

NOTICE OF DECISION

PLANNING DIVISION
555 LIBERTY ST. SE, RM 305
SALEM, OREGON 97301
PHONE: 503-588-6173
FAX: 503-588-6005



*Si necesita ayuda para comprender esta informacion, por favor llame
503-588-6173*

DECISION OF THE HISTORIC LANDMARKS COMMISSION

HISTORIC DESIGN REVIEW CASE NO.: HIS18-04

APPLICATION NO. : 18-103262-DR

NOTICE OF DECISION DATE: APRIL 20, 2018

SUMMARY: A proposal to replace the failing front porch and bay window foundation, porch and steps; replace the non-historic rear upper deck and lower sunporch steps, hand railing and balustrades; and replace 24 windows on the Daniel S. Yoder House (c.1891).

REQUEST: Major Historic Design Review of a proposal to replace the non-historic failing front porch and bay window cinderblock foundation, porch, concrete steps, hand-rail and balustrades; replace the non-historic rear upper deck, railing and balustrades; replace the non-historic lower sunporch stairs, hand railing and balustrades; and replace 24 windows on the Daniel S. Yoder House (c.1891), a contributing resource within the Court/Chemeketa Residential Historic District, on property zoned RD (Duplex Residential) and located at 1811 Chemeketa Street NE, Marion County Tax Assessor Map and Tax Lot number: 073W26AB13500).

APPLICANT: Carolyn Lawson

LOCATION: 1811 Chemeketa Street NE

CRITERIA: Salem Revised Code (SRC) Chapter 230.065. General Guidelines for Historic Contributing Resources.

FINDINGS: The findings are in the attached Decision dated April 20, 2018.

DECISION: The Historic Landmarks Commission **APPROVED** Historic Design Review Case No. HIS18-04 as presented.

VOTE:

Yes 7 No 0 Absent 2 (Pearson, Larson) Abstain 0

Kevin Sund, Chair
Historic Landmarks Commission

*This Decision becomes effective on **May 8, 2018**. No work associated with this Decision shall start prior to this date unless expressly authorized by a separate permit, land use decision, or provision of the Salem Revised Code (SRC).*

The rights granted by the attached decision must be exercised, or an extension granted, by **May 8, 2020** or this approval shall be null and void.

Application Deemed Complete: March 22, 2018
Public Hearing Date: April 19, 2018
Notice of Decision Mailing Date: April 20, 2018
Decision Effective Date: May 8, 2018
State Mandate Date: July 20, 2018

Case Manager: Kimberli Fitzgerald, kfitzgerald@cityofsalem.net; 503.540.2397

This decision is final unless written appeal from an aggrieved party is filed with the City of Salem Planning Division, Room 305, 555 Liberty Street SE, Salem OR 97301, no later than **5:00 p.m., Monday, May 7, 2018.**

Any person who presented evidence or testimony at the hearing may appeal the decision. The notice of appeal must contain the information required by SRC 300.1020 and must state where the decision failed to conform to the provisions of the applicable code section, SRC Chapter 230. The appeal must be filed in duplicate with the City of Salem Planning Division. The appeal fee must be paid at the time of filing. If the appeal is untimely and/or lacks the proper fee, the appeal will be rejected. The Hearings Officer will review the appeal at a public hearing. After the hearing, the Hearings Officer may amend, rescind, or affirm the action, or refer the matter to staff for additional information.

The complete case file, including findings, conclusions and conditions of approval, if any, is available for review at the Planning Division office, Room 305, City Hall, 555 Liberty Street SE, during regular business hours.

<http://www.cityofsalem.net/planning>

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DECISION OF THE SALEM HISTORIC LANDMARKS COMMISSION

CASE NO. Historic Review Case No. HIS18-04 / AMANDA No. 18-103262-DR

FINDINGS: Based upon the application materials, the facts and findings in the Staff Report incorporated herein by reference, and testimony provided at the Public Hearing of April 19, 2018, the Historic Landmarks Commission (HLC) finds that the applicant adequately demonstrated that their proposal complies with the applicable provisions of the Salem Revised Code (SRC) 230.065 as follows:

Salem Revised Code (SRC) 230.065. General Guidelines for Historic Contributing Resources.

FINDINGS

Salem Revised Code (SRC) 230.065. General Guidelines for Historic Contributing Resources.

(a) *Except as otherwise provided in [SRC Chapter 230], the property shall be used for its historic purpose, for a similar purpose that will not alter street access, landscape design, entrance(s), height, footprint, fenestration, or massing.*

Finding: The HLC finds that the applicant does not propose to change the use of the property from its existing use as a single family residence and that the proposal meets this Guideline.

(b) *Historic materials, finishes and distinctive features shall, when possible, be preserved and repaired according to historic preservation methods, rather than restored.*

Finding: The HLC finds that the windows have been damaged beyond repair and every attempt will be made to repair and re-install them. If they cannot be reinstalled, they will be replaced with windows that replicate the original in design and material. No other character defining original historic materials have been proposed for alteration or removal. The existing front porch stairs are not original to the Yoder House, and neither are the rear upper deck and sunporch. The HLC finds that the proposal meets this criterion.

(c) *Distinctive stylistic features or examples of skilled craftsmanship significance shall be treated with sensitivity.*

Finding: The HLC finds that the applicant is proposing to replace 24 original windows throughout the house which have been damaged due to the settling of the building as a result of the poor foundation construction under the front porch and bay window. The HLC finds that the applicant is requesting approval to replace these windows with windows that will be custom made of hemlock and which will match the design and profile of the original windows. No other original, historic character defining or distinctive stylistic features are proposed for alteration or removal. The skilled craftsmanship represented by the original window trim will remain and be

repaired as necessary prior to installation of the proposed new windows. The HLC finds that the proposal meets this criterion.

(d) *Historic features shall be restored or reconstructed only when supported by physical or photographic evidence.*

Finding: The HLC finds that the proposal includes reconstruction of the windows that will be replaced as a result of the stabilization of the house on a new foundation and that this reconstruction will be based upon physically matching the new windows to the original. The HLC finds that the proposal meets this criterion.

