

# NOTICE OF DECISION

PLANNING DIVISION  
555 LIBERTY ST. SE, RM 305  
SALEM, OREGON 97301  
PHONE: 503-588-6173  
FAX: 503-588-6005



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503-588-6173*

## DECISION OF THE PLANNING ADMINISTRATOR

**HISTORIC DESIGN REVIEW CASE NO.: HIS19-45**

**APPLICATION NO.: 19-122539-DR**

**NOTICE OF DECISION DATE: DECEMBER 6, 2019**

**SUMMARY:** A proposal to replace roof, porch stairs, handrails, porch posts and porch guardrail on the north porch of the exterior of the James and Flora Watt House (1892).

**REQUEST:** Minor Historic Design Review of a proposal to replace roof, porch stairs, handrails, porch posts and porch guardrail on the north porch of the exterior of the James and Flora Watt House (1892), a historic contributing resource in the Court Chemeketa Historic District in the RD (Duplex Residential District) zone, and located at 1490 Chemeketa Street NE - 97301 (Marion County Assessor Map and Tax Lot Number: 073W26AC07800).

**APPLICANT:** Kendra Furry, Summit Cleaning and Restoration, LLC (Brian Harper), on behalf of Charles Toll

**LOCATION:** 1490 Chemeketa St NE / 97301

**CRITERIA:** Salem Revised Code (SRC) Chapter 230.025

**FINDINGS:** The findings are in the attached Decision dated December 6, 2019.

**DECISION:** The **Historic Preservation Officer**, a Planning Administrator Designee, **APPROVED** Historic Design Review HIS19-45 based upon the application materials deemed complete on November 26, 2019 and the findings as presented in this report.

The rights granted by the attached decision must be exercised, or an extension granted, by December 24, 2021 or this approval shall be null and void.

Application Deemed Complete:	<u>November 26, 2019</u>
Notice of Decision Mailing Date:	<u>December 6, 2019</u>
Decision Effective Date:	<u>December 24, 2019</u>
State Mandate Date:	<u>March 25, 2020</u>

Case Manager: Kimberli Fitzgerald, [kfitzgerald@cityofsalem.net](mailto:kfitzgerald@cityofsalem.net), 503-540-2397

This decision is final unless written appeal from an aggrieved party is filed with the City of Salem Planning Division, Room 305, 555 Liberty Street SE, Salem OR 97301, no later than 5:00 p.m., Monday, December 23, 2019. The notice of appeal must contain the information required by SRC 300.1020 and must state where the decision failed to conform to the provisions of the applicable code section, SRC

Chapter 230. The appeal must be filed in duplicate with the City of Salem Planning Division. The appeal fee must be paid at the time of filing. If the appeal is untimely and/or lacks the proper fee, the appeal will be rejected. The Historic Landmarks Commission will review the appeal at a public hearing. After the hearing, the Historic Landmarks Commission may amend, rescind, or affirm the action, or refer the matter to staff for additional information.

The complete case file, including findings, conclusions and conditions of approval, if any, is available for review at the Planning Division office, Room 305, City Hall, 555 Liberty Street SE, during regular business hours.

<http://www.cityofsalem.net/planning>

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503-588-6173***

**BEFORE THE PLANNING ADMINISTRATOR OF THE CITY OF SALEM**

**HISTORIC DESIGN REVIEW CASE NO. HIS19-45  
DECISION**

**IN THE MATTER OF APPROVAL OF ) MINOR HISTORIC DESIGN REVIEW  
HISTORIC DESIGN REVIEW )  
CASE NO. HIS19-45 )  
1490 CHEMEKETA STREET NE ) December 6, 2019**

In the matter of the application for a Minor Historic Design Review submitted by Kendra Furry on behalf of Charles Toll, the Historic Preservation Officer (a Planning Administrator Designee), having received and reviewed evidence and the application materials, makes the following findings and adopts the following order as set forth herein.

**REQUEST**

**SUMMARY:** A proposal to replace roof, porch stairs, handrails, porch posts and porch guardrail on the north porch of the exterior of the James and Flora Watt House (1892).

**REQUEST:** Minor Historic Design Review of a proposal to replace roof, porch stairs, handrails, porch posts and porch guardrail on the north porch of the exterior of the James and Flora Watt House (1892), a historic contributing resource in the Court Chemeketa Historic District in the RD (Duplex Residential District) zone, and located at 1490 Chemeketa Street NE - 97301 (Marion County Assessor Map and Tax Lot Number: 073W26AC07800).

A vicinity map illustrating the location of the property is attached hereto and made a part of this decision (**Attachment A**).

**DECISION**

**APPROVED** based upon the application materials deemed complete on November 26, 2019 and the findings as presented in this report.

**FINDINGS**

1. Minor Historic Design Review Applicability

SRC230.020(f) requires Historic Design Review approval for any alterations to historic resources as those terms and procedures are defined in SRC 230. The Planning Administrator shall render a decision supported by findings that explain conformance or lack thereof with relevant design standards, state the facts relied upon in rendering the decision, and explain justification for the decision.

## 2. Analysis of Minor Historic Design Review Approval Criteria

**Finding:** In April 2019, a large city tree fell on a portion of the James and Flora Watt House, as well as the neighboring house to the west, the Watt Cottage (**Attachment C**). As a result, the applicant is proposing to replace the north porch roof, porch posts, handrails, and guardrail, porch stairs as well as a portion of the northwestern corner of the roof of the on the the James and Flora Watt House (1892) (**Attachment D**). This porch is not a historic contributing feature to the house, as it was added on circa 1962 when the house was converted to apartments.

Staff determined that the following standards from 230.025 *Standards for Contributing Resources in Residential Historic Districts*, (d) *Porches* and (e) *Roofs* are applicable to this project.

### **FINDINGS:**

***Criteria: 230.025(d) Porches.*** *Replacement of porches on historic contributing buildings shall be allowed only where the owner has attempted to repair the original porch, but repair was not feasible due to the poor condition of the original materials. If the porch is not original then every effort shall be made to replicate the original porch; the effort shall be substantiated by historic, physical, or pictorial evidence. If the porch cannot be replicated then it should be of a compatible design and material.*

**(1) Materials.** *All features of the porch shall be replaced with material that duplicate, to the greatest degree possible, the appearance and structural qualities of the original porch.*

**Finding:** The applicant is proposing to replace six (4 x 4) wooden posts with wooden posts that duplicate to the greatest degree possible the existing porch posts. The porch floor will be rebuilt with 2 x 6 cedar exterior decking.

The existing damaged porch wooden guardrail will be replaced with a new wooden guardrail that matches the existing, while meeting the applicable building and safety code requirements. The guardrail and handrails will include square wooden balusters that match to the greatest degree possible the existing, which were damaged when the tree fell. These features will be painted to match the material and design of the existing handrails.

The damaged wooden porch stairs will be rebuilt with the same materials, and the base of the stairs and the porch will be clad in a horizontal board wood composite and painted to match the exterior of the James and Flora Watt House.

Overall, the applicant's proposal will ensure that the repair of the porch and associated features will utilize in kind materials, replicating the original materials found throughout the porch. Staff finds that SRC 230.025(d)(1) has been met.

***(2) Design. The overall design of the porch shall reproduce, to the greatest degree possible, the appearance of the original porch.***

**Finding:** The applicant is proposing to replicate the design of the existing porch by replacing all the damaged features of the porch, including the porch posts, decking, skirting, stairs and railings with materials and design that match the existing while also ensuring that the reconstructed porch meets the applicable building code. The applicant is proposing to install new footings under the existing porch landing walls. These alterations will not be easily visible and will ensure that the overall porch repair will meet current building code, and continue to adequately support the weight of the porch. The porch posts will be replaced with posts of the same style. The non-original handrails that flank the stairs on the north façade of the resource will be designed to comply with Oregon Residential Specialty Code requirements. The handrails will be located approximately 34 inches above tread nosing. Overall, the proposed repair of the porch and associated features will serve to reproduce the appearance of the original porch and strengthen the support of the porch above this northern entry to the resource. Therefore, staff finds that SRC 230.025(d)(2) has been met.

***230.025(e)Roofs. Replacement of roofs on historic contributing buildings shall be allowed only where the owner has attempted to repair the original roof, but repair was not feasible due to the poor condition of the original materials.***

***(1) Materials.***

***(A) Historic specialty roofing materials, such as original tile, slate, or rolled composition roofing should be maintained in place whenever possible.***

**Finding:** The James and Flora Watt House does not have a roof comprised of specialty roofing materials. Therefore, staff finds that SRC 230.025(e)(1)(A) is not applicable to the evaluation of this proposal.

***(B) New roof materials should match the original materials in scale and texture as closely as possible. Use of plastic or concrete simulated materials is not allowed.***

**Finding:** The applicant is proposing to reconstruct the damaged portion located at the northwestern portion of the roof of the James and Flora Watts house. The applicant is proposing to replicate the materials on the existing roof (composition shingle). These materials will match the composition shingles on the existing roof to the greatest degree possible. The applicant is not proposing to utilize plastic or concrete simulated roofing materials. Therefore, staff finds that SRC 230.025(e)(1)(B) has been met.

***(C) Composition roofing is allowed as a substitute for wood shingles in a complete replacement.***

**Finding:** While the applicant is proposing to replace the existing damaged roof with composition roofing, this is not a substitute for wood shingling. Therefore, staff finds that SRC 230.025(e)(1)(C) is not applicable to the evaluation of this proposal.

***(D) Imitation slate and wood are allowed as a substitute for original materials in a complete replacement.***

**Finding:** The applicant is not proposing to replace the existing composition shingling with imitation slate or wood, therefore, staff finds that SRC 230.025(e)(1)(D) is not applicable to the evaluation of this proposal.

***(2) Design***

***(A) The original roof form and detailing shall be preserved.***

**Finding:** The applicant is proposing to reconstruct the original roof form of the James and Flora Watts House which was damaged by the falling tree. Therefore, staff finds that SRC 230.025(e)(2)(A) has been met.

***(B) Original eave overhangs shall be maintained.***

**Finding:** The applicant is proposing to reconstruct the original roof of the James and Flora Watts House, including the original eave overhangs. Therefore, staff finds that SRC 230.025(e)(2)(B) has been met.

