberli Fitzgerald, [kfitzgerald@cityofsalem.net](mailto:kfitzgerald@cityofsalem.net), 503-540-2397

This decision is final unless written appeal from an aggrieved party is filed with the City of Salem Planning Division, Room 305, 555 Liberty Street SE, Salem OR 97301, no later than 5:00 p.m., Thursday, December 19, 2019. The notice of appeal must contain the information required by SRC 300.1020 and must state where the

decision failed to conform to the provisions of the applicable code section, SRC Chapter(s) 230. The appeal must be filed in duplicate with the City of Salem Planning Division. The appeal fee must be paid at the time of filing. If the appeal is untimely and/or lacks the proper fee, the appeal will be rejected. The Historic Landmarks Commission will review the appeal at a public hearing. After the hearing, the Historic Landmarks Commission may amend, rescind, or affirm the action, or refer the matter to staff for additional information.

The complete case file, including findings, conclusions and conditions of approval, if any, is available for review at the Planning Division office, Room 305, City Hall, 555 Liberty Street SE, during regular business hours.

<http://www.cityofsalem.net/planning>

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**BEFORE THE PLANNING ADMINISTRATOR OF THE CITY OF SALEM**

**HISTORIC DESIGN REVIEW CASE NO. HIS19-49  
DECISION**

**IN THE MATTER OF APPROVAL OF ) MINOR HISTORIC DESIGN REVIEW  
HISTORIC DESIGN REVIEW )  
CASE NO. HIS19-49 )  
1313 MILL STREETSE )  
) December 4, 2019**

In the matter of the application for a Minor Historic Design Review submitted by Sean O’Harra on behalf of the Willamette Heritage Center, the Historic Preservation Officer (a Planning Administrator Designee), having received and reviewed evidence and the application materials, makes the following findings and adopts the following order as set forth herein.

**REQUEST**

**SUMMARY:** A proposal to install a ductless heat pump system on the exterior of the Textile Mill Building (c. 1895).

**REQUEST:** Minor Historic Design Review of a proposal to install a ductless heat pump system on the exterior of the northern facade of the Textile Mill Building (c. 1895), a historic contributing building and individually listed National Register historic resource located at the Willamette Heritage Center, and located at 1313 Mill Street SE - 97301 (Marion County Assessor Map and Tax Lot Number: 073W26BC04100).

A vicinity map illustrating the location of the property is attached hereto, and made a part of this decision (**Attachment A**).

**DECISION**

**APPROVED** based upon the application materials deemed complete on November 26, 2019 and the findings as presented in this report.

**FINDINGS**

1. Minor Historic Design Review Applicability

SRC230.020(f) requires Historic Design Review approval for any alterations to historic resources as those terms and procedures are defined in SRC 230. The Planning Administrator shall render a decision supported by findings that explain conformance or lack thereof with relevant design standards, state the facts relied upon in rendering the decision, and explain justification for the decision.

## 2. Analysis of Minor Historic Design Review Approval Criteria

**Finding:** The applicant is proposing to install a new 9000 BTU Mitsubishi ductless heat pump to the exterior of the southern façade of the Textile Mill Building. The heat pump is comprised of an outdoor and an indoor unit. The outdoor unit is metal, approximately 31 7/16" x 9 1/8" x 11 5/8" in size and will be located on the ground, adjacent to the southern façade of the Textile Mill Building at the base of the stairs, approximately 3' to the south of the building's ground floor. The outdoor unit is connected to the upstairs indoor unit by a PVC line cover that will be painted to match the exterior color of the Mill Building and will run from the unit at the base of the stairs up along the stairs to the south and then stretching along about 3' to the southwest corner of the building at the top of the stairs. The line will run up approximately 3' to the base of the second story, and then extend approximately 10 feet where the line will go through an existing pipe already existing within this exterior wall in order to be attached to the indoor unit. **(Attachment B).**

**230.080 Individually Listed Resources.** Historic preservation activity on an individually listed resource shall comply with the standards for historic contributing buildings for the type of resource. The Thomas Kay Woolen Mill's Textile Building is within the Thomas Kay Historic Park, individually-listed on the National Register of Historic Places and located within a Commercial zone (CR, Retail Commercial); therefore, staff determined that the following standards from SRC 230.040(j) *Standards for Contributing Resources in Commercial Historic Districts, Mechanical Equipment and Service Areas* are applicable to this project.

### **FINDINGS:**

**230.040(j) Mechanical Equipment and Service Areas.** *Addition and replacement of mechanical equipment, including, but not limited to heating and cooling systems, solar panels and telecommunications equipment, and service areas including, but not limited to dumpster enclosures, is permitted.*

**(1) Materials.** *Materials shall be harmonious in type, color, scale, texture and proportions with the building and the district generally.*

**Finding:** The proposed new HVAC and associated equipment are metal, this is a material commonly found throughout the Textile building and the surrounding site, thereby meeting SRC 230.040(j)(1).