(e) *Changes that have taken place to a historic resource over the course of time are evidence of the history and development of a historic resource and its environment, and should be recognized and respected. These changes may have acquired significance in their own right, and this significance should be recognized and respected.*

Finding: The changes made to the resource in the 1980s (rear sun porch and upper deck) are not character defining, and have not acquired significance in their own right. They are additions to the original resource. The HLC finds that replacement materials are wood, and the design of the new wooden railings will be of the same style as the front porch, ensuring that they are compatible with the resource and that the proposal meets this Guideline.

(f) *Additions and alterations shall be designed and constructed to minimize changes to the historic resource.*

Finding: The HLC finds that the applicant is not proposing any new additions to the resource. The HLC finds that the proposed alterations include materials and a design that are compatible with the Yoder House, and minimize changes to the resource. The proposed window replacements will be installed within the original window frames, which will be retained and repaired if needed. The HLC finds that the proposal meets this criterion.

(g) *Additions and alterations shall be constructed with the least possible loss of historic materials and so that significant features are not obscured, damaged, or destroyed.*

Finding: The HLC finds that the proposal is primarily intended to correct structural deficiencies throughout the Yoder House, and includes a request for approval to install a new foundation under the front porch and bay window; reconstruct the front stairs; replace the rear upper deck and rails and reconstruct the rear sun porch steps and associated handrails. The HLC finds that these alterations will not result in the loss of historic materials, and will not obscure, damage or destroy any significant features of the Yoder House, thereby meeting this Guideline. The HLC finds that while every effort will be made to repair and reinstall the original windows identified throughout the Yoder House, the applicant has requested approval to replace them due to their initial assessment that they cannot successfully be reinstalled, due to the damage caused by the settling of the house. The replacement windows will be an in-kind replacement and installed

within the original window frames, with the original window trim retained. The HLC finds that the proposal meets this criterion.

(h) *Structural deficiencies in a historic resource shall be corrected without visually changing the composition, design, texture, or other visual qualities.*

Finding: The HLC finds that the applicant has proposed to correct the structural deficiencies by installing a new foundation. This correction may result in the replacement of a total of 24 original windows. The HLC finds that these windows will replicate the original in material and design, retaining the appearance of the historic resource. The HLC finds that the proposal meets this Guideline.

(i) *Excavation or re-grading shall not be allowed adjacent to or within the site of a historic resource which would cause the foundation to settle, shift, or fail, or have a similar effect on adjacent historic resources.*

Finding: The HLC finds that while a minimal amount of excavation is required under the house in order to level the soil, construct forms, and pour new foundation footings, the applicant does not propose significant excavation or grading as part of the proposal. The HLC finds that the intent of the proposal is to correct the damage caused by the previous foundation work which caused the foundation to settle and damage the resource. The HLC finds that this Guideline has been met.

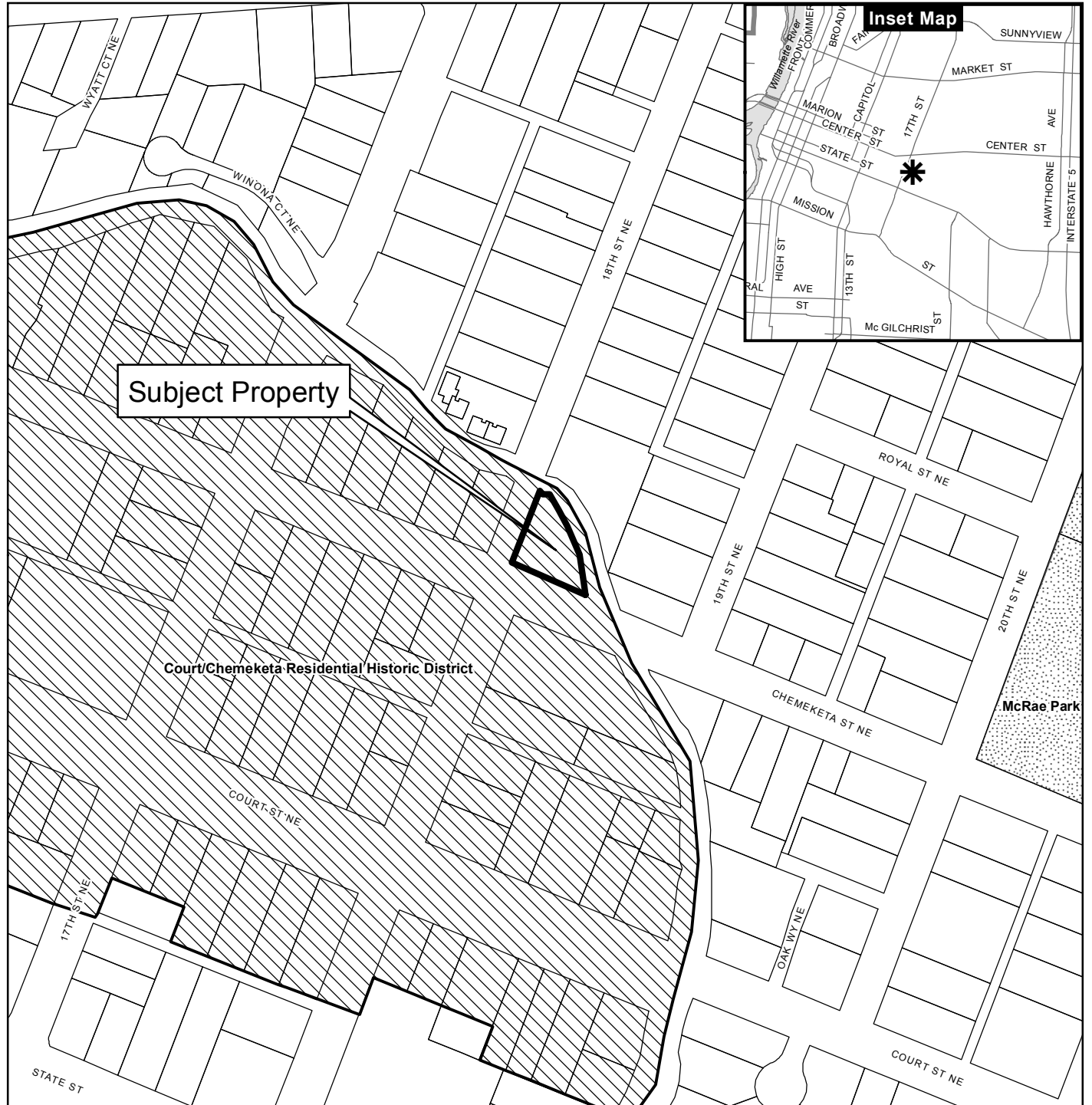
DECISION: The Historic Landmarks Commission **APPROVES** the HIS18-04 proposal.

