

NOTICE OF DECISION

PLANNING DIVISION
555 LIBERTY ST. SE, RM 305
SALEM, OREGON 97301
PHONE: 503-588-6173
FAX: 503-588-6005



*Si necesita ayuda para comprender esta informacion, por favor llame
503-588-6173*

DECISION OF THE PLANNING ADMINISTRATOR

HISTORIC DESIGN REVIEW CASE NO.: HIS18-12

APPLICATION NO. : 18-107916-DR

NOTICE OF DECISION DATE: MAY 4, 2018

SUMMARY: A proposal to install new awnings and HVAC mechanical equipment on the Gray Building (c.1891).

REQUEST: Minor historic design review of a proposal to replace two existing metal awnings with one new metal awning and one new fabric awning on the front facades, and install new HVAC mechanical equipment on the roof of the Gray Building (c.1891), a contributing resource within the Downtown Historic District, on property in the CB (Central Business) zone, and located at 105-135 Liberty Street NE- 97301 (Marion County Assessor Map and Tax Lot number: 073W27AB06300).

APPLICANT: Gretchen Stone for McLeod Brothers and Sisters LLC

LOCATION: 105-135 Liberty Street NE

CRITERIA: Salem Revised Code Chapter 230.040. Standards for Contributing Buildings and Structures in Commercial Districts.

FINDINGS: The findings are in the attached Decision dated May 4, 2018.

DECISION: The Planning Administrator **APPROVED** Historic Design Review Case No. HIS18-12 based upon the application materials deemed complete on May 3, 2018 and the findings as presented in this report.

*This Decision becomes effective on **May 22, 2018**. No work associated with this Decision shall start prior to this date unless expressly authorized by a separate permit, land use decision, or provision of the Salem Revised Code (SRC).*

The rights granted by the attached decision must be exercised, or an extension granted, by **May 22, 2020** or this approval shall be null and void.

Application Deemed Complete: May 3, 2018
Notice of Decision Mailing Date: May 4, 2018
Decision Effective Date: May 22, 2018
State Mandate Date: August 31, 2018

Case Manager: Kimberli Fitzgerald, kfitzgerald@cityofsalem.net, 503.540.2397

This decision is final unless written appeal from an aggrieved party is filed with the City of Salem Planning Division, Room 305, 555 Liberty Street SE, Salem OR 97301, no later than **5:00 p.m., Monday, May 21, 2018**.

HIS18-12 Decision
May 4, 2018
Page 2

The notice of appeal must contain the information required by SRC 300.1020 and must state where the decision failed to conform to the provisions of the applicable code section, SRC Chapter 230. The appeal must be filed in duplicate with the City of Salem Planning Division. The appeal fee must be paid at the time of filing. If the appeal is untimely and/or lacks the proper fee, the appeal will be rejected. The Historic Landmarks Commission will review the appeal at a public hearing. After the hearing, the Historic Landmarks Commission may amend, rescind, or affirm the action, or refer the matter to staff for additional information.

The complete case file, including findings, conclusions and conditions of approval, if any, is available for review at the Planning Division office, Room 305, City Hall, 555 Liberty Street SE, during regular business hours.

<http://www.cityofsalem.net/planning>

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503-588-6173***

BEFORE THE PLANNING ADMINISTRATOR OF THE CITY OF SALEM

**HISTORIC DESIGN REVIEW CASE NO. HIS18-12
DECISION**

**IN THE MATTER OF APPROVAL OF) MINOR HISTORIC DESIGN REVIEW
HISTORIC DESIGN REVIEW)
CASE NO. HIS18-12)
105 -135 LIBERTY ST. NE) May 4, 2018**

In the matter of the application for a Minor Historic Design Review submitted by Gretchen Stone on behalf of McLeod Brothers and Sister LLC, the Historic Preservation Officer (a Planning Administrator Designee), having received and reviewed evidence and the application materials, makes the following Finding and adopts the following order as set forth herein.

REQUEST

SUMMARY: A proposal to replace two existing metal awnings with one new metal awning and one new fabric awning on the front facades, and install new HVAC mechanical equipment on the roof of the Gray Building (c.1891).

REQUEST: Minor historic design review of a proposal to replace two existing metal awnings with one new metal awning and one new fabric awning on the front facades, and install new HVAC mechanical equipment on the roof of the Gray Building (c.1891), a contributing resource within the Downtown Historic District, on property in the CB (Central Business) zone, and located at 105-135 Liberty Street NE- 97301 (Marion County Assessor Map and Tax Lot number: 073W27AB06300).

A vicinity map illustrating the location of the property is attached hereto, and made a part of this decision (**Attachment A**).

DECISION

APPROVED based upon the application materials deemed complete on May 3, 2018 and the Finding as presented in this report.

FINDING

1. Minor Historic Design Review Applicability

SRC230.020(f) requires Historic Design Review approval for any alterations to historic resources as those terms and procedures are defined in SRC 230. The Planning Administrator shall render a decision supported by Finding that explain conformance or

lack thereof with relevant design standards, state the facts relied upon in rendering the decision, and explain justification for the decision.

2. Analysis of Minor Historic Design Review Approval Criteria

The applicant is proposing to replace two existing metal awnings with one new metal awning and one new fabric awning on the front facades, and install new HVAC mechanical equipment on the roof of the Gray Building. Staff determined that the following standards from SRC 230.045(j) (Mechanical Equipment) are applicable to this project.

FINDINGS:

Standards for Contributing Buildings and Structures in Commercial Historic Districts (230.040) *Modifications to non-contributing buildings in commercial historic districts shall comply with this section.*

Awnings

The applicant is proposing to install 6' metal canopies throughout the Gray Building, with the exception of over the restaurant storefront for the Amadeus Restaurant, where a fabric canvas type canopy will be installed.

230.040(k) Awnings and Canopies. *Replacement or installation of awnings and canopies on historic contributing buildings is allowed.*

(1) Materials.

(A) *Materials that are compatible with the character of the building's period and style shall be used.*

Finding

The proposed new awning materials will be either metal or fabric, materials commonly found throughout the historic district, thereby meeting SRC 230.040(k)(1)(A).

(B) *Canvass is an approved material for awnings and canopies.*

Finding

The proposed new fabric awning is canvass, thereby meeting SRC 230.040(k)(1)(B).

(2) Design.

(A) *Awnings shall be located within window openings, and below transoms.*

Finding

The proposed new metal canopies and fabric awning are located within window openings and within the transom opening, thereby meeting SRC 230.040(k)(2)(A).

(B) *Umbrella-type awnings and non-historic forms are not permitted.*

Finding

The proposed new canopies and awning are not umbrella type, thereby meeting SRC 230.040(k)(2)(B).