***(C) Cutting back roof rafters and soffits, boxing in exposed rafter tails, adding fascia boards where none existed, or otherwise altering the historical roof overhang is not allowed.***

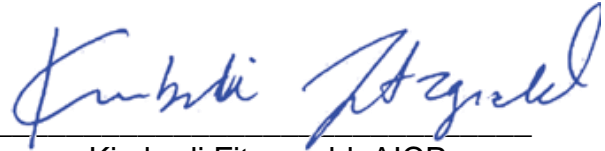
**Finding:** The applicant is not proposing to cut back the character defining features of the James and Flora Watts roof, but instead is proposing to reconstruct the northwestern corner of the roof. Therefore, staff finds that SRC 230.025(e)(2)(C) has been met.

***(D) To the extent feasible, inappropriate repairs or additions should be removed or corrected.***

**Finding:** The applicant is not proposing to remove any inappropriate additions. However, the applicant is proposing to correct the installation of the porch and handrail balustrades in order to meet the applicable building code. Therefore, staff finds that SRC 230.025(e)(2)(D) has been met.

## DECISION

Based upon the application materials deemed complete on November 26, 2019 the findings as presented in this report, the application for HIS19-45 is **APPROVED**.

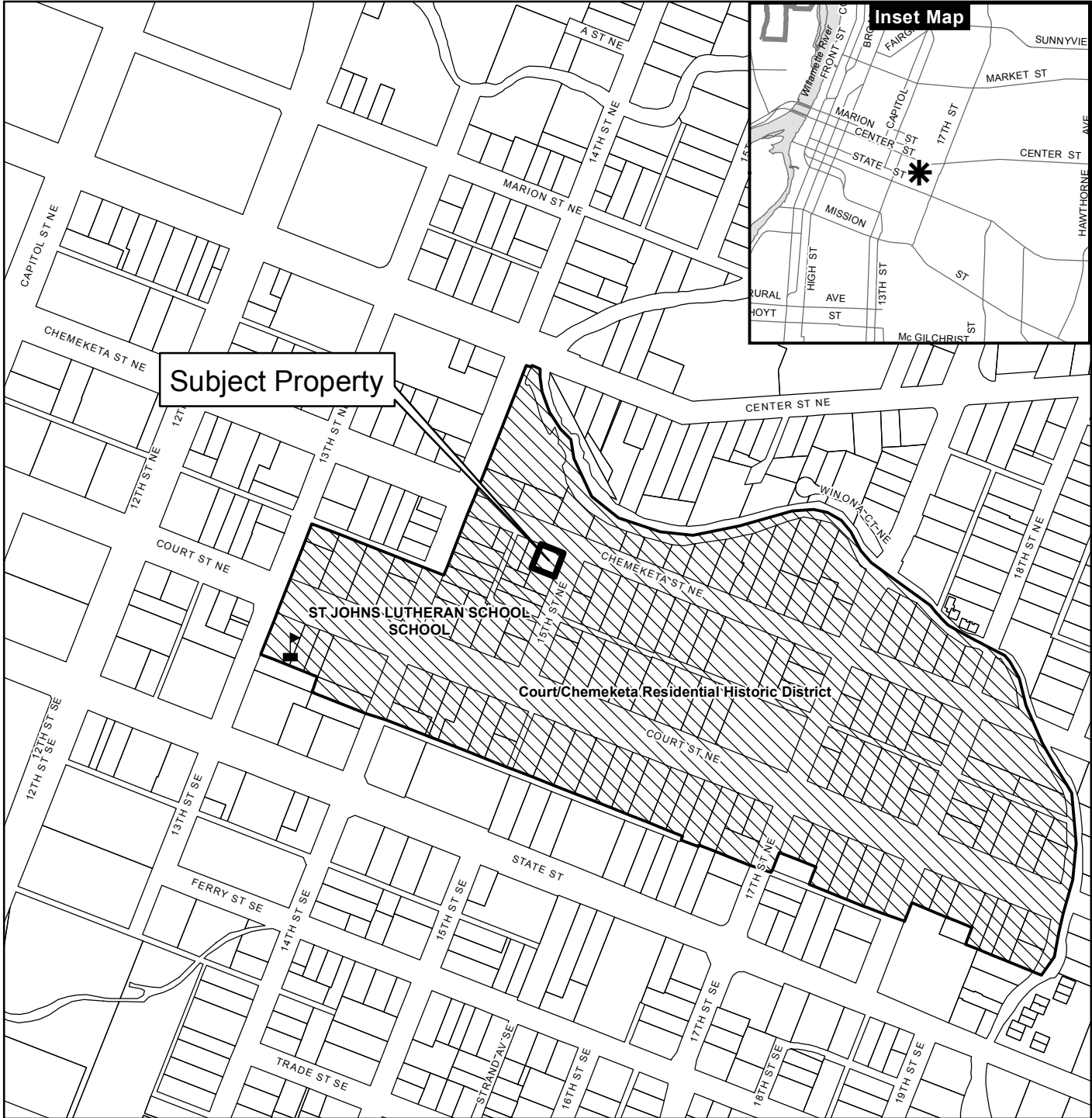


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Kimberli Fitzgerald, AICP  
Historic Preservation Officer  
Planning Administrator Designee

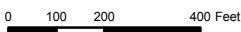
Attachments: A. Vicinity Map  
B. Excerpt from National Register Nomination  
C. Applicant's Submittal Materials

# Vicinity Map 1490 Chemeketa St NE



### Legend

-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools
-  Parks



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126. JAMES AND FLORA WATT HOUSE (1892) PRIMARY (Contributing)

1490 Chemeketa Street NE; Assessor's Map 26BA073W; 073W-26BA-08400; Tax Lot 1-86010-020

~~Owners: Wanda McMaster, Trustee, 1490 Chemeketa St NE, Salem, OR 97301~~

Description: This Queen Anne/Eastlake style house includes a cross-gabled el with a slightly lower south-facing gabled wing, forming an approximate T. These gables are joined by a flat-topped, hipped roof on the southeast side. To the rear is a one-story unit with an irregular roofline. All this results in a varied profile for the house as a whole. In addition, a southeast corner porch (noted on early Sanborn Maps) has been replaced by a sloped-roofed modern addition housing a garage. The house is of one-and-one-half-stories and sits high on a daylight basement foundation. The tall, narrow windows are double-hung sash surrounded by decorative moldings, except in the south gable where a modern large window has been installed. On the east wall is a bay window with brackets. Brackets also occur on the corners of the eaves and, in smaller form, along the cornices under the overhangs. Intricately carved half sunbursts with a radial pattern are in the north and east gables. This house was built the same year as the Rand House (#4) and the Witzel-Watters House (#8) and probably closely resembles what those houses looked like before the were extensively remodelled.

Cultural Data: The Watt House stands on land originally owned by James Watt's father, Joseph Watt (d. 1867), whose holdings had been subdivided in 1871 as Joseph Watt Addition, reconfigured and enlarged as Watts Addition in May 1891. In 1887, James Watt, a stock raiser, acquired from his family the lot on which this house stands (and in 1891 obtained the adjacent lot to the south). He had married Flora Parker in Jacksonville in 1878, and they had lived on Howell Prairie for the first nine years of their marriage, until 1887. In Salem, they apparently lived first in the Watt cottage now numbered 1458 Chemeketa (#124). According to the Oregon Statesman Illustrated Annual of 1893 (p.7), James Watt then built a residence in Salem for \$2500 in 1892. That house is presumed to be this one, on the southwest corner of Chemeketa and 15th Streets. The City Directory of 1893 lists him at "16th NW corner Chemeketa" (clearly an error). By 1896, described as a "capitalist", he is listed at " 15th SW corner Chemeketa", the correct address of this house. James Watt was born in 1854 in Salem, one of four children of Joseph and Sarah Watt, the early owners of the land that became many of the lots in the west portion of the District. Flora Parker was the youngest child of James Patch Parker and Sarah Parker, who crossed the plains in 1852 and settled first in Salem, where Flora's older brother, Charles, was born near what is now Chemeketa and 14th Streets, in 1854. The family later took up a donation land claim near Medford, and it was there that Flora was born in 1858. Though trained as a doctor, her father owned and operated a gristmill in southern Oregon and later built a sawmill and purchased land for raising livestock (for reminiscence of Flora Watt, see: Lockley, Oregon Journal, May 9, 1934, p. 10, and June 2, 1934, p. 4). After her husband's death, Flora Watt lived in smaller family owned houses nearby---at 1458 Chemeketa (#124) and later what had been the barn for the big house (cf. commentary on #123). She sold the James and Flora Watt House in 1925. For other houses built by the Watt family, see commentaries on #109 and #125.

# GENERAL NOTES

**CODES AND STANDARDS:**

- A. All materials and workmanship shall conform to the requirements of the 2014 Oregon Structural Specialty Code and 2012 Edition International Building Code including Reference Standards listed below:
  - American National Standards Institute/American Society of Civil Engineers - (ANSI/ASCE 7-10)
  - National Design Specifications for Wood Construction (NDS - 2012)

**DESIGN LOADS:**

- A. Roof Loads:
  - Dead Load = 15 psf
  - Snow Load = 20 psf (Min.) or  $p_f + \text{Drift}$
  - $p_g = 15 \text{ psf}$        $p_f = 12 \text{ psf}$
  - $c_e = 1.0$                $c_t = 1.0$
- B. Floor Loads:
  - Dead Load = 10 psf
  - Live Load = 100 psf Common Area, Exits

**GENERAL REQUIREMENTS:**

- A. It is the responsibility of the Builder/Contractor to obtain appropriate approvals and necessary permits from city, county, state, or federal agencies, as required.
- B. Contractor shall be responsible for all construction methods, techniques, sequencing, and safety required to complete construction.
- C. Contractor shall verify all dimensions and details prior to proceeding with construction. All discrepancies shall be approved by the Engineer of record.
- D. Contractor shall verify all required penetrations on Mechanical and Electrical plans. All dimensions shall be field verified as early as possible.
- E. Contractor shall thoroughly review and redline all shop drawings prior to submittal to the engineer. Submit shop drawings in a timely fashion to allow 10 business days for review by design team. All modifications or comments made during review do not relieve contractor from compliance with the requirements of the plans or specifications.