VOTE: Yes 7 No 0 Absent 2 (Pearson, Larsen) Abstain 0






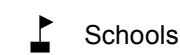

Attachments: A. Vicinity Map
B. Excerpt from National Register Historic Resource Document
C. Applicant's Submittal Materials

Prepared by Kimberli Fitzgerald, Historic Preservation Officer

Vicinity Map 1811 Chemeketa St NE



Legend

-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools
-  Parks



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78. DANIEL S. YODER HOUSE (1891) PRIMARY (Contributing)

1811 Chemeketa Street NE; Assessor's Map 26AB073W; 073W-26AB-13500; Tax Lot 1-84400-560

Owner: Betty Darlene Dehamer, 4946 Orchard Heights Rd. NW, Salem, OR 97304

Description and Cultural Data: This is a small two-story front-gabled Vernacular wood house with a prominent east-facing side gable, forming an el. An additional one-story section, perhaps an addition, is attached at the back (north) side, at the bank of Mill Creek. The house stands at the northeast corner of Chemeketa and 18th Streets, and a flat roofed porch wraps around portions of the street-facing walls. The porch is supported by six square piers on a vertical board balustrade. The rest of the house has been covered with modern shingles, but the original cornerboards and window woodwork have been left visible. The windows, both single and paired, are one-over-one double-hung sash. O. E. Krausse sold this lot for \$100 to Forester W. Royal, a carpenter, in April 1890. Royal sold it to Daniel S. Yoder, also a carpenter (and later a teacher), in December the same year for \$125. Yoder built the house and is listed as a resident in it in 1891 and 1893. He sold it in 1893, and it has had numerous owners since.

Case No. _____

Historic Alteration Review Worksheet

Site Address: 1811 Chemeketa St NE, Salem, OR 97301

Resource Status: Contributing Non-Contributing Individual Landmark

Type of Work Activity Proposed: Major Minor

Chose One: Commercial District Individual Resource Public District
Residential District Sign

Replacement, Alteration, Restoration or Addition of:

Architectural Feature:

- Awning
- Door
- Exterior Trim, Lintel
- Other architectural feature
- Roof/Cornice
- Masonry/Siding
- Storefront

Landscape Feature:

- Fence
- Streetscape
- Other Site feature (describe)
Stairs + railings

New:

- Addition
- Accessory Structure
- Sign
- Mural
- Accessibility Ramp
- Energy Improvements
- Mechanical Equipment
- Primary Structure

Window(s) Number of windows: 15


Will the proposed alteration be visible from any public right-of-way? Yes No

Project's Existing Material: Concrete, wood Project's New Material: concrete, wood
cinderblock

Project Description

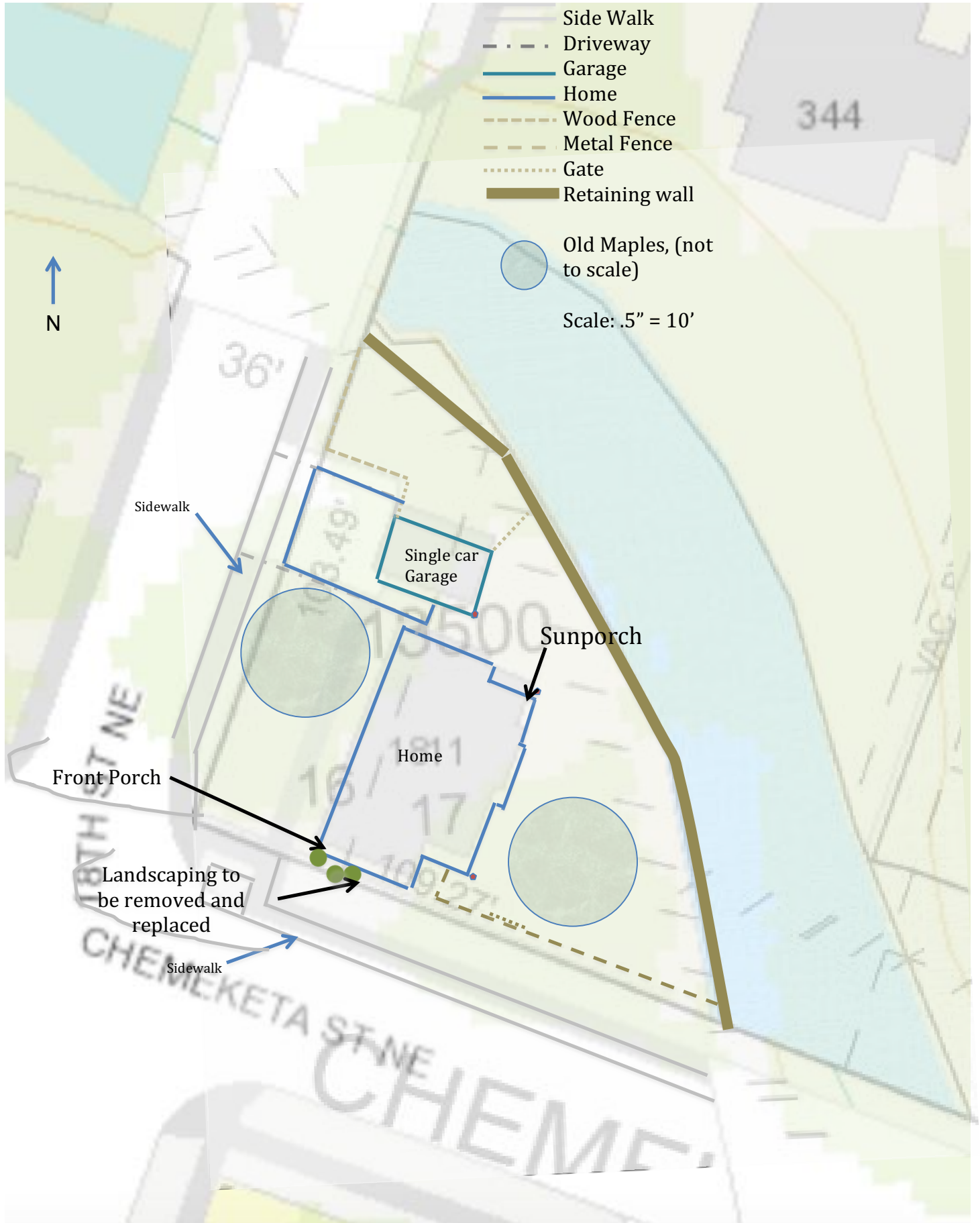
Briefly provide an overview of the type of work proposed. Describe how it meets the applicable design criteria in SRC Chapter 230. Please attach any additional information (i.e., product specification sheets) that will help staff and the HLC clearly understand the proposed work:

Repair foundation, rebuild windows
replace concrete stairs with wood stairs +
railings. replace 1980 vintage stairs/railings
with ~~his~~ railings consistent with the
historic neighborhood. Please see presentation

Signature of Applicant 

1/30/18
Date Submitted/Signed

Application for historic home repair approval 2/2018
Gary and Carolyn, Lawson 1811 Chemeketa ST NE., Salem Oregon



Daniel S Yoder House
1811 Chemeketa St NE
Salem, OR 97301

Proposal for: Foundation maintenance, window repair, front steps and railings

February, 2018

Purpose

The purpose of this presentation is to demonstrate the severity of the issues with specific sections of the foundation of the Daniel S Yoder house. The issues are related to additions or modifications to the home prior to inclusion on the historic register.

Thankfully, the foundation in the main living spaces of the home are in good shape, but as you will see, the substandard workmanship in two areas 1) the foundation of the front porch and 2) the foundation of the back porch, now a sunporch, both of which are threatening the home.

Front Porch and Bay Window Foundation

Street View

This street view from Chemeketa shows the front wrap-around porch.

This is the area in the worst condition. The front porch appears to have had a foundation replacement sometime that was done in a substandard manner.

The porch and bay window foundation is dry stack cinderblock with no concrete or other stabilizing materials except chicken wire. The footing that the block rest on is not sufficient to prevent settling.



Front Porch and Bay Window Foundation

Porch View From Entry Steps

This a view from the stair side of the porch. The slope is a little exaggerated by the photograph, but it does show that the drop of the porch from square relative to the post in the foreground and the exterior wall of the bay window. To provide perspective, the far right corner of the porch is supported by the slipping foundation we just saw.



Front Porch and Bay Window Foundation

Exterior Photos

The photos from the exterior show that very little if any of the actual foundation shows from the exterior of the house. It also shows something more disturbing – upon close examination you will see there is no mortar, concrete or other binding material. These are hollow blocks filled with loose rock for stability.



Front Porch and Bay Window Foundation

Contributing Factors –
Improperly Designed
Stairs - No Supporting
Foundation.

Looking at the stairs themselves, not only are they weathered they are very unattractive and not in keeping with the character of the house.

The design of the stairs is a contributing factor to the ongoing damage to the porch. There is no continuous foundation behind the stairs. The stairs themselves are used as unattached support for the front porch. This picture shows the porch sliding away from the concrete stairs.



Front Porch and Bay Window Foundation

Close-up Exterior Photos

Close up showing no mortar or cement of any kind. This photo shows that the foundation is slipping apart



This photo shows that there are plants beginning to grow in the cracks.



Front Porch and Bay Window Foundation

View Underneath Bay Window

The bay window seen on the right in the street view photo on the second slide and is supported by the cinderblock stack to the right in this photo. The edge of the plastic tarp is evident in the foreground. On the left of the photo is the concrete foundation of the main house. Straight ahead is a hole dug between the house foundation and the foundation of the bay window where a sump pump was placed. The dry stack cinderblocks secured with chicken wire on the right face Chemeketa St NE.



Front Porch and Bay Window Foundation

Interior View Underneath Porch

The severity of the problem is seen from a crawl space accessed through the basement. The top course of block is the course above ground in the previous photo. The wood header in the photo is where the deck and the foundation attach. The footing below is the only concrete in this foundation section. This concrete runs about 8" deep. The cinderblocks are dry stacked upon one another.

The watermark on the blocks below show that the water has been seeping in for years. A previous owner covered the dirt with a plastic tarp to control the moisture level under the deck.



Front Porch and Bay Window Foundation

Foundation Wall Close Up

These photos are from underneath the porch, facing east.

The dark spot identified with the red circle shows a large gap due to shifting of the foundation. Above the dark gap to the left shows that the load of this corner is supported by about 2.5 inches of cinderblock.



The chicken wire is stapled to the underside of the bay window structure in the hopes of keeping the foundation blocks in place.



Front Porch and Bay Window Foundation

Additional Detail on Foundation Closeup

This is the same photo as in the last slide. It is the area directly under the bay window..

The standing red line represents an approximate 90 degree angle. The support is only a 4x4 and is off plumb by about 4 inches.

In this enlarged picture, several reasons for the shifting of the foundation are apparent.

- 1) There is no fill at all in many of the cinderblocks.
- 2) The foundation is slipping into the large hole created by the improperly installed sump pump.
- 3) The unfilled cinderblocks used as footers can not bear the weight of the structure.



Front Porch and Bay Window Foundation

Porch Settling Impacts Visible Inside the House

The view out this window looking toward 19th Street shows how far the floor has sunk in that area. The line of the window is about even with the line of the fence, but the floor has dropped nearly three inches as shown by the slope of the windowsill.



Front Stair Replacement Scope of Work

- Demo and remove existing concrete stairs
- Form and pour new concrete landing at base of stairs to matching the style of the current walkway
- Frame and build new stairs with railing on both sides. Primary materials for the new stairs will be clear cedar supports and railings with Doug-fir treads.
- Stairs will be trimmed out and ready for paint.
- Painting to be done by when the job is complete.

Front Porch Foundation Replacement Scope of Work

- Level front porch and construct new foundation
- Hang 4X6 beams no more than a span of 6' through the crawl space under the front porch
- Level the soil and install precast 18" pads with adjustable brackets under the beams
- Set 4X6 posts in the adjustable brackets
- Mechanically connect the posts to the beam and the post to the adjustable brackets
- Attempt to lift and level
- Once we have lifted to the maximum we will hand excavate the exterior soil around the foundation
- Cut and remove Concrete steps to the front porch
- Remove the dry stacked block, we will leave the solid concrete pillars
- Drill and set steel into the existing footing and the concrete pillars to help bind new concrete
- Build and set forms flush with existing pillars
- Set a steel grid inside new concrete foundation
- Pour Concrete and let set, remove the forms
- Back fill excavated soil

Sunporch Foundation

Sunporch View From Back Yard

By the leaded glass windows, the sunporch looks to have been added somewhere around the 1930's. A deck and balcony above were added at the same time. Sometime in the early 1980's prior to listing on the Historic Register, both were updated.