(C) *Awnings shall be attached in such a manner that historic materials or features are not damaged.*

Finding

The proposed new canopies will be attached to the building by metal cables and affixed to the wall by a threaded rod welded to a ¼" plate covered with a decorative star cover plate. The new fabric awning will be stretched over a metal canopy frame affixed to the front of the building with bolts, thereby meeting SRC 230.040(k)(2)(C).

(D) *Marquees may be used where compatible with the building and neighboring buildings.*

Finding

The applicant is not proposing to install a marquee, therefore this criteria is not applicable to the evaluation of this proposal.

(E) *Awnings, canopies, or marquees shall not obscure significant architectural features on the building.*

Finding

The proposed new canopies and awning does not obscure significant architectural features of the Gray Building, thereby meeting SRC 230.040(k)(2)(E).

(F) *Awnings, canopies, or marquees shall have size, scale and design that is compatible with the building and neighboring buildings.*

Finding

The proposed new canopies and awning are typical of those found throughout the historic district, and compatible with the Gray Building, thereby meeting SRC 230.040(k)(2)(F).

HVAC Equipment

230.040(j) Mechanical Equipment and Service Areas. *Addition and replacement of mechanical equipment, including, but not limited to heating and cooling systems, solar panels and telecommunications equipment, and service areas including, but not limited to dumpster enclosures, is permitted.*

(1) Materials. *Materials shall be harmonious in type, color, scale, texture and proportions with the building and the district generally.*

Finding

The proposed new HVAC and associated equipment are metal, a material commonly found throughout the Gray Building and the Downtown Historic District, thereby meeting SRC 230.040(j)(1).

(2) Design.

(A) *Mechanical equipment and service areas should be located out of public view and designed as an integral part of the overall building design.*

Finding

The proposed new HVAC equipment is located on the roof, set back from the parapet, and not easily visible, thereby meeting SRC 230.040(j)(2)(A).

(B) *Mechanical equipment and service areas should be placed at the rear of the building, recessed on the roof of the building, or screened by appropriate fencing.*

Finding

The proposed new HVAC equipment will be placed on the roof of the Gray Building, recessed behind the parapet, thereby meeting SRC 230.040(j)(2)(B).

(C) *Low-profile mechanical units and elevator shafts may be placed on rooftops if they are not visible from the street, or set back and screened from view.*

Finding

The proposed new HVAC equipment is placed on the roof of the Gray Building, set back and screened by the parapet, not easily visible from the right of way, thereby meeting SRC 230.040(j)(2)(C).

(D) *Solar panels should have low profiles and not be visible from right-of-way, other than alleys, and shall be installed in a manner that minimizes damage to historic materials.*

Finding

The applicant is not proposing new solar panels, therefore this standard is not applicable to the evaluation of this proposal.

(E) *Skylights shall be flat and shall not alter the existing profile of the roof. Bubble-type skylights are prohibited.*

Finding

The applicant is not proposing new skylights, therefore this standard is not applicable to the evaluation of this proposal.

(F) *Mechanical equipment placed at street level should be screened in a manner that is compatible with the streetscape and adjacent buildings.*

Finding

The applicant is not proposing new mechanical equipment at street level, therefore this standard is not applicable to the evaluation of this proposal.

(G) New skylights and vents shall be placed behind and below the parapet level.

Finding

The applicant is not proposing new skylights or vents, therefore this standard is not applicable to the evaluation of this proposal.

DECISION

Based upon the application materials deemed complete on May 3, 2018 and the Finding as presented in this report, the application for HIS18-12 is **APPROVED**.



Kimberli Fitzgerald, AICP
Historic Preservation Officer
Planning Administrator Designee

Attachments: A. Vicinity Map
B. Applicant's Submittal Materials
C. SHPO Letter

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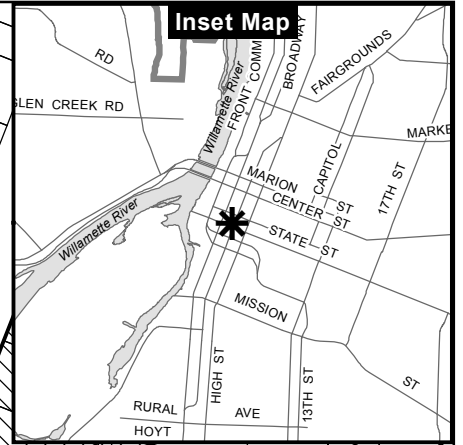
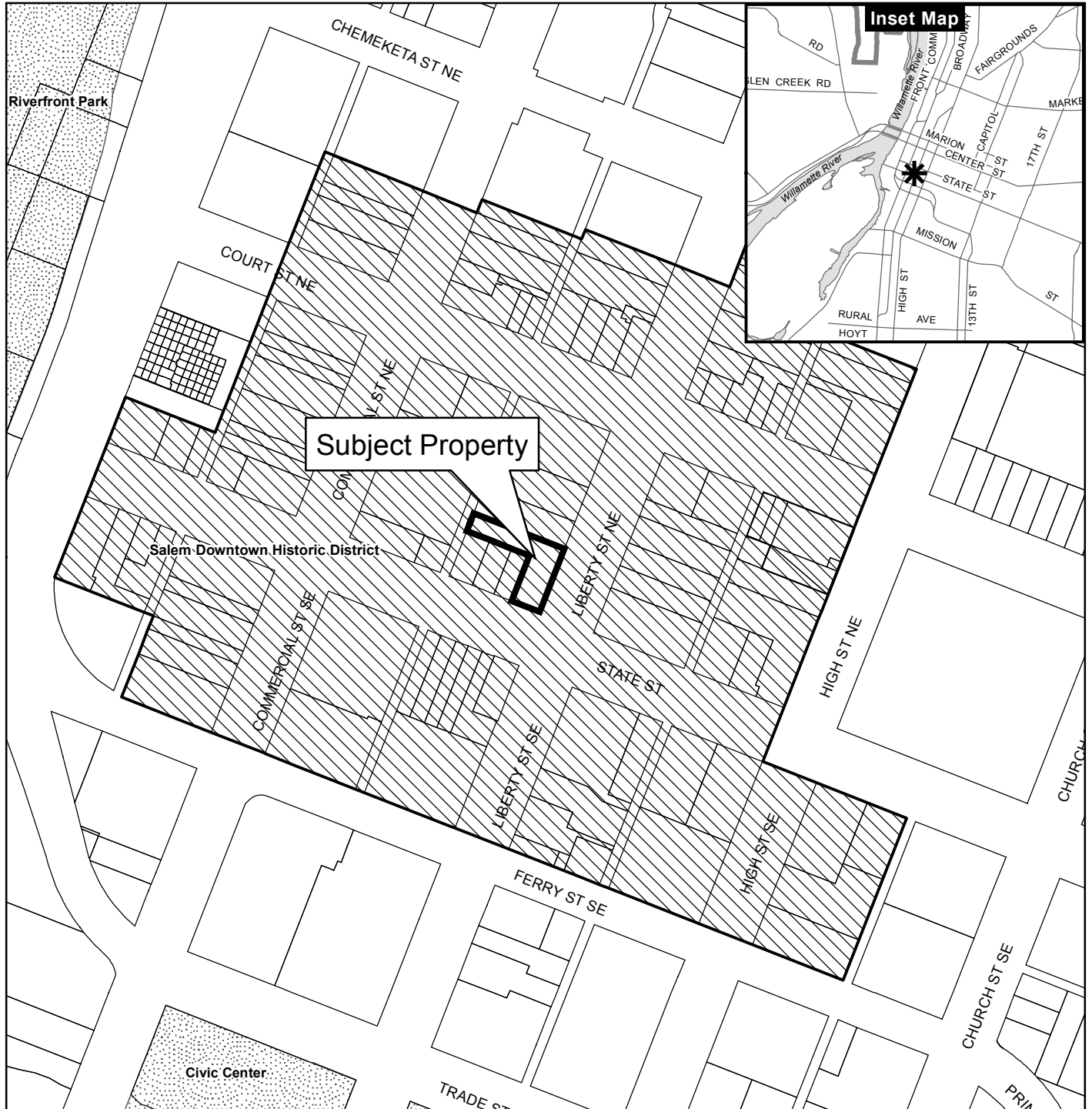
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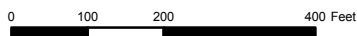
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Vicinity Map 105-135 Liberty Street NE