**STRUCTURAL WOOD:**

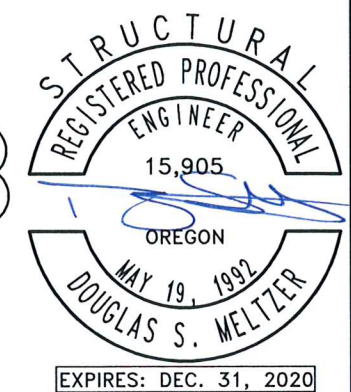
- A. All structural wood members shall be Coast Region Douglas Fir No.2 or better grade as noted in National Design Specifications for Stress Grade Lumber and its fastenings, unless noted otherwise. All posts shall be Douglas Fir #1 or better.
- B. All studs to be Douglas Fir #2 or better as noted in National Design Specifications for Stress Grade Lumber.
- C. The Contractor shall furnish and install all bolts, and plates as required to complete the job.
- D. Washers shall be used under all bolt heads and nuts bearing on wood.
- E. All wood members in contact with concrete or masonry shall be preservative treated.
- F. All nailing not shown shall be as called for in OSSC table 2304.9.1 fastening schedule.
- G. All nailing into treated lumber shall be galvanized.

**PLYWOOD:**

- A. Roof Sheathing:
  - $\frac{1}{2}$ " plywood roof sheathing APA rated 24/0 Exterior Glue Exposure 1.
  - W/ Bd galvanized common nails @ 6" O.C. edges and 12" O.C. field, unless noted otherwise on plans. Lay perpendicular to supports and stagger joints. (Block as required on plan)



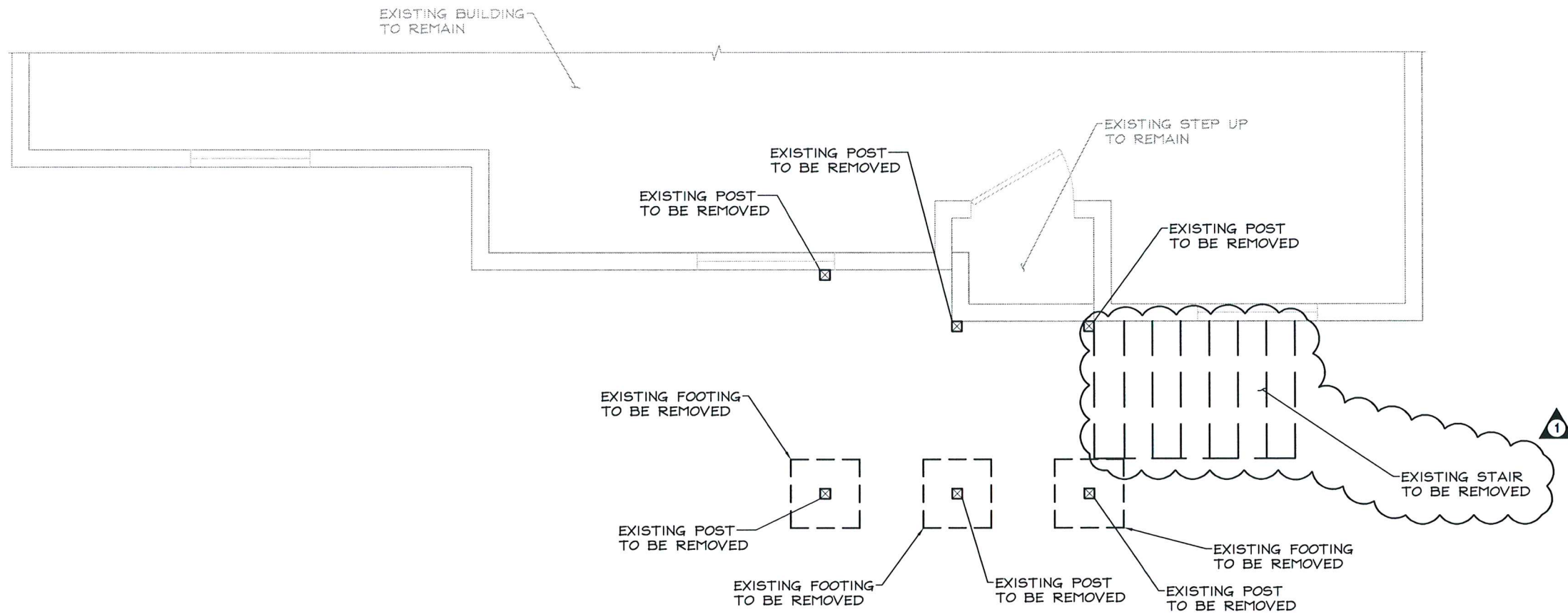
①  
 NOTE: SCOPE OF WORK LOCALIZED TO FRONT DECK AND COVER ONLY  
 NOTE: ALL MECHANICAL, ELECTRICAL, & PLUMBING TO BE REPAIRED BY OTHERS UNDER DEFERRED SUBMITTAL



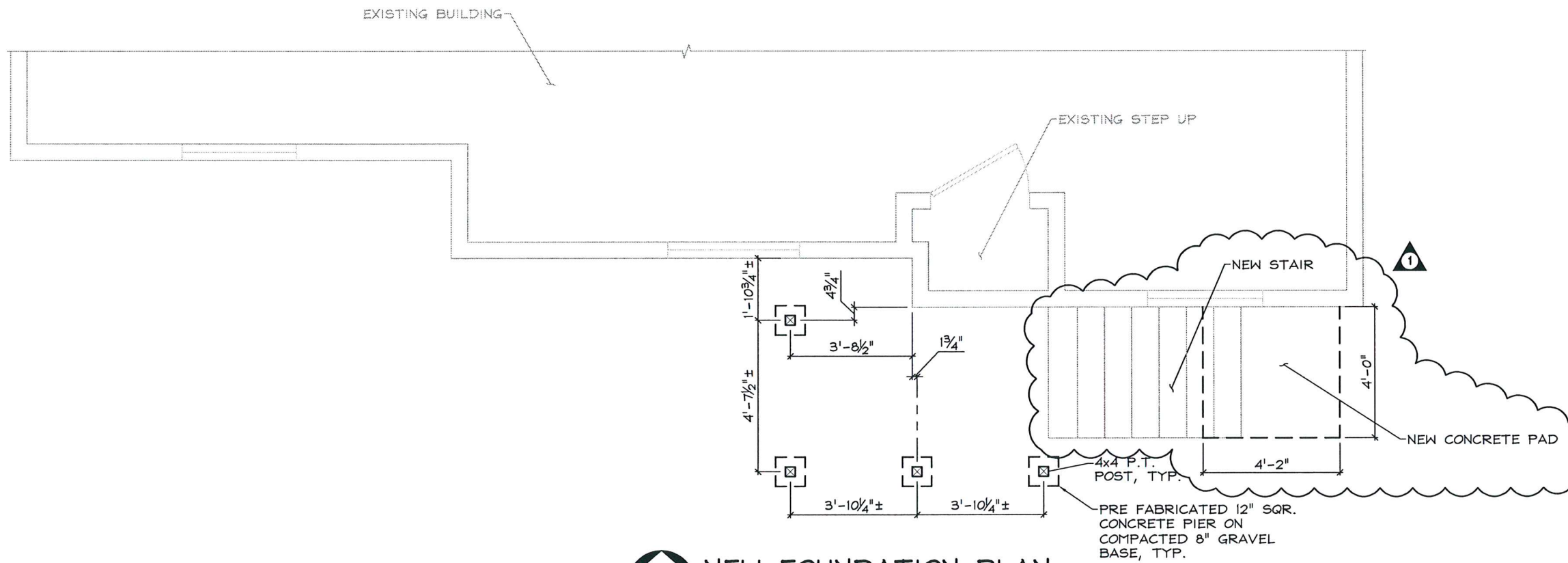
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 REVISION: 11-01-19  
 PER CITY COMMENTS  
 JOB NO. 190706  
 CONSULTING STRUCTURAL ENGINEERS  
**MSC ENGINEERS INC.**  
 1470 PIERCE PLACE NE SUITE 120  
 SALEM, OREGON 97301  
 PH: (503) 399-1399  
 WEBSITE: www.mscengineers.com  
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**GENERAL NOTES**  
 1490 CHEMEKETA STREET INSPECTION  
 1490 CHEMEKETA STREET NE  
 SALEM, OREGON  
 FOR: SUMMIT CLEANING & RESTORATION