The estimated time frame for the improvements comes from both the style of railings used on the deck and the pier and post system used as a foundation.



Sunporch Foundation

Sunporch Footings and Posts

The close up of the footing shows that it is a single concrete block with no foundation or structure underneath it. It is sitting on bare earth. Close examination shows that this footing is not sitting square to the ground but is angled toward the lath covering.



Sunporch Foundation

Impacts of Settling of Sunporch

The windows of the sunporch are lovely, but they are being bent and pushed out of the frame as the sunporch sinks and shifts due to the lack of proper foundational structure.

That outside corner of the sun porch (which is the left side in the photos) is sinking. Though difficult to see against the dark trim in the photo, the upper corner of that same window shows a gap of greater than ½ inch.

This shifting sunporch is literally pulling the house in its direction. Many kitchen cupboard doors no longer close properly, and there is a noticeable shift which can be felt when walking on the upstairs area near this side of the house.



Sunporch and Upper Deck Scope of Work

- Set temporary posts
- Attempt to lift and level area
- Excavate soil, form and pour new footings
- Set and plumb new pressure treated 4X6 posts
- Mechanically connect the posts to the beams and to the footings
- Rebuild stairs and upper deck using the same style and materials proposed for the front stairs, specifically clear cedar supports and railings with Doug-fir treads

Upper Deck

Needed Deck Replacement

During the 1980s (estimated) remodel, the railing of the deck was replaced with a style common at that time, diminishing the historic look and feel of the deck.

Additionally, the wood decking is not historic, but instead is common painted lumber. That deck now has rotted and soft areas making it a serious safety issue.



Windows

Needed Window Reconstruction

The issues with the sunporch foundation combined with the foundation issues under the front porch have literally been slowly twisting the house. Many of the windows have been shaved or altered a little at a time over the years to accommodate the shifting of the house. Virtually every window in the house must be rebuilt or replaced. The only thing that keeps rain and wind from entering the house are 80's vintage exterior aluminum storm windows.

Additionally, a contractor who looked at the house and examined the basement of the main structure indicated that while the foundation of the main structure of the house is level and sound, lifting the sun porch and bay/front deck area is likely to cause cracks in the lath and plaster, window breakage and the inability to open or close doors. It is likely nearly every door and doorframe, every window and window frame will have to be removed, rebuilt or re-squared or worst case replaced. He went so far as to say that he would not allow his team to do this work with the windows in place due to the risk of breakage and flying glass.



Proposal: Replace Front Porch Foundation

Old exterior view of the front porch foundation



New exterior view will match the look of the main house foundation as shown here.



Proposal: Replace Concrete Steps with Wood Steps

Old concrete stairs and railings



New stairs and railings (proposed).
This photo is from another home
in the historic district.



Note: Consistent with the SRC 230, the materials used will be cedar and fir.

Proposal: Level Sunporch and Replace Upper Deck

- The stairs leading to the sunporch are in the same style as the railings on the upper deck. We propose replacing both sets of railings using the same style and materials as the front porch.



Proposal: Landscaping Removal/Replacement Window Reconstruction

- To maintain current street scape as required: Remove landscaping prior to an work so that it is not damaged, returning the existing plants and shrubs back into place when the job is completed. If the plants or

shrubs are damaged, replace those plants

- To preserve original windows to the extent possible with similar as required or significantly by SRC similar plants and 230, windows will

be removed prior to the lifting of the shrubs.

foundation. Prior to reinstallation, windows will be rebuilt with double paned thermal glazing and weather sealing construction in a manner to preserve the historic look from the exterior, allowing permanent removal of the non-historic storm windows.