Legend

-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools
-  Parks



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Project Description

Minor Historic Design Review
The Gray Building
105 – 135 Liberty Street NE

Minor Historic Design Review approval is requested for revisions to previously approved new awnings proposed for the ground floor street façades and to allow for HVAC equipment to be installed on the roof of the Gray Building located at the northwest corner of Liberty and State Streets.

Mechanical Equipment –

The new HVAC mechanical equipment will be installed on the building's roof behind the buildings parapet walls. The parapet will screen the equipment from the public right of way as required by SRC 230.060(l), therefore meeting the design standards as needed. Please reference provided plans, sheets A2.2 Roof Plans and A5.0 Building Sections for mechanical equipment locations and screening information.

Awnings –

The original Historic Design Review for façade improvements included replacing existing non-conforming awnings with a horizontal metal type awnings of an approximate depth of 8 feet along the ground level of building's street fronting facades; however, due to structural issues not known at the time of the original approvals, the awning depth will need to be reduced in order for the property owner to include them in the restoration. Additionally, the new awning planned at the tenant space at 135 Liberty will have to be a fabric type with a shed profile, as there is no feasible way to provide the structural necessary for the horizontal metal type awnings. This particular tenant space has a different storefront condition that is not changing with the proposed façade improvements; it is separated from the new storefront systems by an existing wood entry door system and is the northern most tenant space in the Gray Building. Both awning types are compatible with the building and neighboring buildings, and can be found on the recently restored McGilchrist and Roth Building directly across Liberty from this project. As proposed, the revised awnings still meet the standards found in SRC 230.060(m) as required. Please reference provided plans, sheets A0.3 Wall Assemblies, A2.2 Roof Plans, A3.0 Exterior Elevations, A5.0 Building Sections, and A8.0 Exterior Details for detailed information of the awnings designs, locations, and connections confirming compliance with the code.

Case No. _____

Historic Alteration Review - General Resource Worksheet

Site Address: 105 - 135 Liberty Street NE Resource Status: Contributing
 Individual Landmark Non- Contributing

Type of Work Activity Proposed

Major Minor

Replacement, Alteration, Restoration or Addition of:

Architectural Feature:

- Deck
- Door
- Exterior Trim
- Porch
- Roof
- Siding
- Window(s) Number of windows: _____
- Other architectural feature (describe) _____

Landscape Feature:

- Fence
- Retaining wall
- Other Site feature
- Streetscape

New Construction:

- Addition
- New Accessory Structure
- Sign
- Awning

Will the proposed alteration be visible from any public right-of-way? YES NO

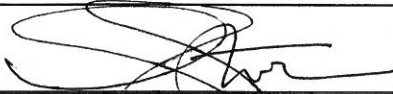
Project's Existing Material: Awnings were fabric Project's New Material:

New awnings to be metal, with an exception for awning over 135 Liberty Space, to be fabric. HVAC equipment being installed on roof.