DWG. NO.  
**S1**  
 1 of 8  
 190706



**EXISTING/DEMO FOUNDATION PLAN**  
1/4" = 1'-0"



**NEW FOUNDATION PLAN**  
1/4" = 1'-0"

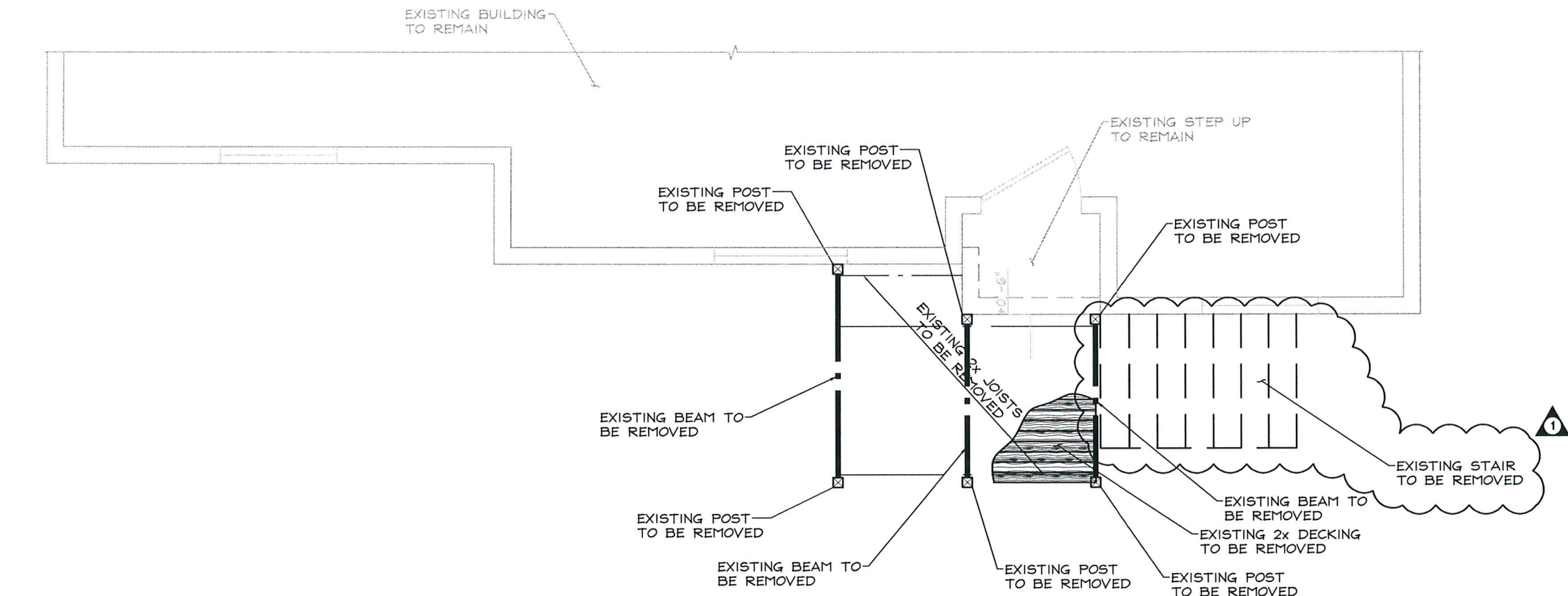


EXPIRES: DEC. 31, 2020

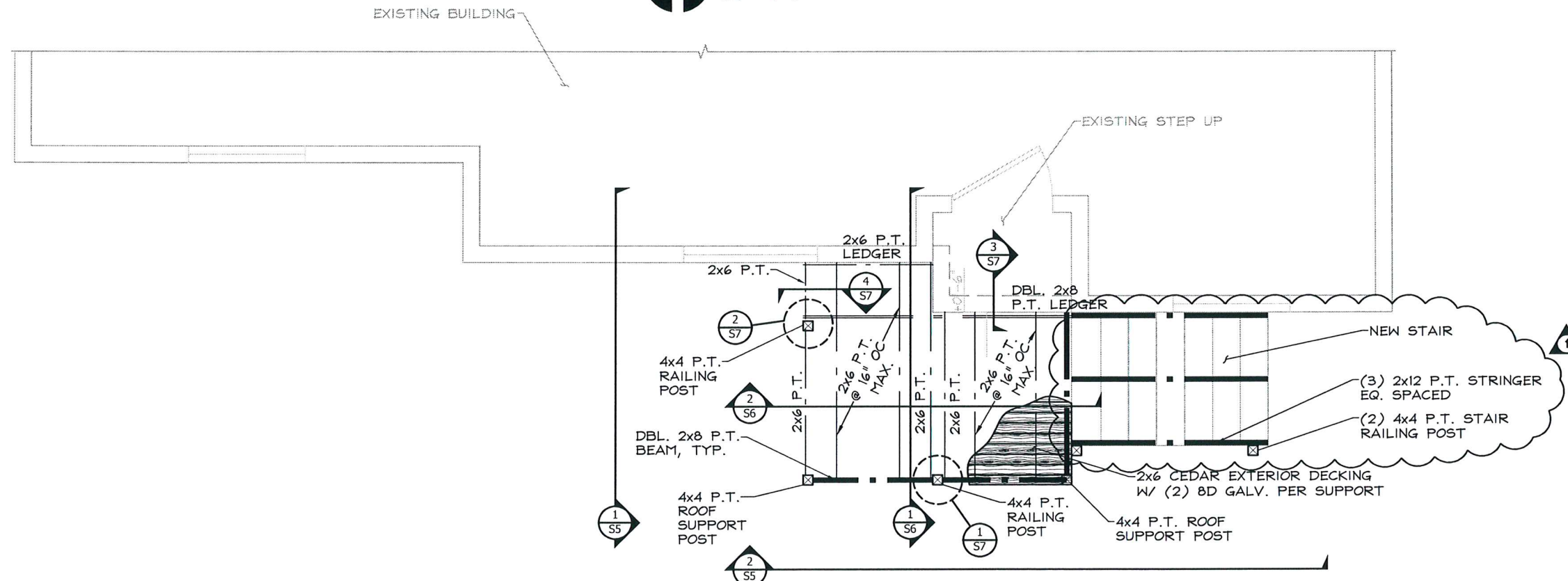
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	DRAWN BY: CJD REVISION: 11-01-19 PER CITY COMMENTS
FOUNDATION DEMO/REPAIR PLANS 1490 CHEMEKETA STREET INSPECTION 1490 CHEMEKETA STREET NE SALEM, OREGON FOR: SUMMIT CLEANING & RESTORATION	
DWG. NO. S2 2 of 8 190706	

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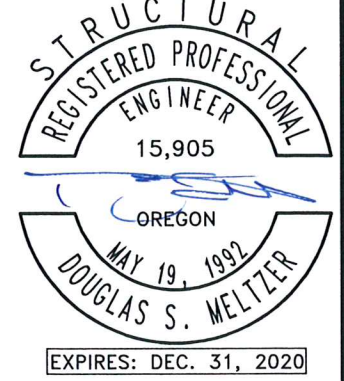
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**EXISTING/DEMO FLOOR FRAMING PLAN**  
1/4" = 1'-0"



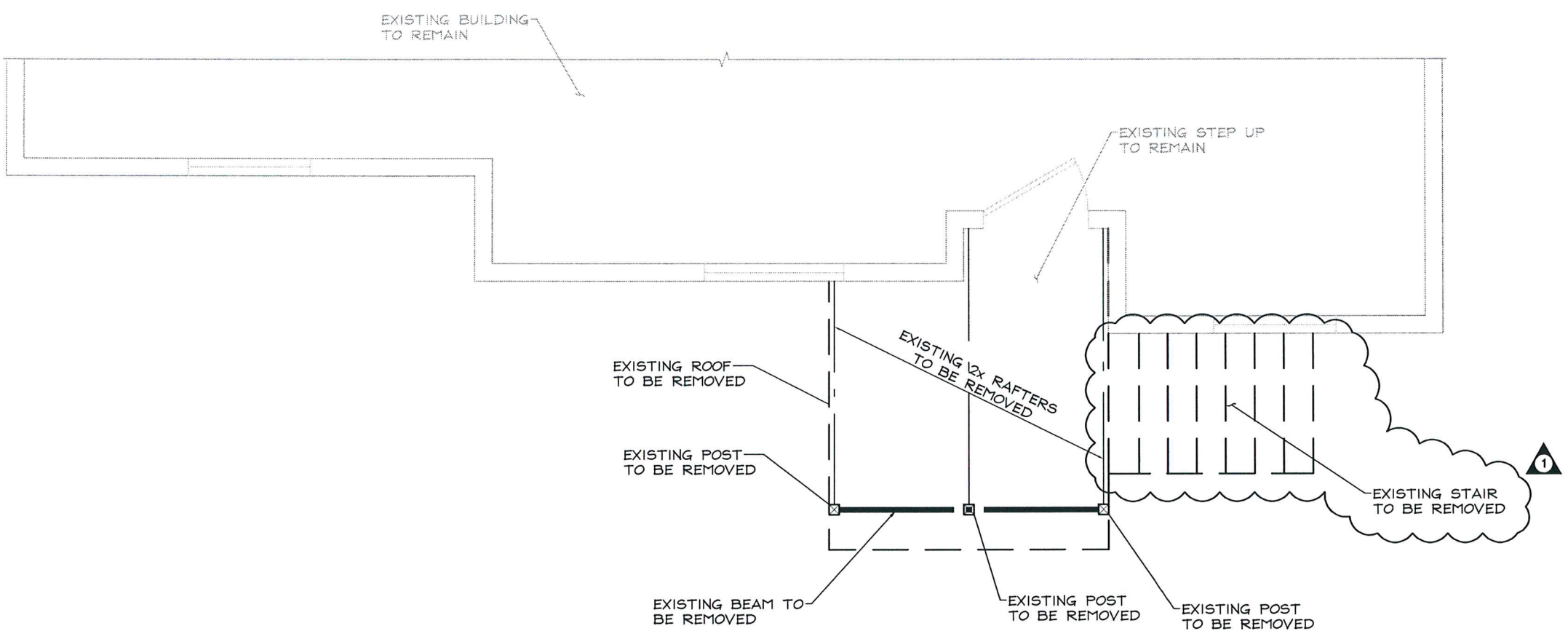
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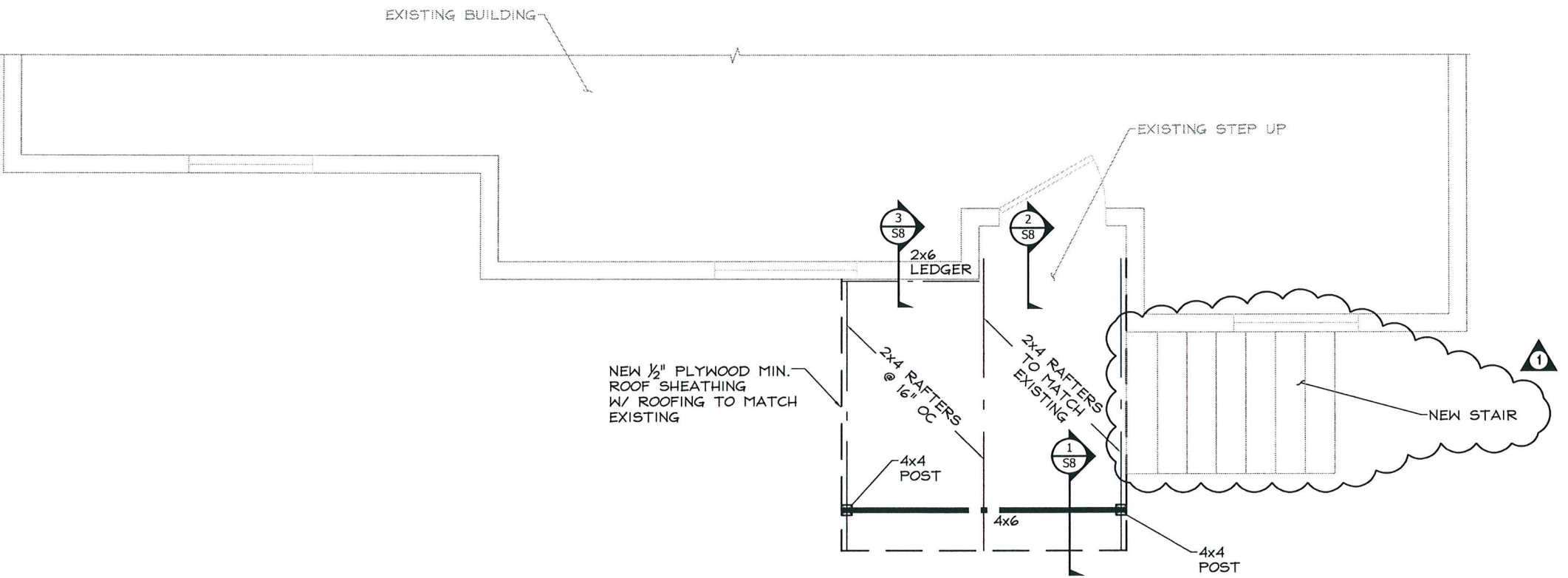
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	FLOOR FRAMING DEMO/REPAIR PLANS 1490 CHEMEKETA STREET INSPECTION 1490 CHEMEKETA STREET NE SALEM, OREGON FOR: SUMMIT CLEANING & RESTORATION	
DWG. NO. S3 3 of 8		EXPIRES: DEC. 31, 2020