**(2) Design.**

**(A) Mechanical equipment and service areas should be located out of public view and designed as an integral part of the overall building design.**

**Finding:** The proposed new HVAC equipment is located at the base of the stairs adjacent to the southwest corner of the Textile Mill Building, set back from the building, and not easily visible, thereby meeting SRC 230.040(j)(2)(A).

**(B) Mechanical equipment and service areas should be placed at the rear of the**

***building, recessed on the roof of the building, or screened by appropriate fencing.***

**Finding:** The proposed new HVAC equipment will be placed on ground, adjacent to the Textile Mill Building, screened from view, thereby meeting SRC 230.040(j)(2)(B).

***(C) Low-profile mechanical units and elevator shafts may be placed on rooftops if they are not visible from the street, or set back and screened from view.***

**Finding:** The proposed new HVAC equipment is placed on the ground at the foot of the stairs, set back from the Textile Mill Building, screened from view and not easily visible from the right of way. The applicant is not proposing any alterations to the roof therefore SRC 230.040(j)(2)(C) is not applicable to the evaluation of this proposal.

***(D) Solar panels should have low profiles and not be visible from right-of-way, other than alleys, and shall be installed in a manner that minimizes damage to historic materials.***

**Finding:** The applicant is not proposing new solar panels, therefore this standard is not applicable to the evaluation of this proposal.

***(E) Skylights shall be flat and shall not alter the existing profile of the roof. Bubble-type skylights are prohibited.***

**Finding:** The applicant is not proposing new skylights, therefore this standard is not applicable to the evaluation of this proposal.

***(F) Mechanical equipment placed at street level should be screened in a manner that is compatible with the streetscape and adjacent buildings.***

**Finding:** The applicant is proposing new mechanical equipment at street level which will be screen from view. The PVC line cover running from the outdoor unit to the indoor unit, while visible, will be painted to match the Mill Building, minimizing any adverse visual impact due to its installation and meeting SRC 230.040(j)(2)(F).

***(G) New skylights and vents shall be placed behind and below the parapet level.***

**Finding:** The applicant is not proposing new skylights or vents, therefore this standard is not applicable to the evaluation of this proposal.

## DECISION

Based upon the application materials deemed complete on November 26, 2019 and the Finding as presented in this report, the application for HIS19-49 is **APPROVED**.