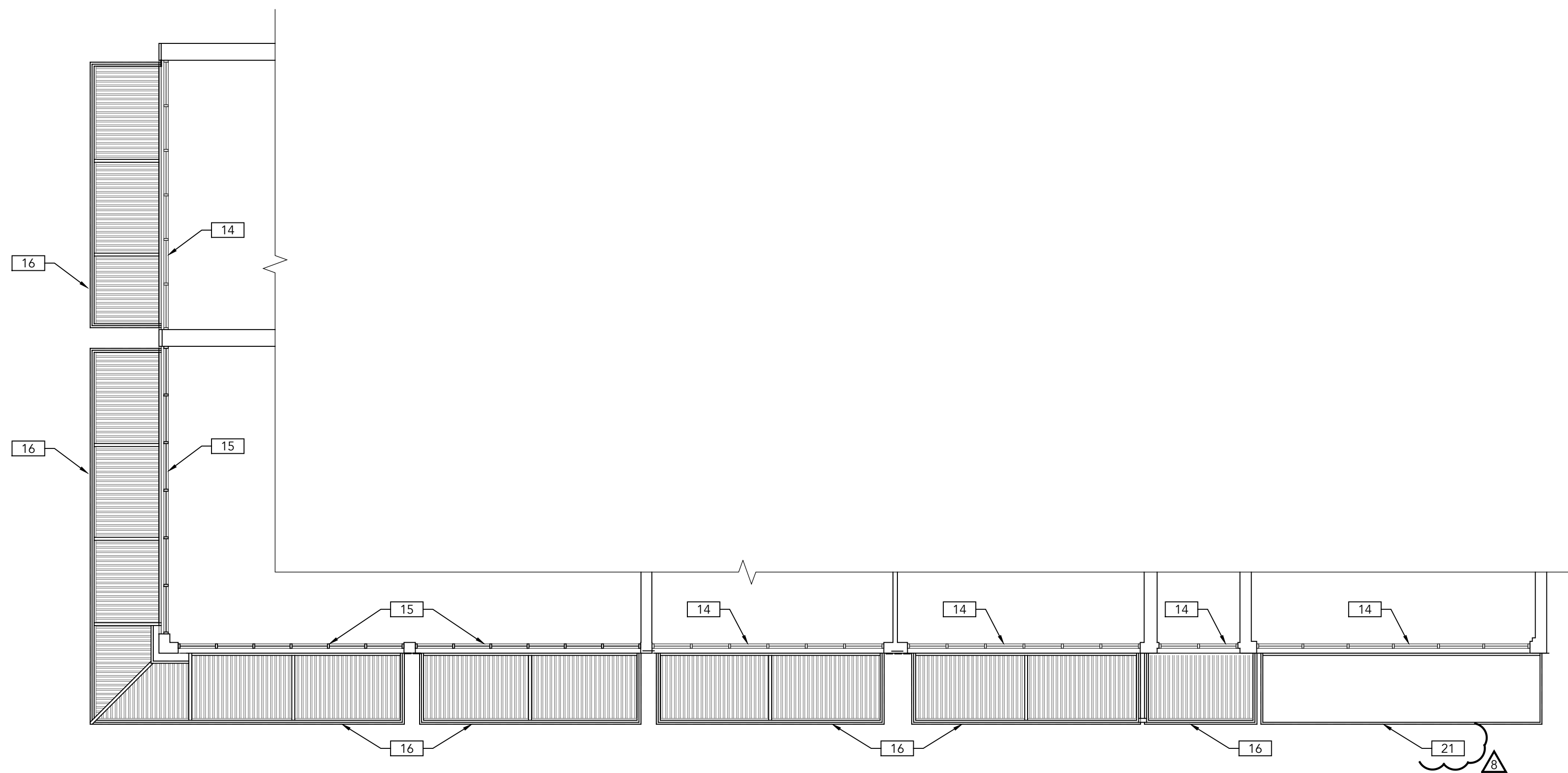
Project Description

Briefly provide an overview of the type of work proposed. Describe how it meets the applicable design criteria in SRC Chapter 230. Please attach any additional information (i.e., product specification sheets) that will help Staff and the HLC clearly understand the proposed work:

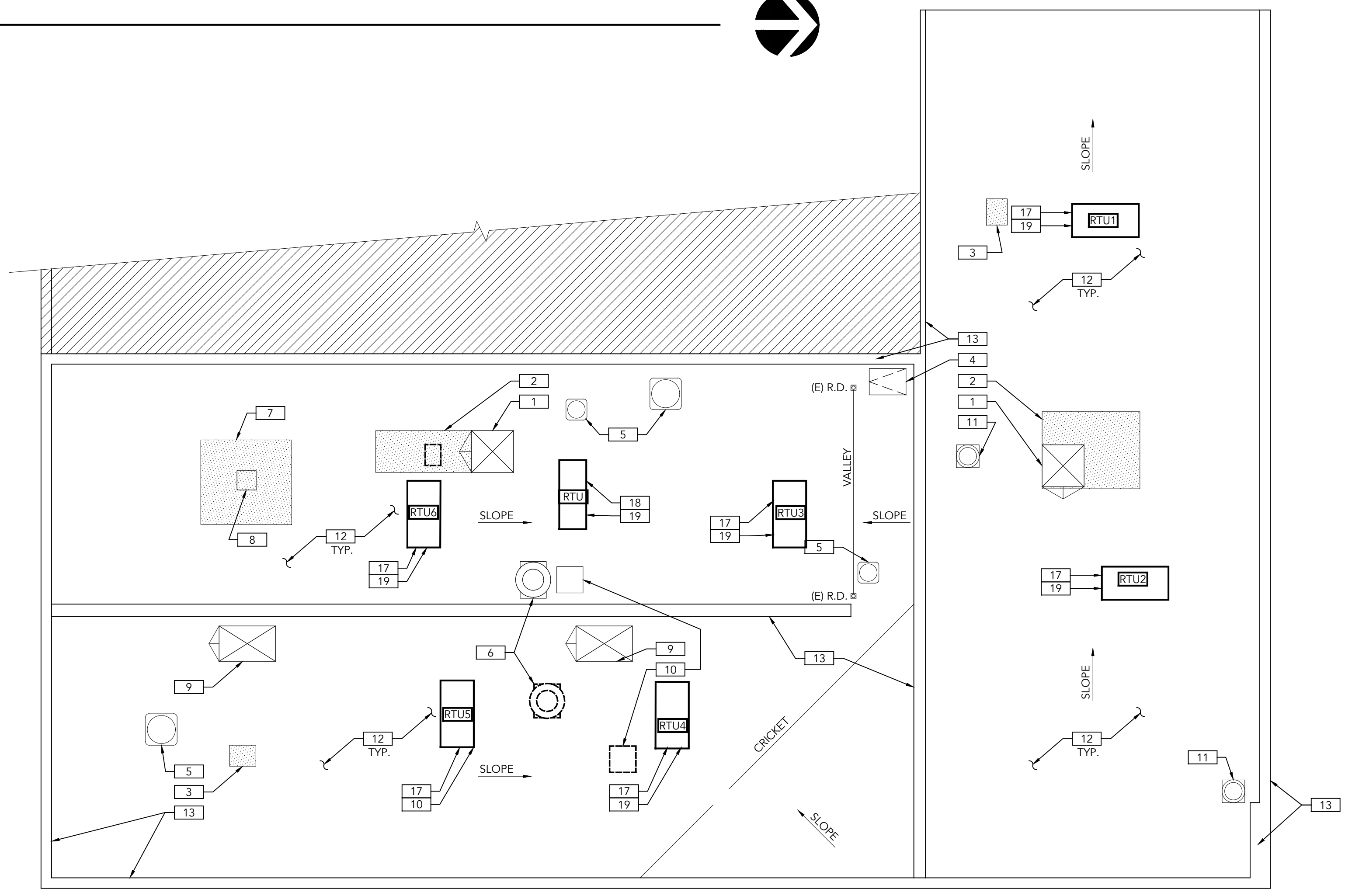
The project description is provided as an attachment to this form.