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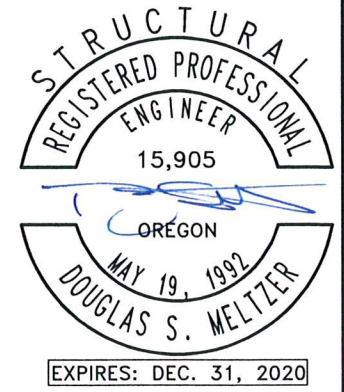
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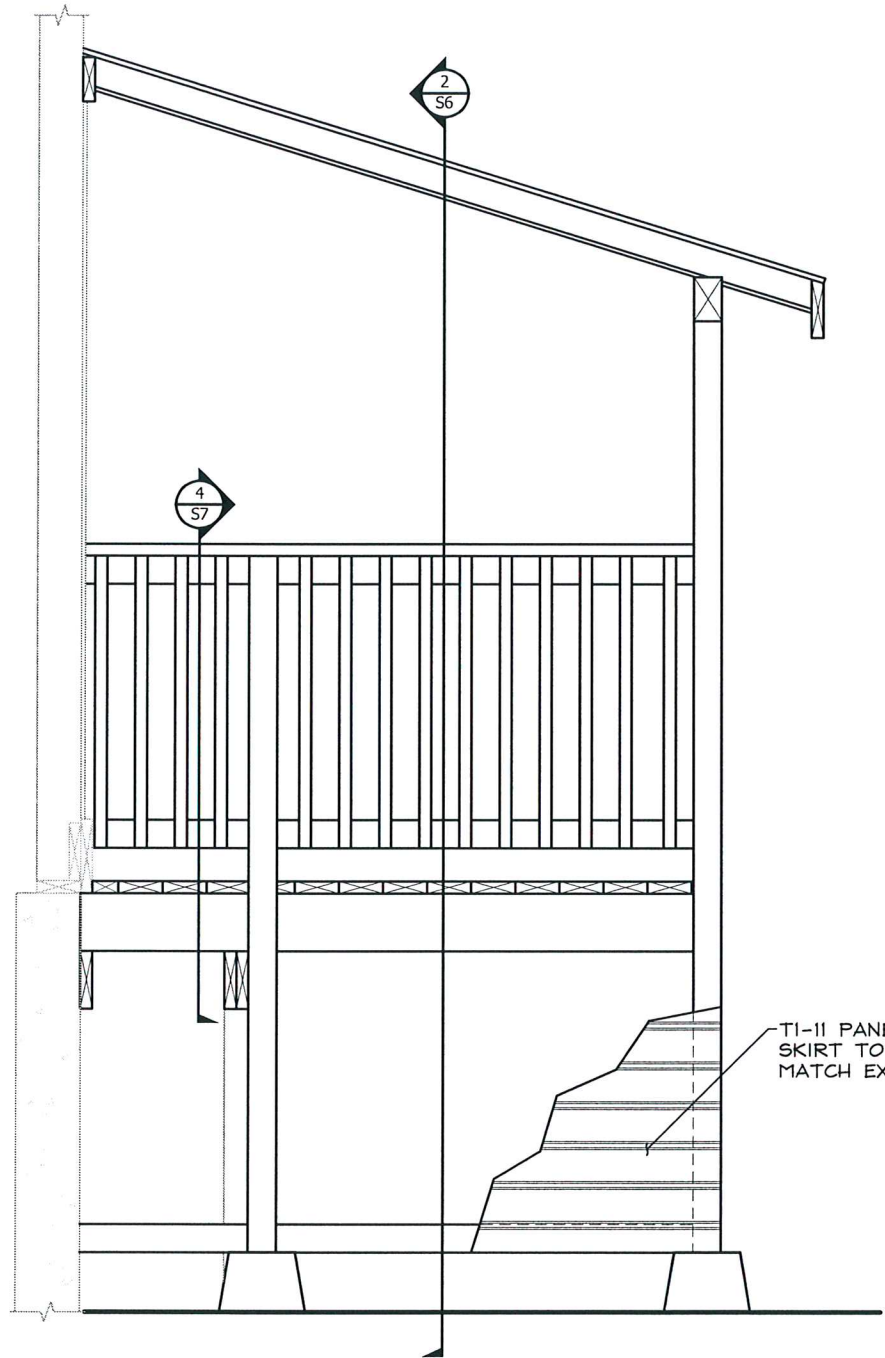
**EXISTING/DEMO ROOF FRAMING PLAN**  
 1/4" = 1'-0"



**NEW ROOF FRAMING PLAN**  
 1/4" = 1'-0"



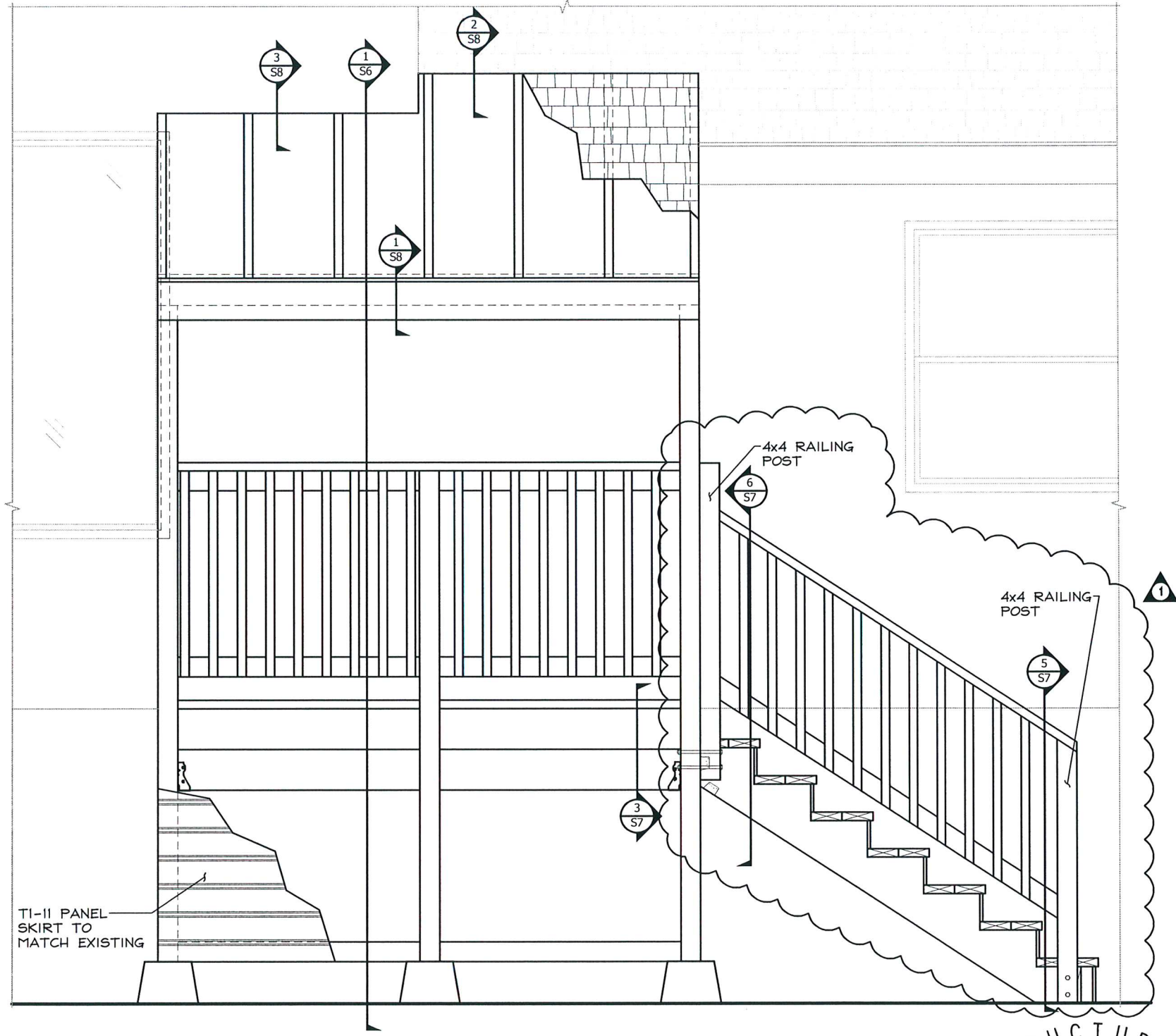
 CONSULTING STRUCTURAL ENGINEERS 1470 PIERCE PLACE NE SUITE 120 SALEM, OREGON 97301 PH: (503) 399-1399 WEBSITE: www.msceengineers.com	CHECKED BY: CJD DATE: 10-22-19
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<b>ROOF FRAMING DEMO/REPAIR PLANS</b> 1490 CHEMEKETA STREET INSPECTION 1490 CHEMEKETA STREET NE SALEM, OREGON FOR: SUMMIT CLEANING & RESTORATION	
DWG. NO. S4 4 of 8 190706	