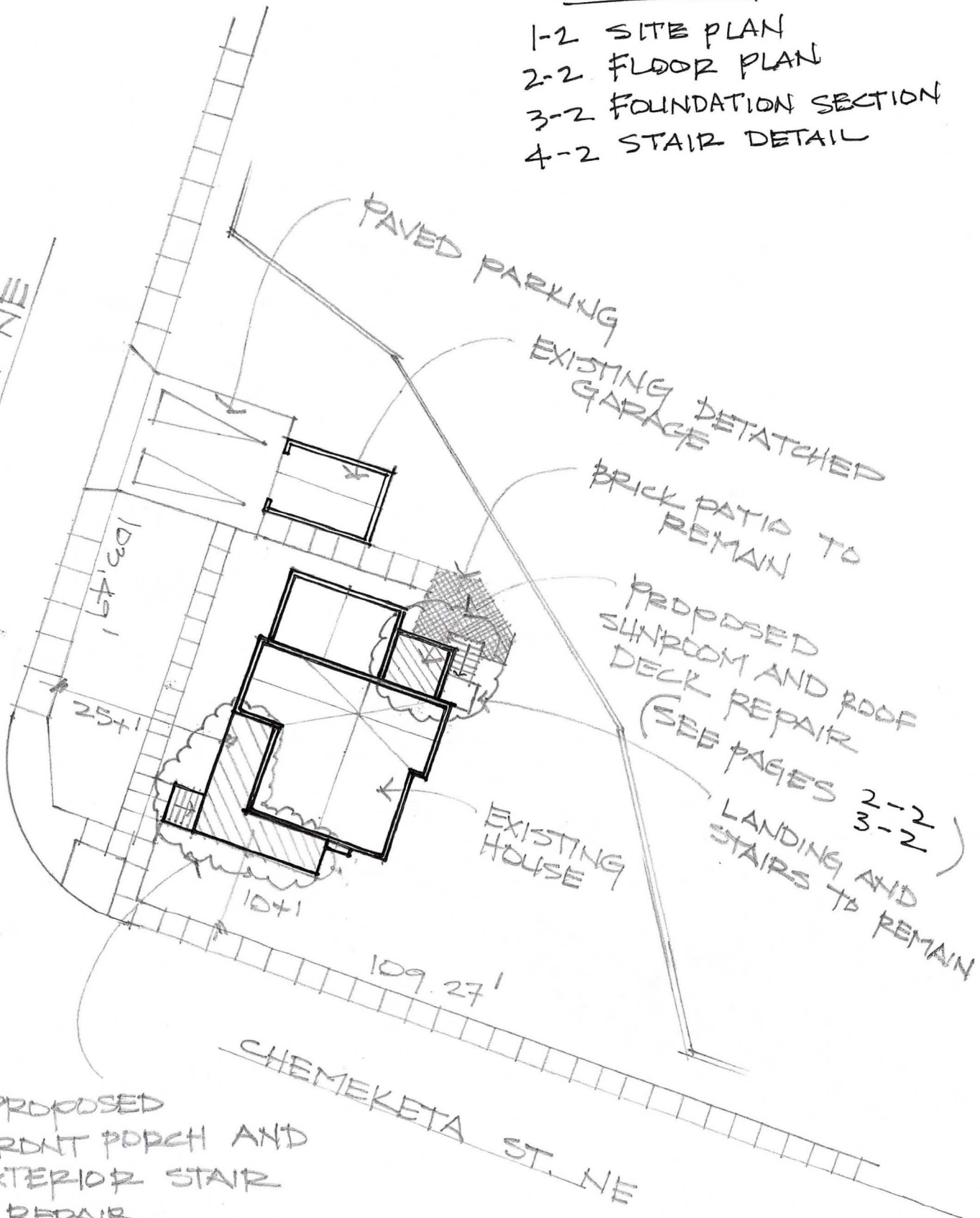


INDEX

- 1-2 SITE PLAN
- 2-2 FLOOR PLAN
- 3-2 FOUNDATION SECTION
- 4-2 STAIR DETAIL

NORTH ↑

1874 ST. NE



PROPOSED
FRONT PORCH AND
EXTERIOR STAIR
REPAIR

(SEE PAGES 2-2
3-2
4-2)

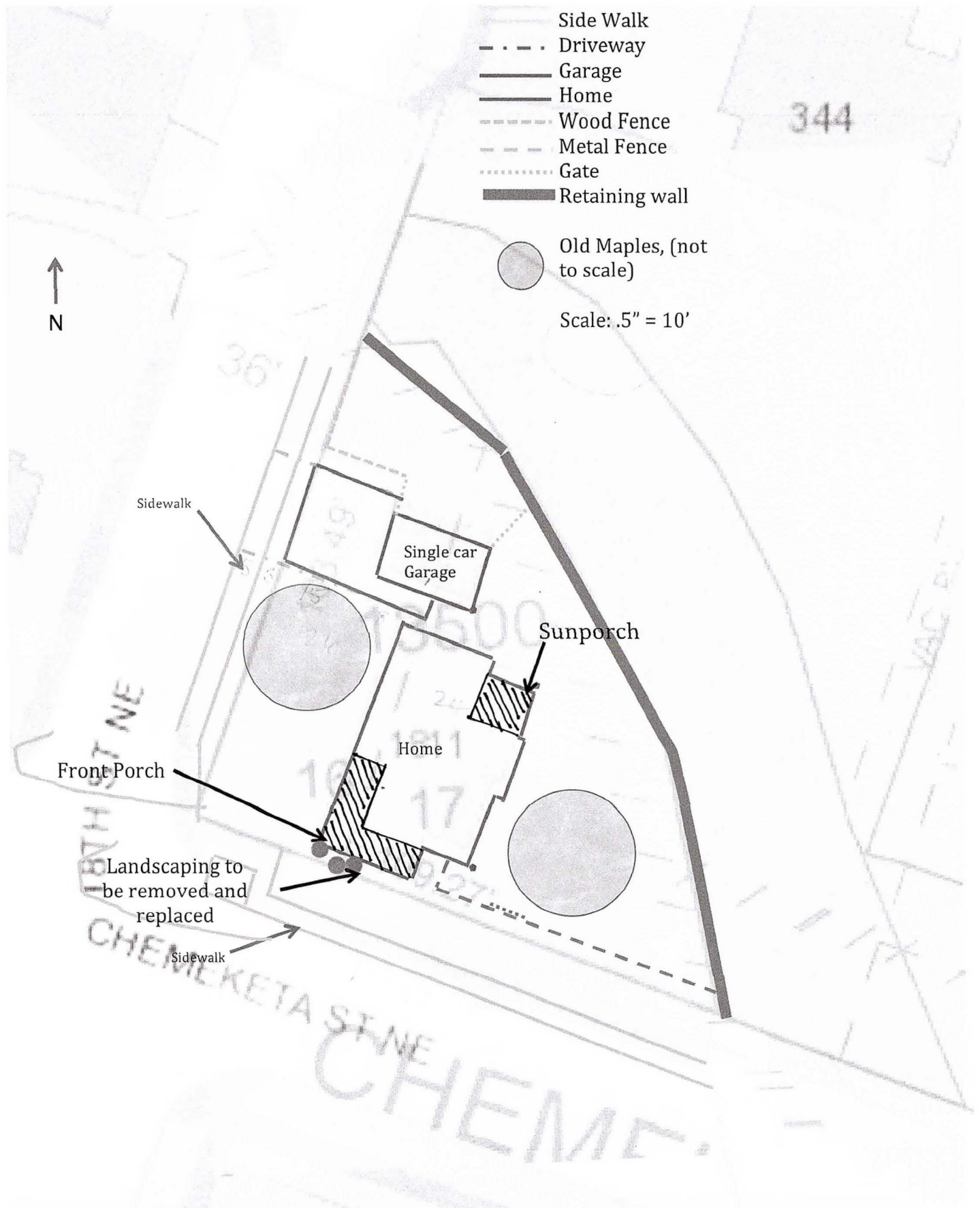
SITE PLAN

1" = 20'