Signature of Applicant

4.4.18
Date Submitted/Signed



1 LOWER ROOF / CANOPY PLAN
SCALE: 1/8" = 1'-0"



2 UPPER ROOF PLAN
SCALE: 1/8" = 1'-0"

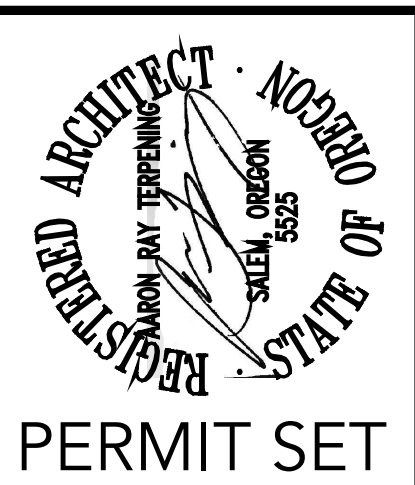
KEY NOTES

- 1 NEW 4'X4' SKYLIGHT
- 2 INFILL EXISTING SKYLIGHT OPENING
- 3 EXISTING ABANDONED OPENING - REMOVE FLASHING AND CURB, INFILL FRAME FLUSH TO EXISTING ROOF
- 4 NEW ROOF ACCESS HATCH
- 5 EXISTING AIR HANDLER UNIT
- 6 RELOCATE KITCHEN HOOD VENT
- 7 RECONSTRUCT ROOF IN THIS AREA FOR NEW ELEVATOR SHAFT
- 8 ELEVATOR SHAFT VENT PER MANUF.
- 9 EXISTING SKYLIGHT - INSPECT AND REINSTALL, OR REPLACE IF NECESSARY
- 10 RELOCATE AIR HANDLER UNIT
- 11 EXISTING VENT
- 12 REPLACE EXISTING ROOF W/ NEW TPO MEMBRANE ROOF
- 13 EXISTING PARAPET - PROVIDE NEW CAP FLASHING
- 14 EXISTING 6-BAY WINDOW SYSTEM TO BE RETAINED AND REPAIRED OR REPLICATED
- 15 REPLACE EXISTING 2-BAY WINDOW SYSTEM WITH NEW 6-BAY WINDOW SYSTEM TO MATCH ADJACENT HISTORIC WINDOWS
- 16 NEW STEEL AND METAL DECK CANOPY
- 17 NEW ROOFTOP UNIT
- 18 FUTURE MAKE UP AIR UNIT
- 19 14" MECHANICAL CURB
- 20 8" MECHANICAL CURB
- 21 NEW FABRIC AWNING

SYMBOLS LEGEND

(SEE SHEET A0.0 FOR ADDITIONAL SYMBOL DESCRIPTIONS)

- EXISTING TO BE REMOVED
- [Hatched Box] ADJACENT BUILDING (NO WORK THIS AREA)
- [Dotted Box] NEW ROOF FRAMING THIS AREA



PERMIT SET

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A LIMITED LIABILITY COMPANY
500 Liberty Street SE, Suite 100 / Salem, Oregon 97301
PH: 503.399.1399 / FX: 503.480.8700

STRUCTURAL
MSC ENGINEERS, INC.
3410 PEBBLEBEND PLACE NE, SUITE 120
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PH: 503.399.1399

CONTRACTOR
TURNER CONSTRUCTION
1200 NW NAITO PARKWAY, SUITE 300
PORTLAND, OR 97209
CONTACT: 503.226.9825

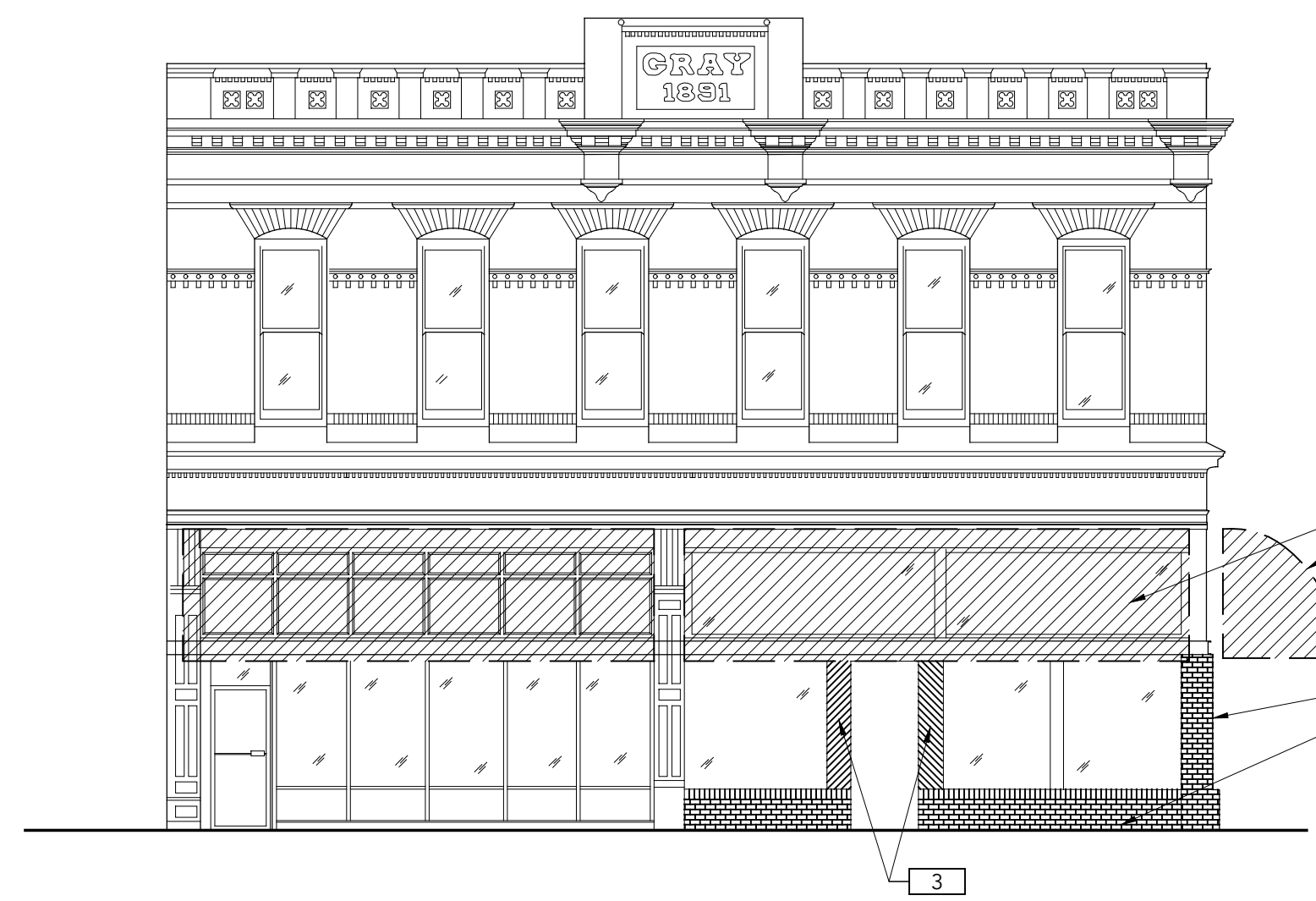
JURISDICTION
CITY OF SALEM
555 LIBERTY STREET SE, ROOM 305
SALEM, OR 97301-3553
PH: 503.588.4173