**SIDE ELEVATION**

1/2" = 1'-0"

1  
S5



**FRONT ELEVATION**

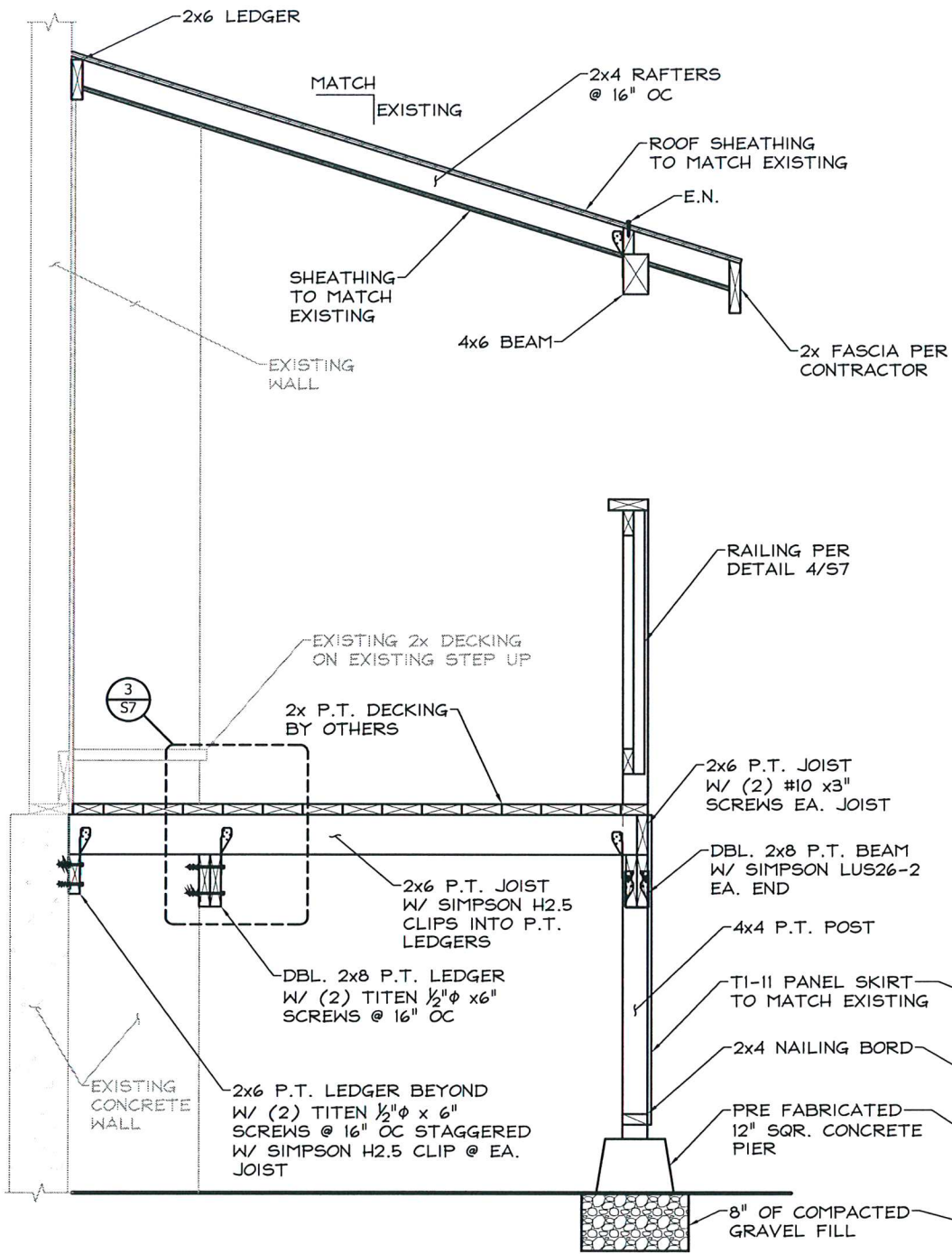
1/2" = 1'-0"

2  
S5



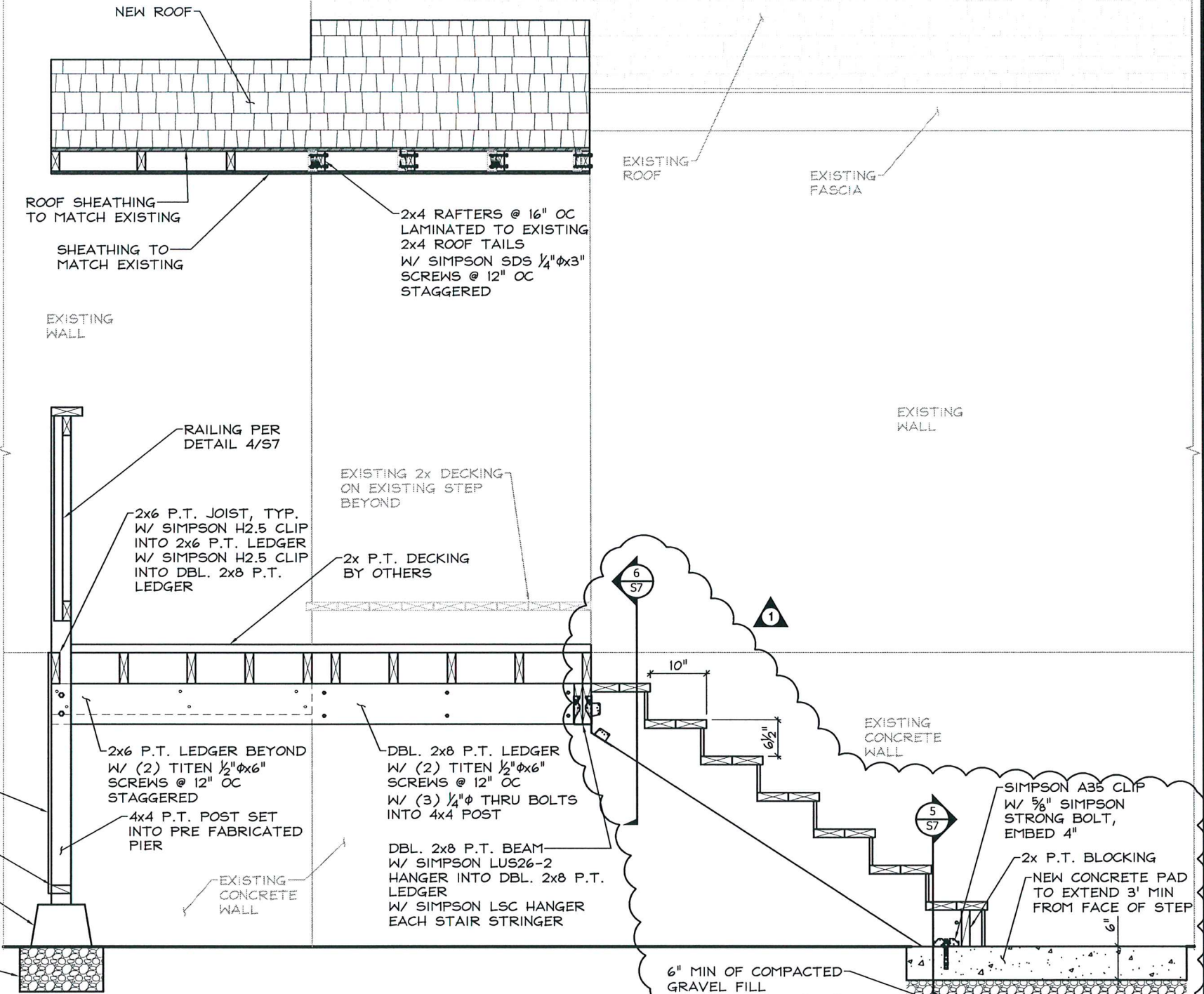
EXPIRES: DEC. 31, 2020

<p>CONSULTING STRUCTURAL ENGINEERS</p> <p>1470 PIPEREND PLACE NE SUITE 120 SALEM, OREGON 97301 PH: (503) 399-1399 WEBSITE: www.mscengineersinc.com</p>	<p>CHECKED BY: CJD DATE: 10-22-19</p>
	<p>REVISION: 11-01-19 1 PER CITY COMMENTS</p>
<p><b>ELEVATIONS</b></p> <p><b>1490 CHEMEKETA STREET INSPECTION</b> 1490 CHEMEKETA STREET NE SALEM, OREGON</p> <p><b>FOR: SUMMIT CLEANING &amp; RESTORATION</b></p>	
<p>DWG. NO. <b>S5</b></p> <p>5 of 8</p>	