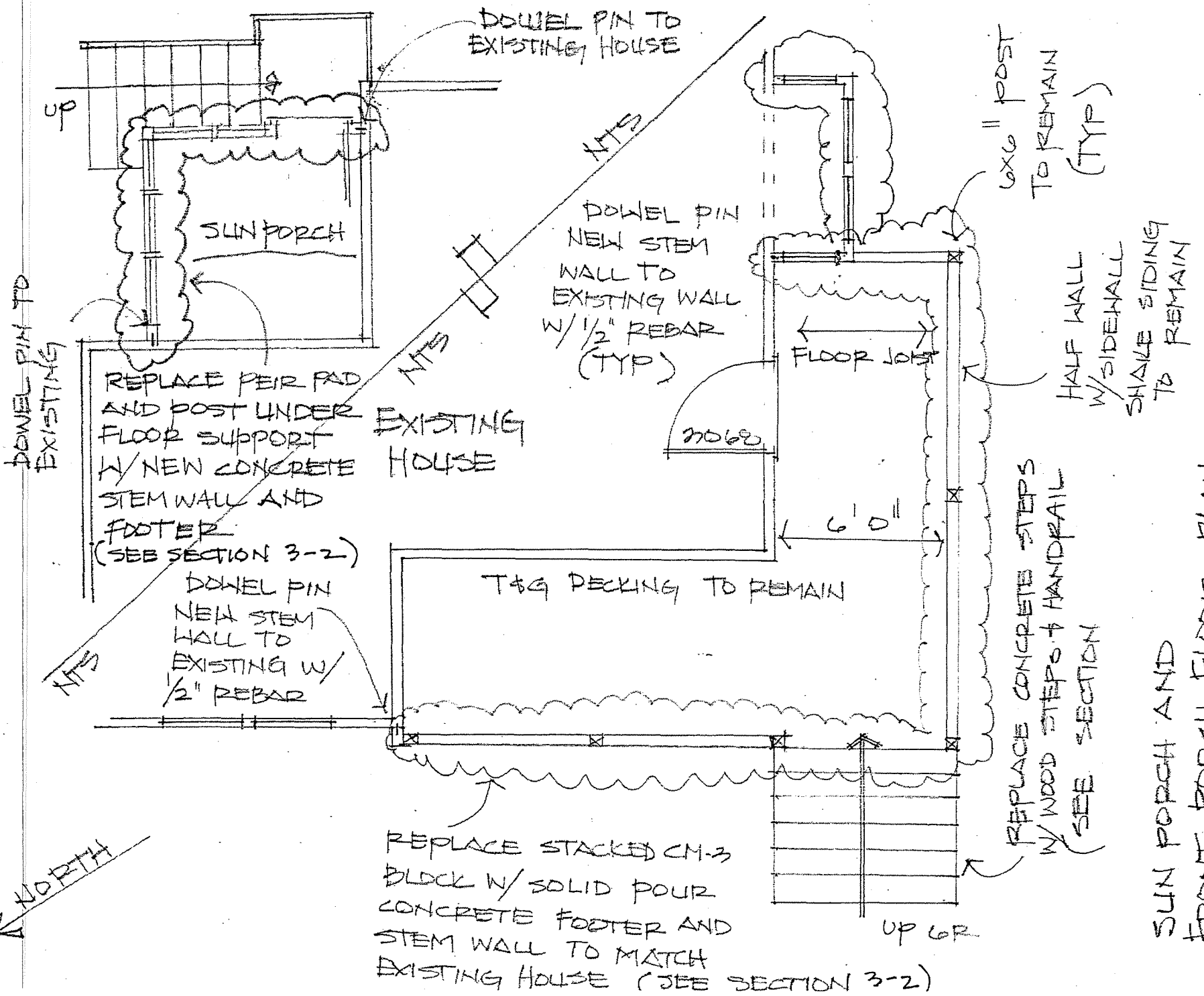
PG 1-2

1811 CHEMEKETA ST NE
SALEM OR.

Application for historic home repair approval 2/2018
Gary and Carolyn, Lawson 1811 Chemeketa ST NE., Salem Oregon



NORTH



REPLACE PEIR PAD AND POST UNDER FLOOR SUPPORT W/ NEW CONCRETE STEM WALL AND FOOTER (SEE SECTION 3-2)

DOWEL PIN NEW STEM WALL TO EXISTING W/ 1/2" REBAR

REPLACE STACKED CM-3 BLOCK W/ SOLID POUR CONCRETE FOOTER AND STEM WALL TO MATCH EXISTING HOUSE (SEE SECTION 3-2)

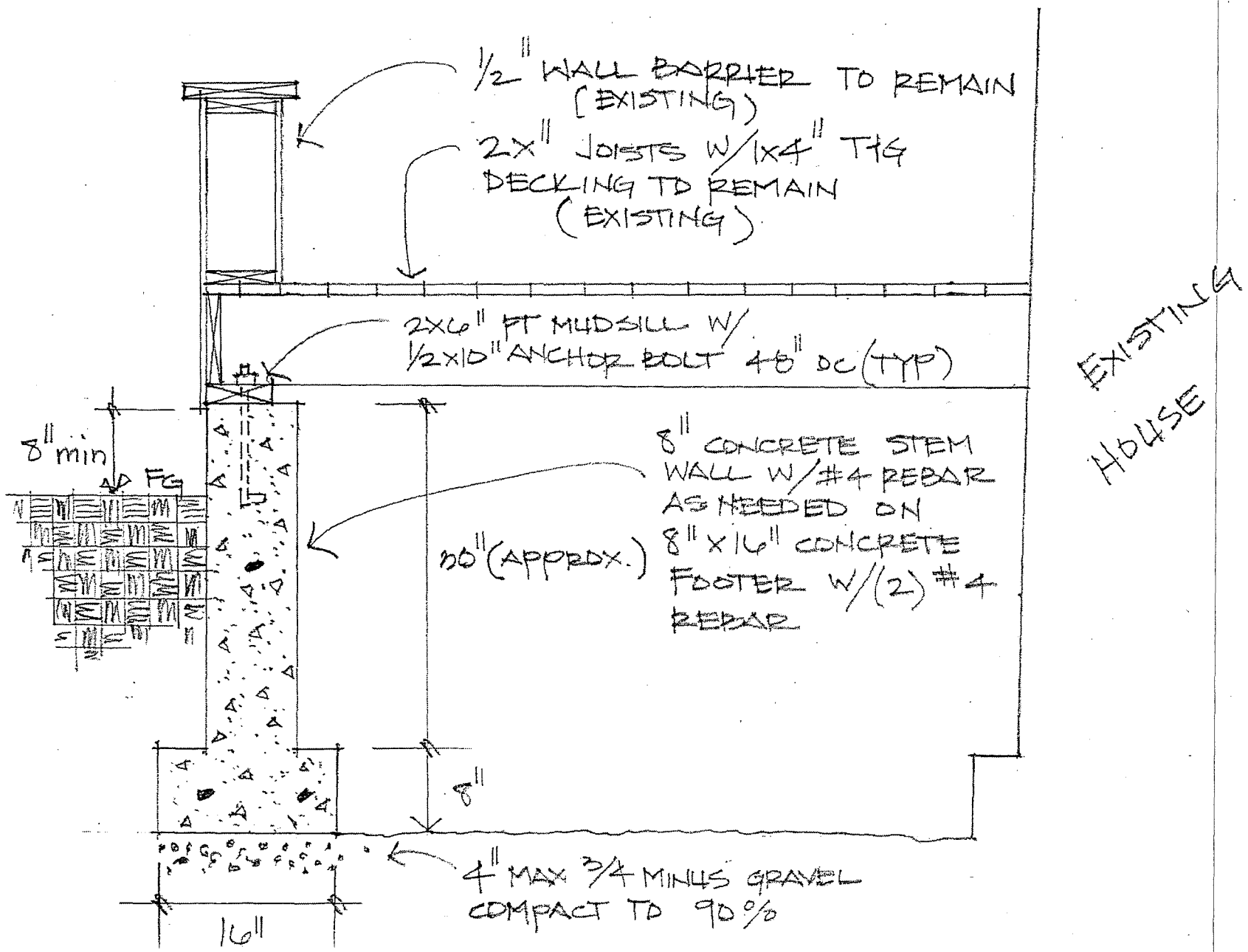
DOWEL PIN NEW STEM WALL TO EXISTING WALL W/ 1/2" REBAR (TYP)