PHASE 2
THE GRAY BUILDING
State Street & Liberty Street SE, Salem, Oregon 97301

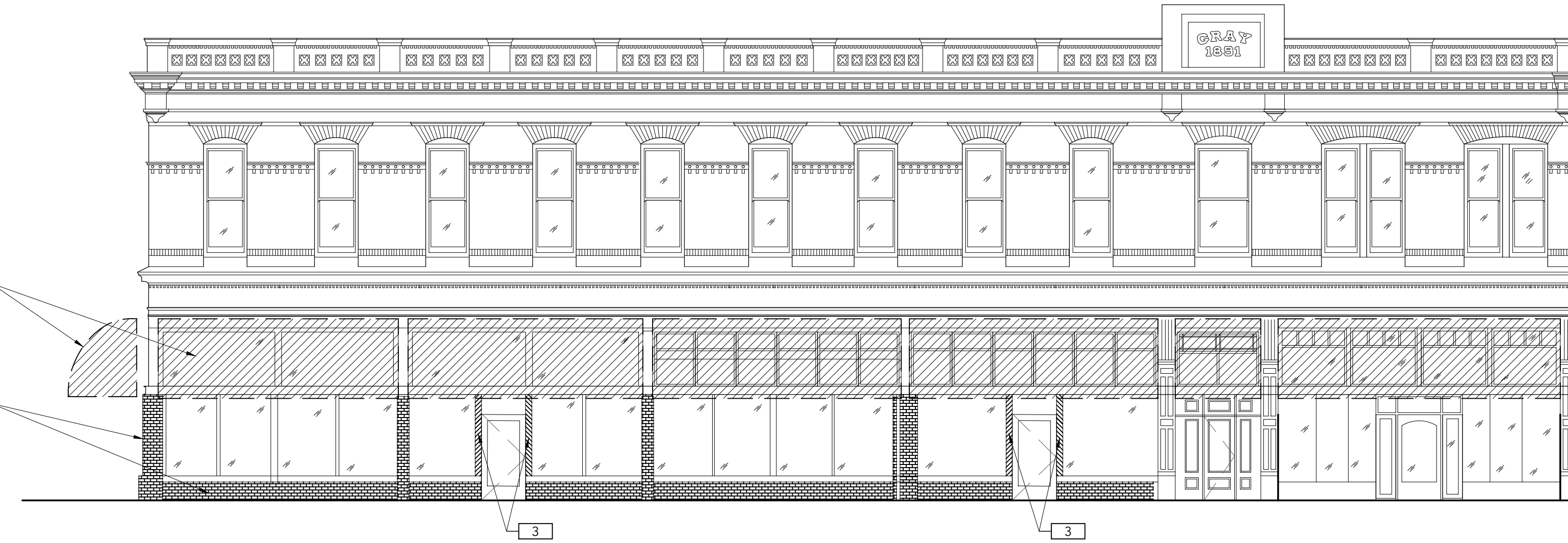
Rev	Description	Date
1	Addendum #1	05/23/16
2	City Comments	07/06/16
3	Elevator Relocation	07/14/17
4	City Comments	01/15/18
5	RFI #4	02/05/18
8	ASI #01	04/04/18