**DECK SECTION ONE**  
1/2" = 1'-0"

1  
S6



**DECK SECTION TWO**  
1/2" = 1'-0"

2  
S6



EXPIRES: DEC. 31, 2020

JOB NO. 190706  
DRAWN BY: CJD  
CHECKED BY:  
DATE: 10-22-19

REVISION: 11-01-19  
PER CITY COMMENTS

**MSC**  
ENGINEERS INC.  
CONSULTING STRUCTURAL ENGINEERS

1490 CHEMEKETA STREET NE SUITE 120  
SALEM, OREGON 97301  
PH: (503) 398-1389  
WEBSITE: www.msconlineinc.com

SECTIONS

**1490 CHEMEKETA STREET INSPECTION**  
**1490 CHEMEKETA STREET NE**  
**SALEM, OREGON**

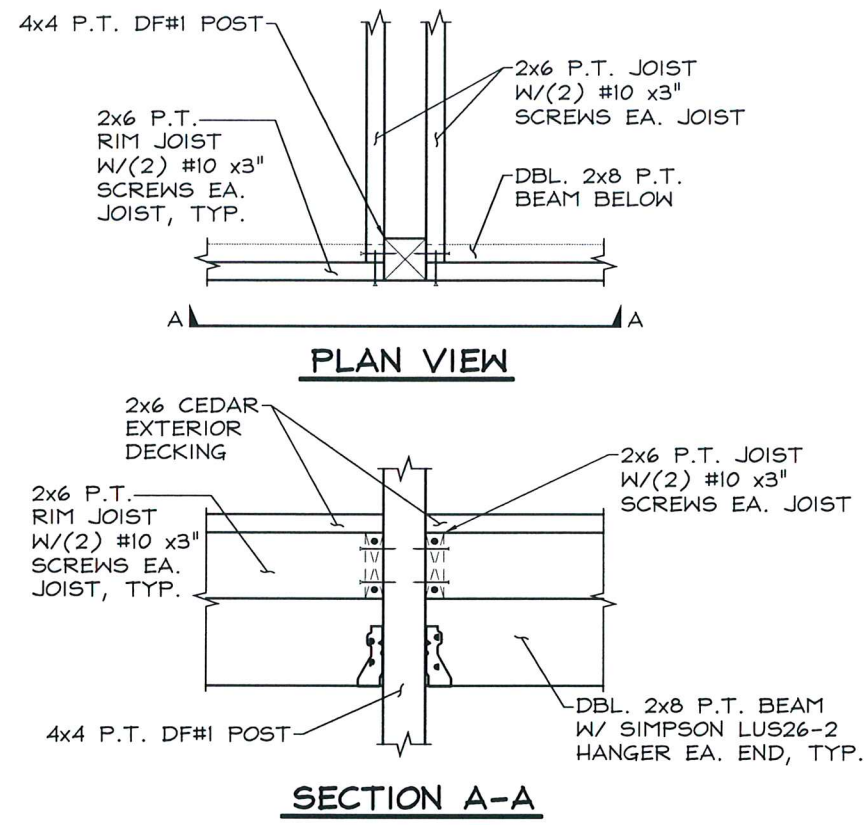
FOR: **SUMMIT CLEANING & RESTORATION**

DWG. NO.  
**S6**  
6 of 8

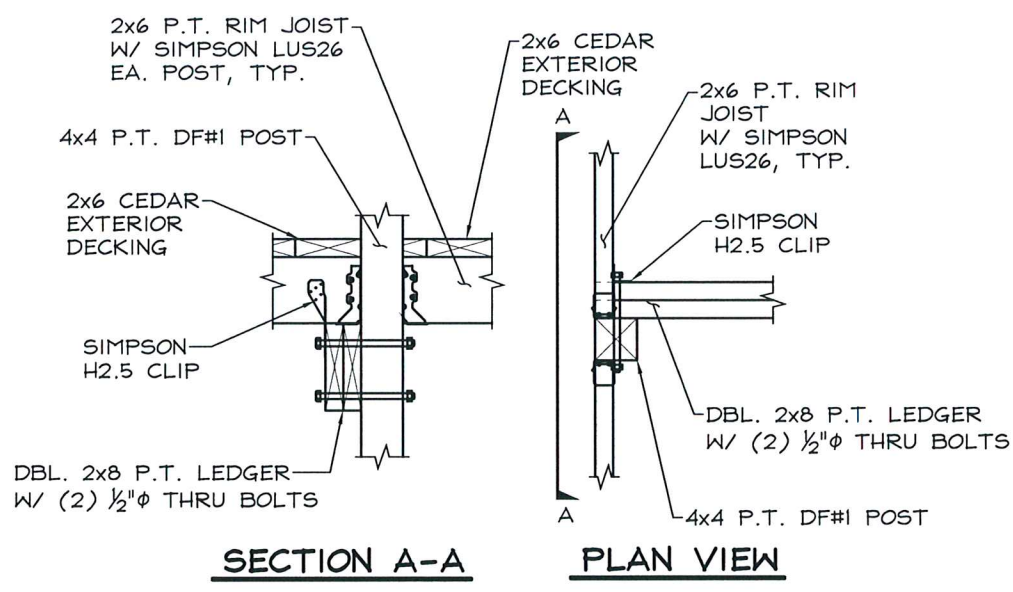
190706

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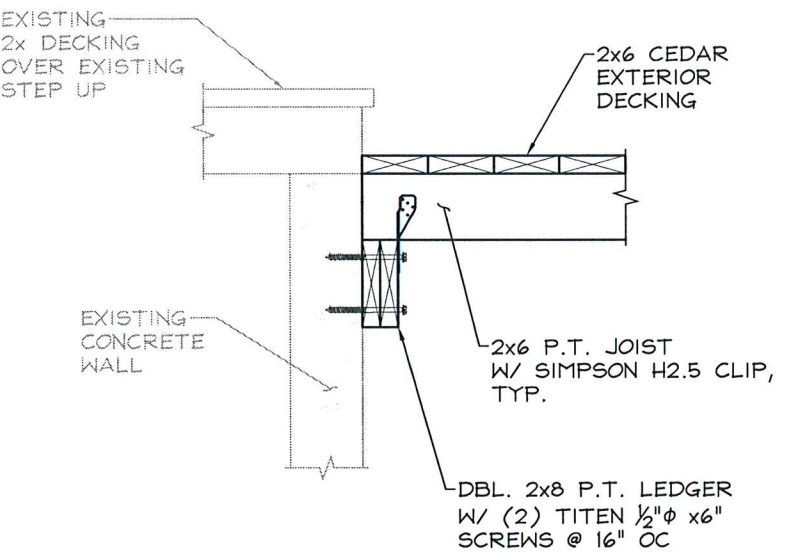
Nov 01, 2019 1:39:28 pm G:\JOBS-2019\190706 - 1490 CHEMEKETA STREET INSPECTION\190706 - 103119.DWG, STATION 6



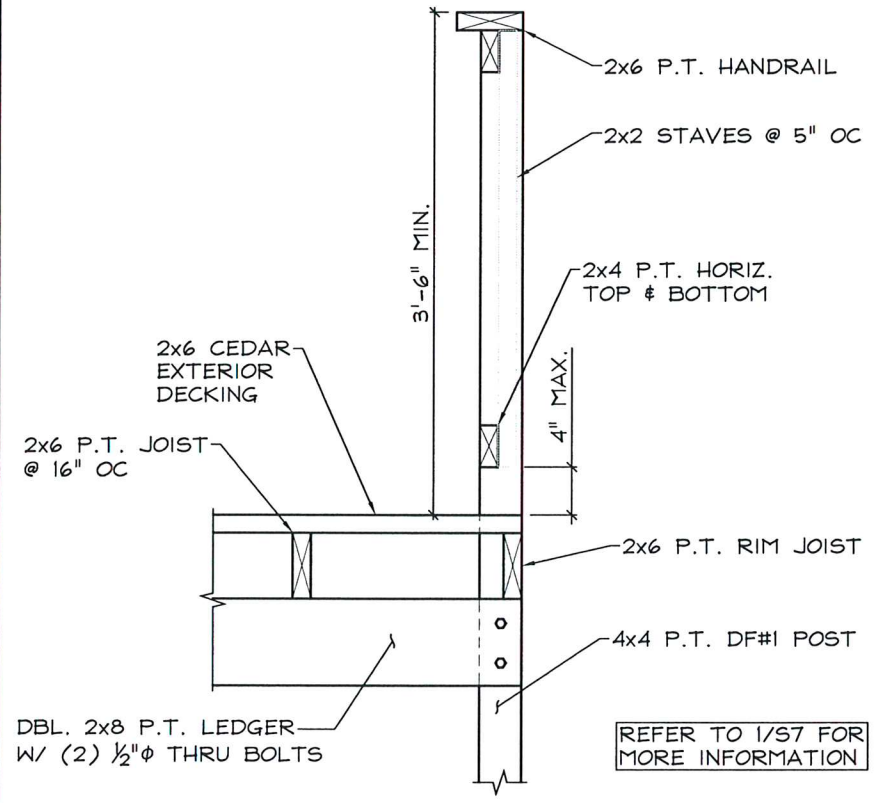
**JOIST TO POST CONNECTION** 1  
3/4" = 1'-0" S7



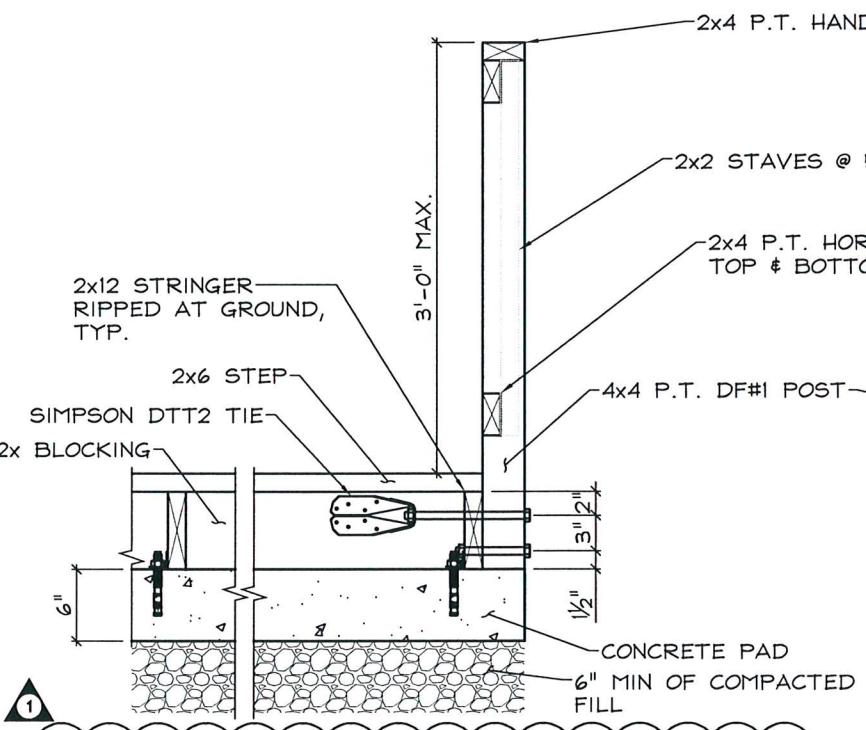
**DOUBLE LEDGER TO POST CONNECTION** 2  
3/4" = 1'-0" S7