6x6" POST TO REMAIN (TYP)

HALF WALL W/ SIDEWALL SHAKE SIDING TO REMAIN

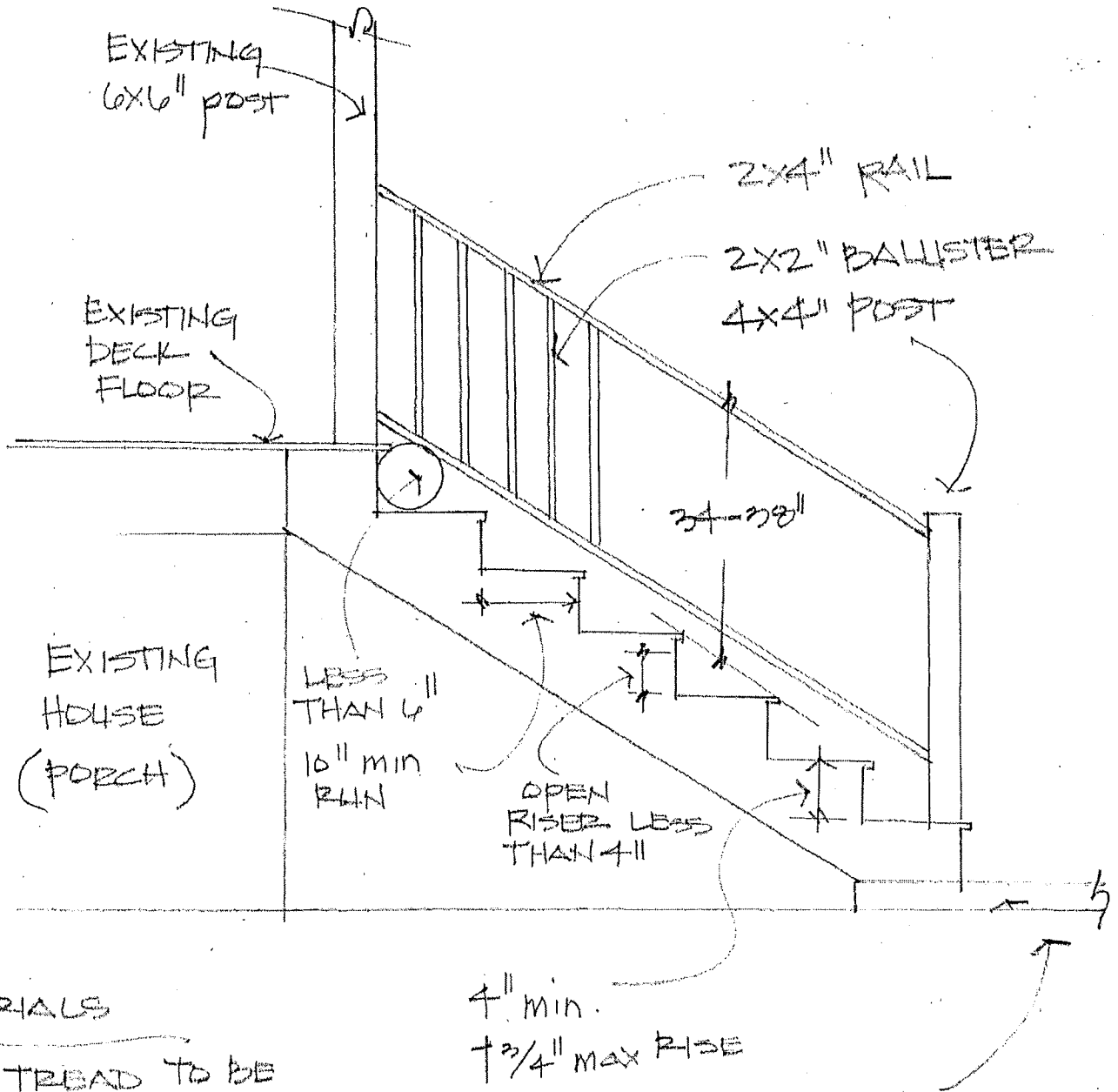
REPLACE CONCRETE STEPS W/ WOOD STEPS + HANDRAIL (SEE SECTION)

SUN PORCH AND FRONT PORCH FLOOR PLAN
1/4" = 1' 0"



FRONT PORCH FOUNDATION

1" = 1' 0"



MATERIALS

- STAIR TREAD TO BE WOOD AND PAINTED TO MATCH DECK FLOOR
- 2X12" P.T. STRINGER 24" DC
- HAND RAIL TO BE 2X4 RAILS AND 2X2 BALUSTER PAINTED TO MATCH EXISTING PORCH

LANDING TO BE SAME WIDTH + EXTEND 36" FROM STAIR NOSING

FRONT PORCH STAIRS AND HAND RAIL DETAIL