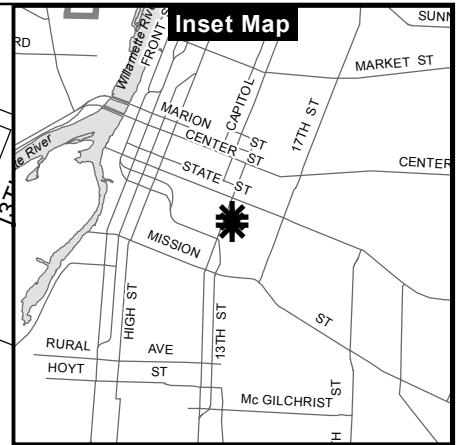
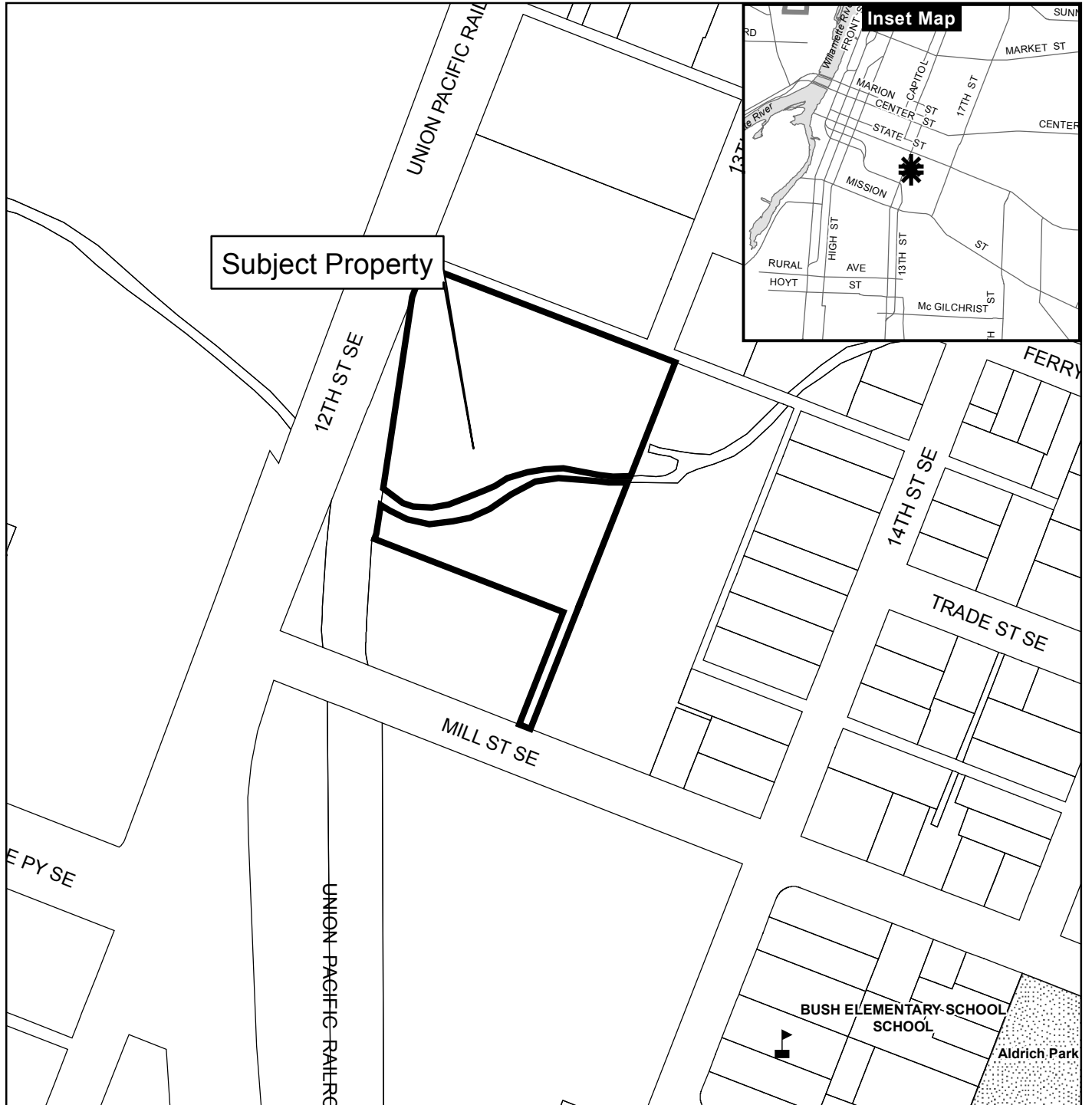


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Kimberli Fitzgerald, AICP  
Historic Preservation Officer  
Planning Administrator Designee




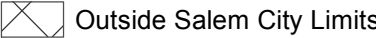

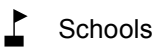

Attachments: A. Vicinity Map  
B. Applicant's Submittal Materials

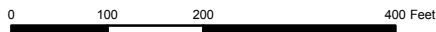
# Vicinity Map 1313 Mill Street SE



Subject Property

**Legend**

-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools
-  Parks



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**Historic Alteration Review Worksheet**

Site Address: \_\_\_\_\_

Resource Status: Contributing  Non- Contributing  Individual Landmark

Type of Work Activity Proposed: Major  Minor

Chose One: Commercial District  Individual Resource  Public District   
Residential District  Sign

**Replacement, Alteration, Restoration or Addition of:**

**Architectural Feature:**

- Awning
- Door
- Exterior Trim, Lintel
- Other architectural feature
- Roof/Cornice
- Masonry/Siding
- Storefront
- Window(s) Number of windows: \_\_\_\_\_

**Landscape Feature:**

- Fence
- Streetscape
- Other Site feature (describe) \_\_\_\_\_

**New:**

- Addition
- Accessory Structure
- Sign
- Mural
- Accessibility Ramp
- Energy Improvements
- Mechanical Equipment
- Primary Structure

Will the proposed alteration be visible from any public right-of-way?  Yes  No

Project's Existing Material: \_\_\_\_\_ Project's New Material: \_\_\_\_\_

**Project Description**

Briefly provide an overview of the type of work proposed. Describe how it meets the applicable design criteria in SRC Chapter 230. Please attach any additional information (i.e., product specification sheets) that will help staff and the HLC clearly understand the proposed work:

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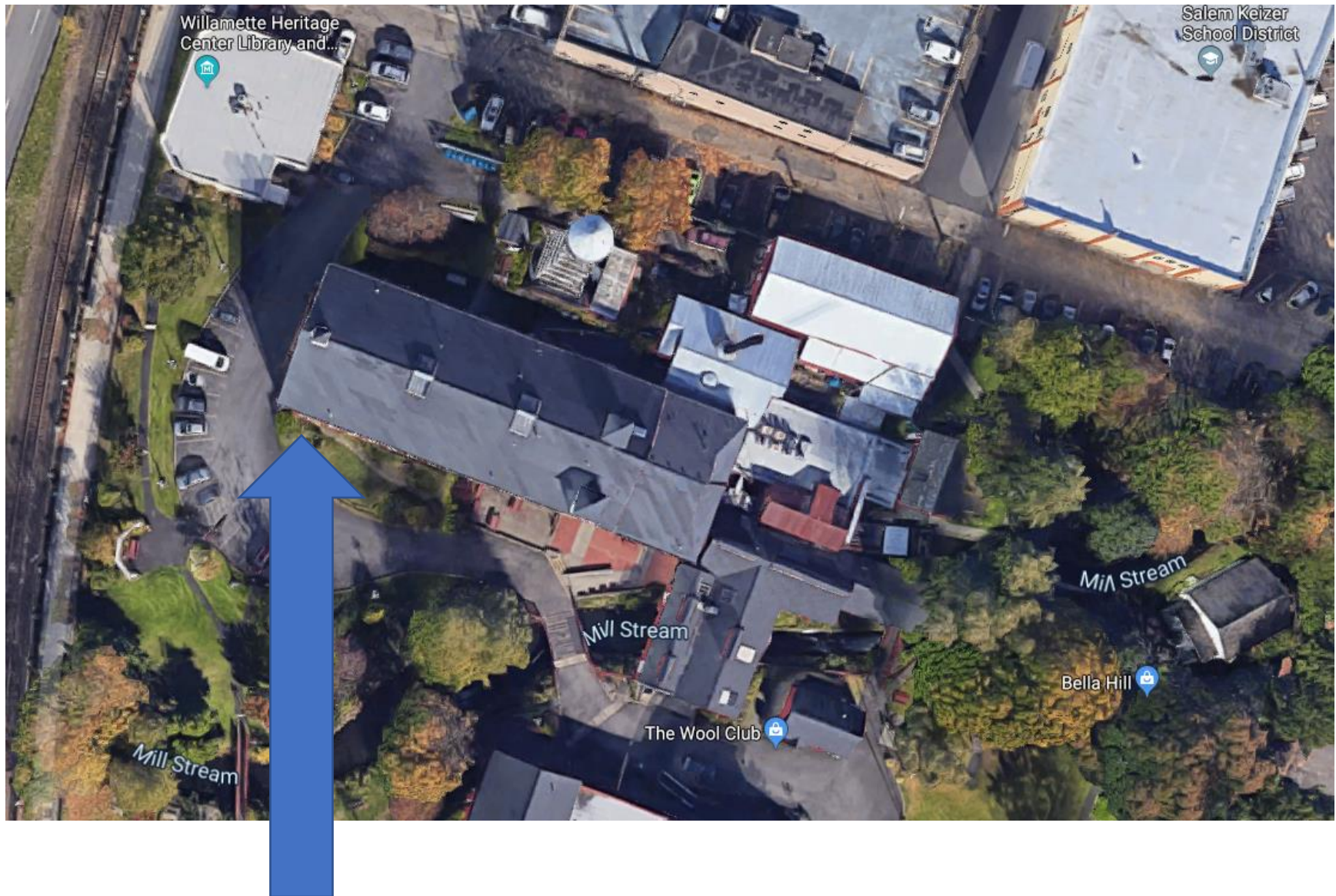
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*Sean O'Harra*

Signature of Applicant

Date Submitted/Signed





Proposed location of external climate control unit





Location of exterior unit.




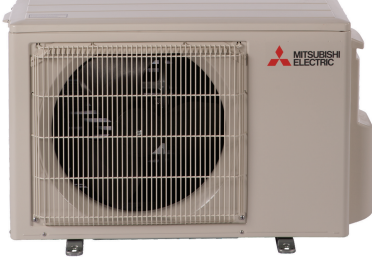

Lane Set



Job Name:

System Reference:

Date:

Indoor Unit: MSZ-GL09NA	Outdoor Unit: MUZ-GL09NA-U1 MUZ-GL09NA-U2 MUZ-GL09NA-U8	Wireless Remote Controller
		

### GENERAL FEATURES

- Slim wall-mounted indoor units provide zone comfort control
- The outdoor unit powers the indoor unit, and should a power outage occur, the system is automatically restarted when power returns
- INVERTER-driven compressor and LEV provide high efficiency and comfort while using only the energy needed to maintain maximum performance
- Multiple fan speed options: Quiet, Low, Medium, High, Super-high, Auto
- Multiple control options available:
  - Hand-held Remote Controller (provided with unit)
  - kumo cloud<sup>®</sup> smart device app for remote access
  - Third-party interface options
  - Wired or wireless controllers
- Quiet operation
- Smart Set: recalls a preferred preset temperature setting at the touch of a button
- Blue Fin anti-corrosion treatment applied to the outdoor unit heat exchanger for increased coil protection and longer life