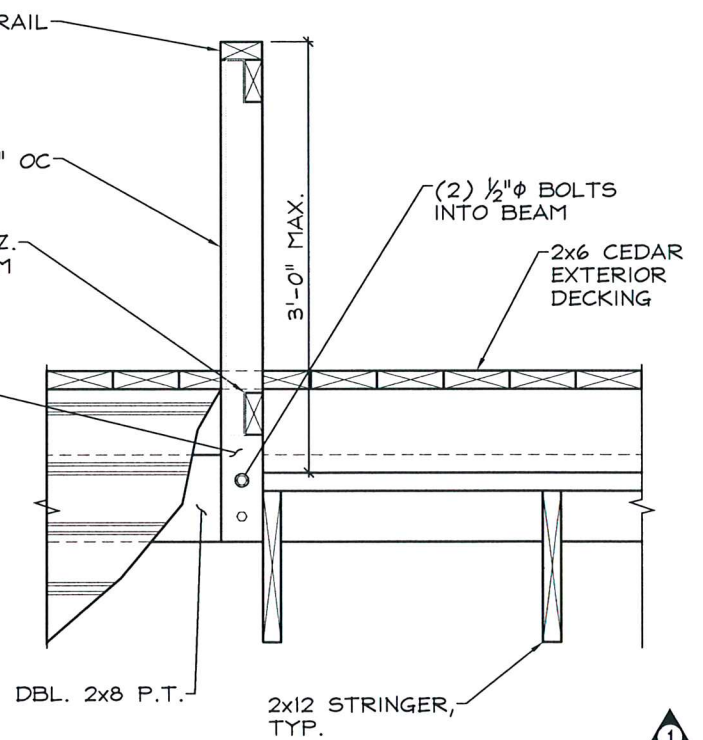
**DOUBLE LEDGER @ EXISTING CONNECTION** 3  
3/4" = 1'-0" S7



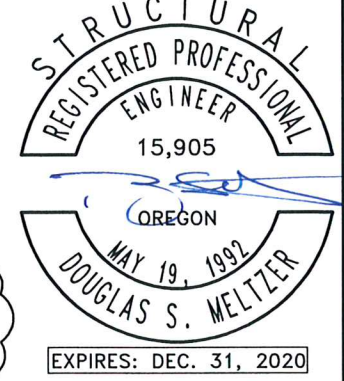
**TYPICAL RAILING** 4  
3/4" = 1'-0" S7



**STAIR @ RAILING CONNECTION** 5  
3/4" = 1'-0" S7



**TYPICAL RAILING** 6  
3/4" = 1'-0" S7



CHECKED BY: [ ] DATE: 10-22-19  
 DRAWN BY: CJD  
 REVISION: 11-01-19 PER CITY COMMENTS  
 CONSULTING STRUCTURAL ENGINEERS  
**MSC ENGINEERS INC.**  
 8470 PIERBEND PLACE NE SUITE 120  
 SALEM, OREGON 97301  
 PH: (503) 399-1399  
 WEBSITE: www.mscengineersinc.com

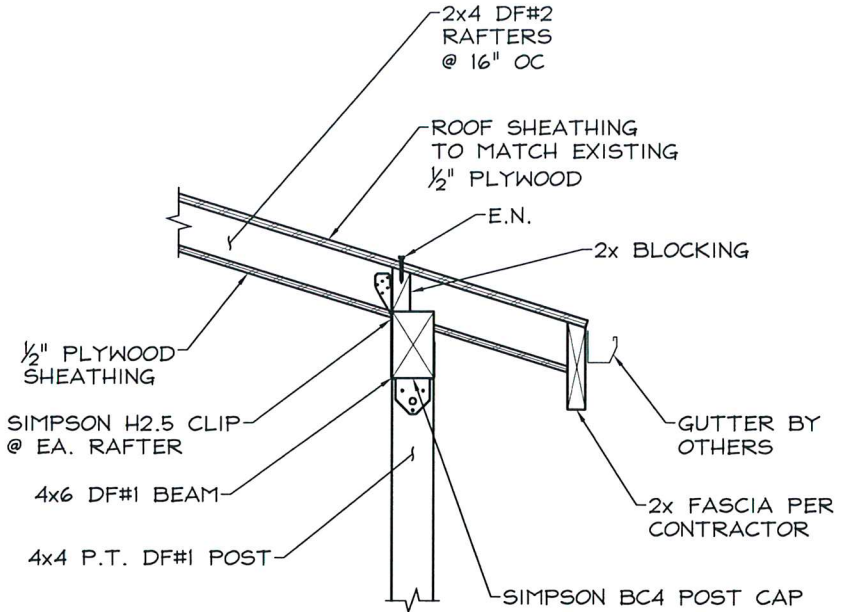
**DETAILS**  
 1490 CHEMEKETA STREET INSPECTION  
 1490 CHEMEKETA STREET NE  
 SALEM, OREGON  
 FOR: SUMMIT CLEANING & RESTORATION

DWG. NO. S7  
 7 of 8  
 EXPIRES: DEC. 31, 2020



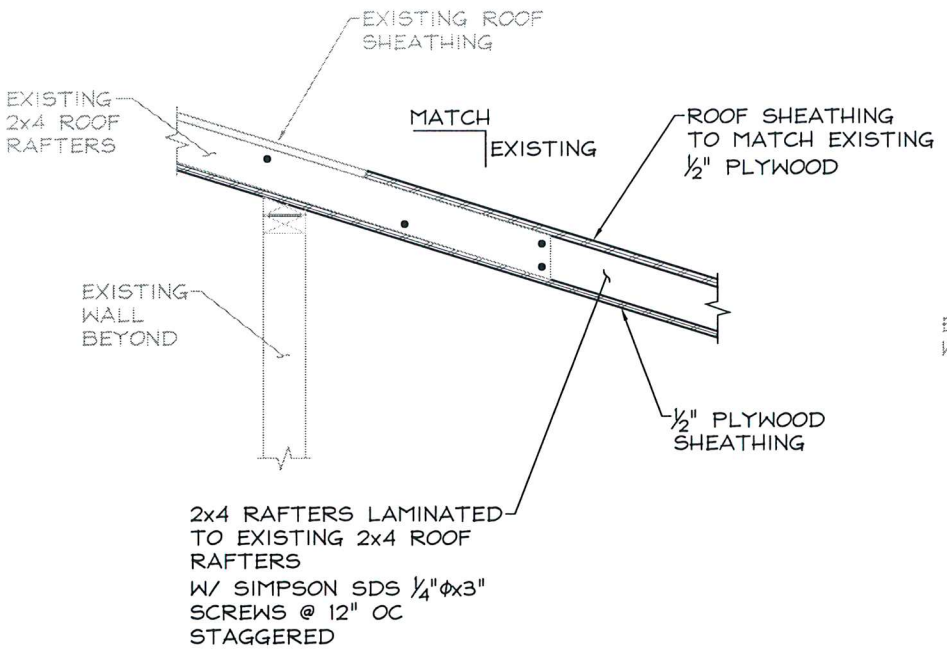
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Nov 01, 2019 1:39:29 pm G:\JOBS-2019\190706 - 1490 CHEMEKETA STREET INSPECTION\190706 - 103119.DWG, STATION 6



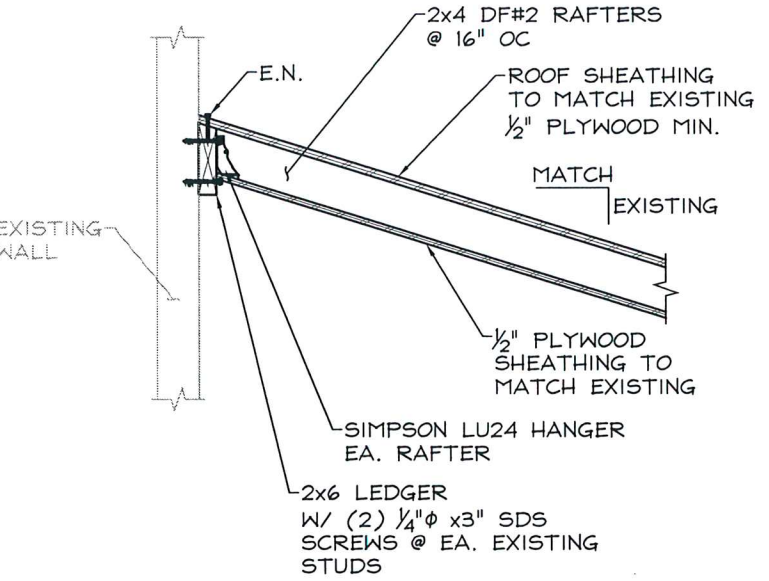
ROOF CONNECTION TO POST

3/4" = 1'-0"



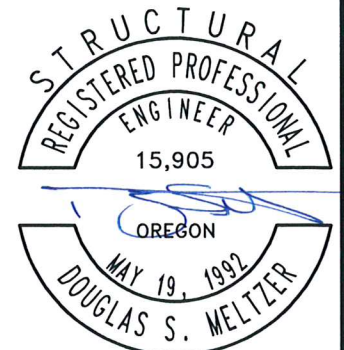
ROOF CONNECTION TO EXISTING ROOF

3/4" = 1'-0"



ROOF CONNECTION TO EXISTING WALL

3/4" = 1'-0"



CHECKED BY: **CJD** DATE: **10-22-19**  
 DRAWN BY: **CJD** REVISION: **11-01-19**  
 PER CITY COMMENTS  
 JOB NO. **190706**  
 CONSULTING STRUCTURAL ENGINEERS  
**MSC ENGINEERS, INC.**  
 1470 PIPEBEND PLACE NE SUITE 120  
 SALEM, OREGON 97301  
 PH: (503) 399-1389  
 WEBSITE: www.msconlineinc.com

**DETAILS**  
**1490 CHEMEKETA STREET INSPECTION**  
**1490 CHEMEKETA STREET NE**  
**SALEM, OREGON**  
**FOR: SUMMIT CLEANING & RESTORATION**

DWG. NO.  
**S8**  
 8 of 8  
 190706