ROOF PLANS

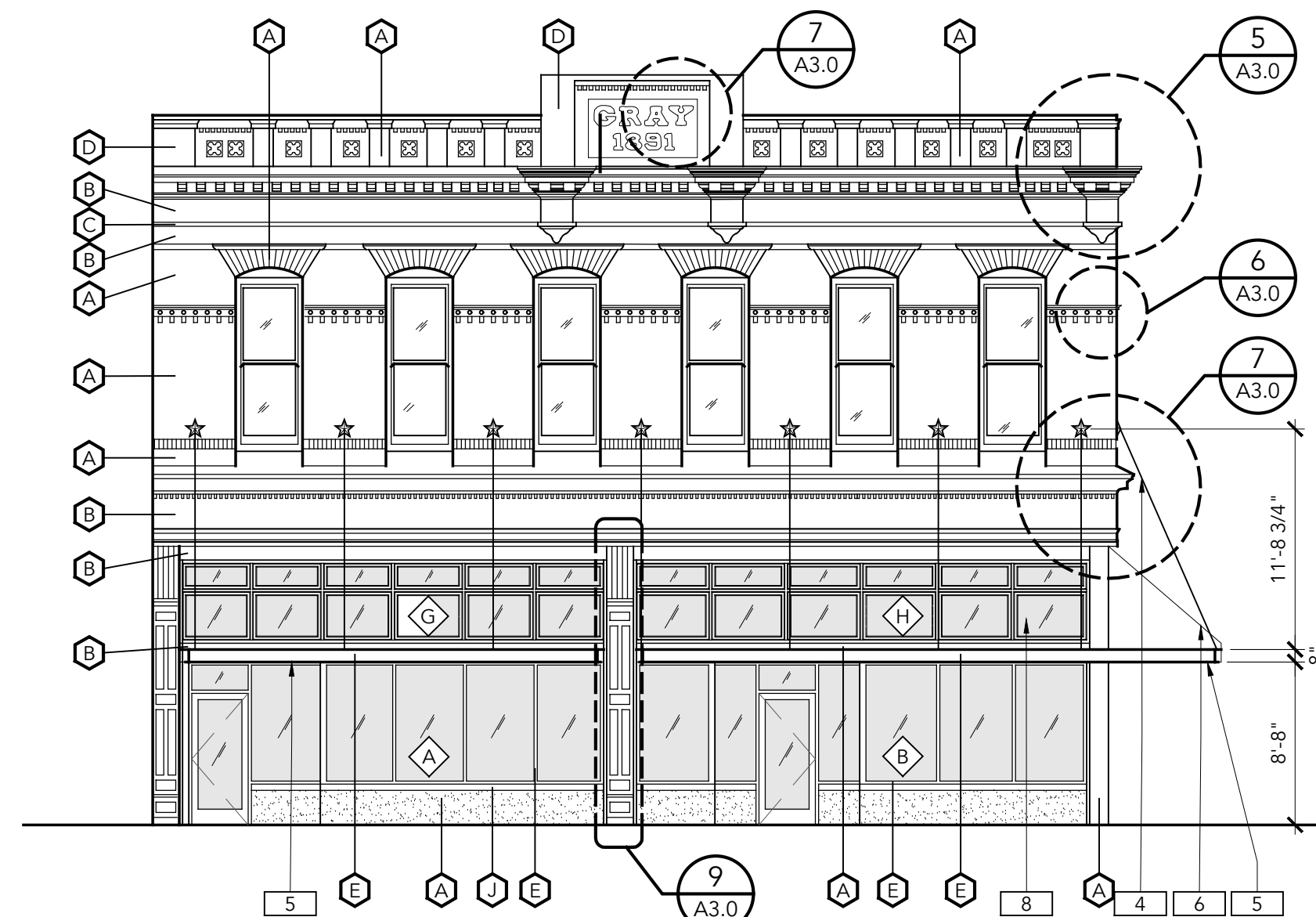
A2.2



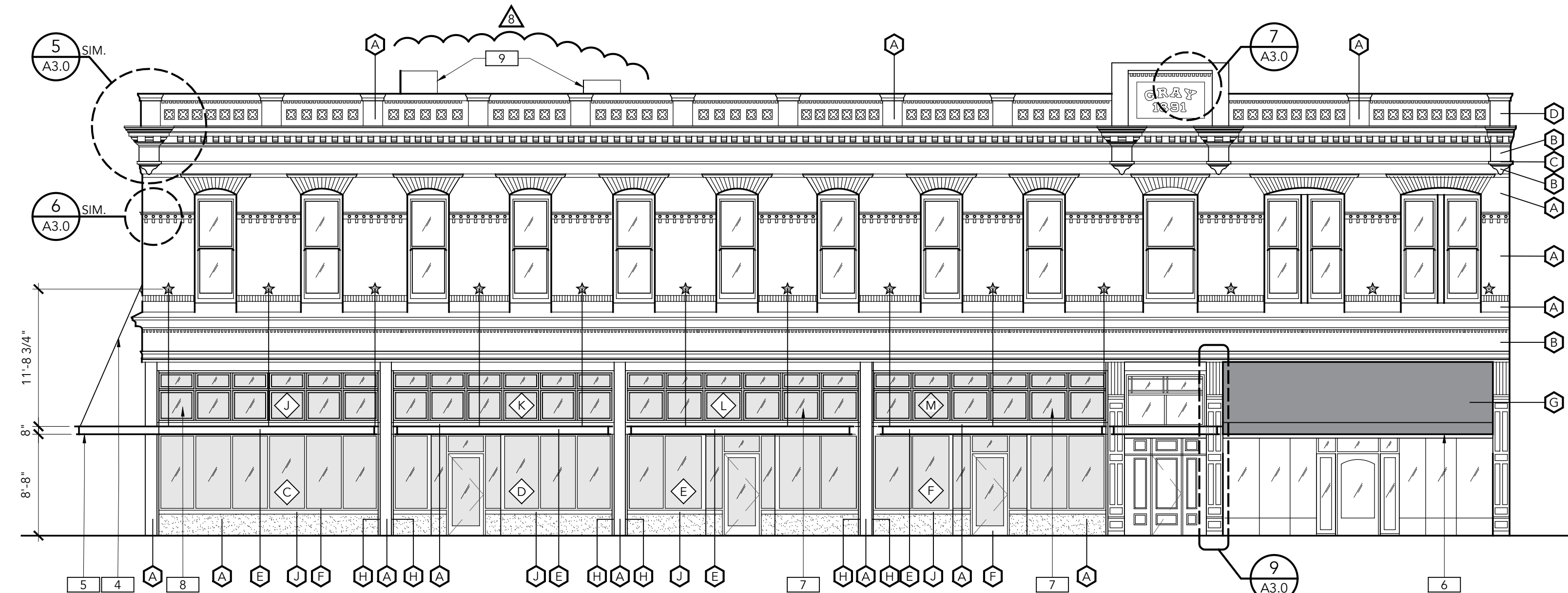
1 DEMOLITION - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 DEMOLITION - EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 PROPOSED SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

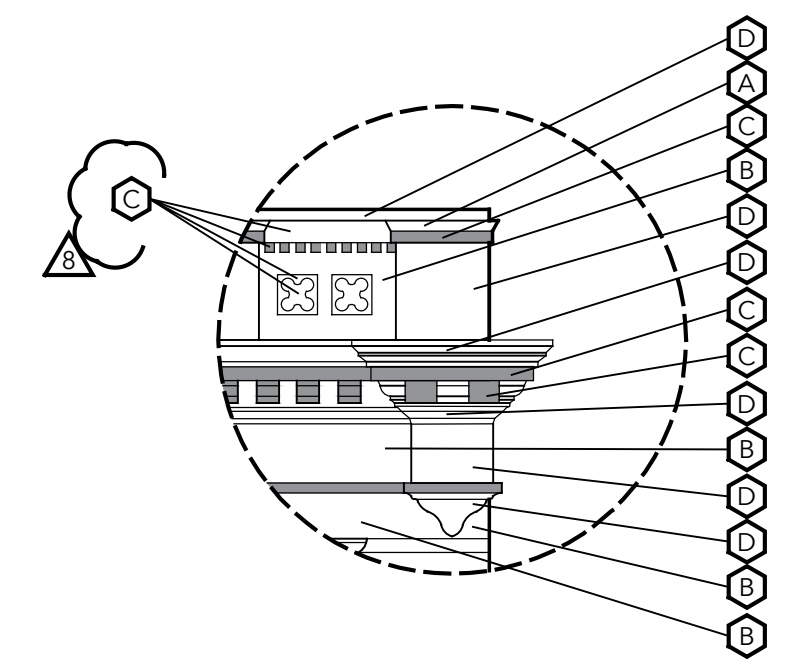


4 PROPOSED EAST ELEVATION
SCALE: 1/8" = 1'-0"

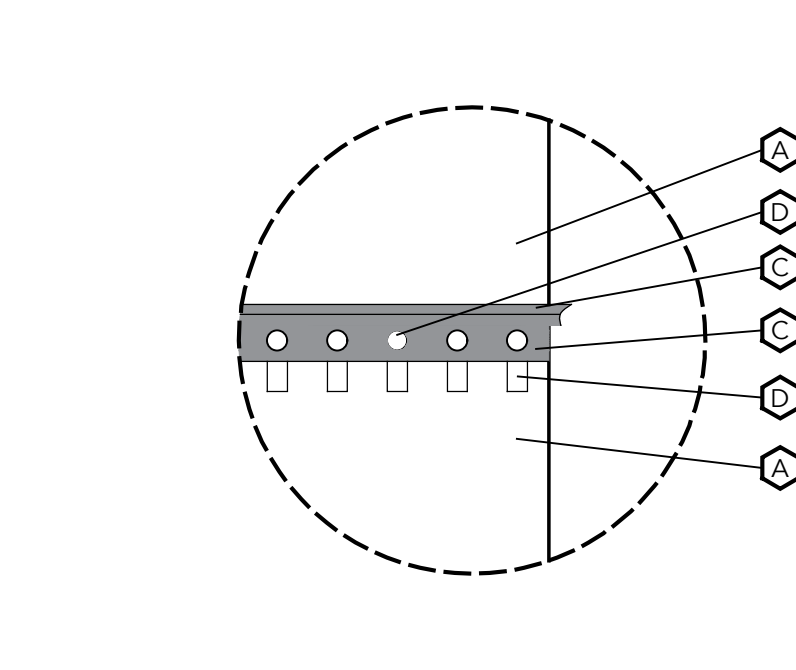
- KEY NOTES**
- 1 EXISTING AWNING TO BE REMOVED
 - 2 EXISTING BRICK VENEER TO BE REMOVED
 - 3 EXISTING FINISH TO BE REMOVED
 - 4 NEW CABLE ROD CONNECTION
 - 5 NEW 6'-0" STEEL CANOPY
 - 6 NEW FABRIC AWNING
 - 7 RETAIN AND REPAIR EXISTING HISTORIC '6-BAY' WINDOWS IF POSSIBLE
 - 8 REPLACE EXISTING WINDOWS TO MATCH ADJACENT HISTORIC '6-BAY' WINDOWS
 - 9 ROOFTOP MECHANICAL EQUIPMENT, SEE ROOF PLAN ON SHEET A2.2 AND SIGHT LINE STUDY ON SHEET A5.0

- COLOR & FINISH LEGEND**
- A MATERIAL: - PAINT
MANUF.: - SHERWIN-WILLIAMS
SERIES: - ANALYTICAL GRAY
 - B MATERIAL: - PAINT
MANUF.: - SHERWIN-WILLIAMS
SERIES: - MOSCOW MIDNIGHT
 - C MATERIAL: - PAINT
MANUF.: - SHERWIN-WILLIAMS
SERIES: - SERAPE
 - D MATERIAL: - PAINT
MANUF.: - SHERWIN-WILLIAMS
SERIES: - FIRED BRICK
 - E MATERIAL: - FABRICATED STEEL
COLOR: - BRONZE
 - F MATERIAL: - FABRICATED ALUMINUM STOREFRONT
COLOR: - BRONZE
 - G MATERIAL: - FABRIC AWNING
MANUF.: - SUNBRELLA
SERIES: - TBD
COLOR: - TBD
 - H MATERIAL: - PAINT
MANUF.: - SHERWIN-WILLIAMS
SERIES: - TBD
COLOR: - (TO BLEND WITH BRONZE STOREFRONT)
 - I MATERIAL: - PRE-FINISHED METAL FLASHING
COLOR: - BRONZE

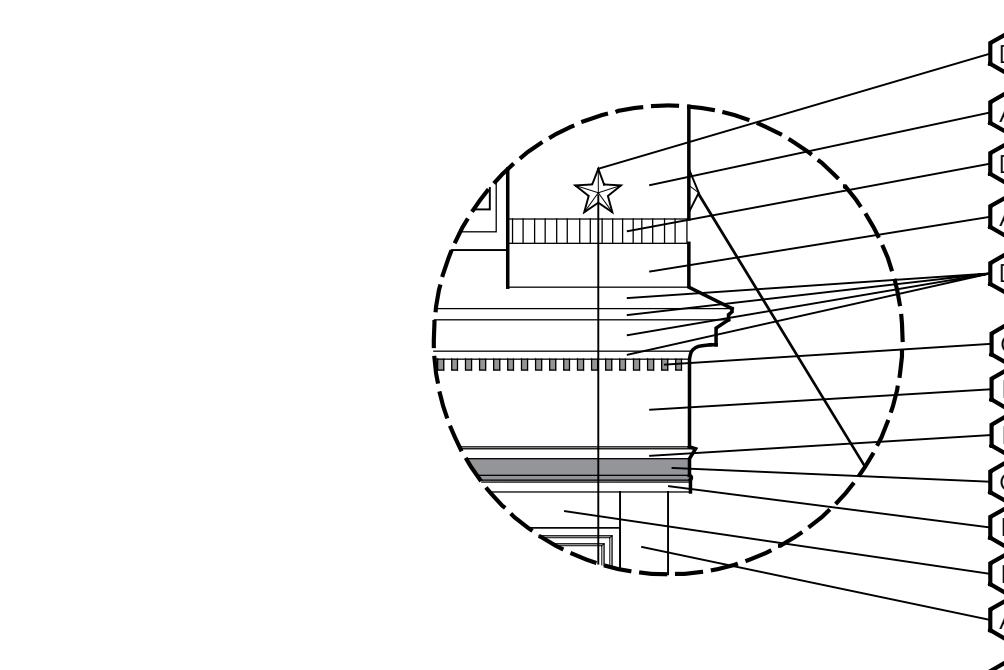
NOTE:
REVIEW COLOR SELECTIONS AND LOCATIONS WITH OWNER PRIOR TO STARTING WORK



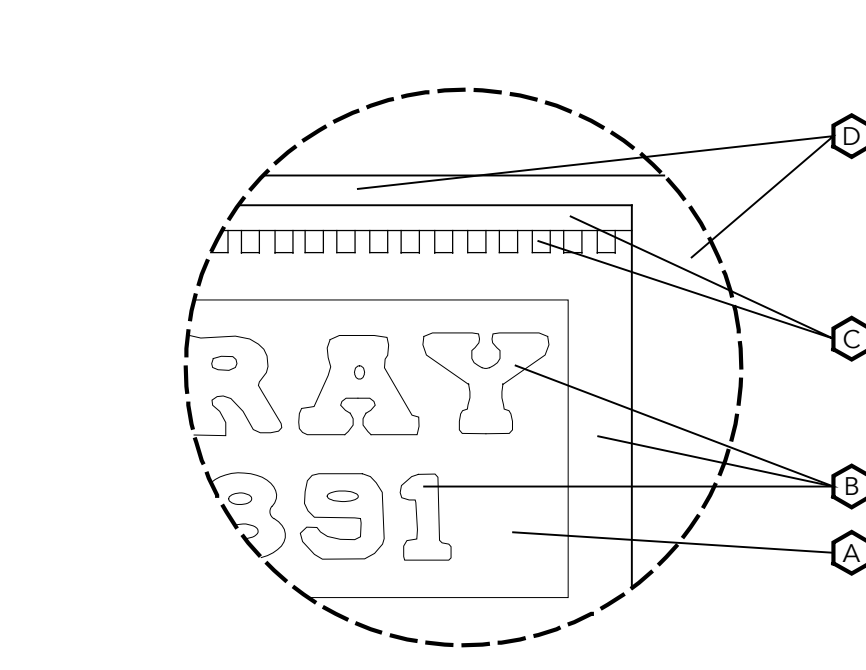
5 ENLARGED ELEVATION
SCALE: 1/4" = 1'-0"



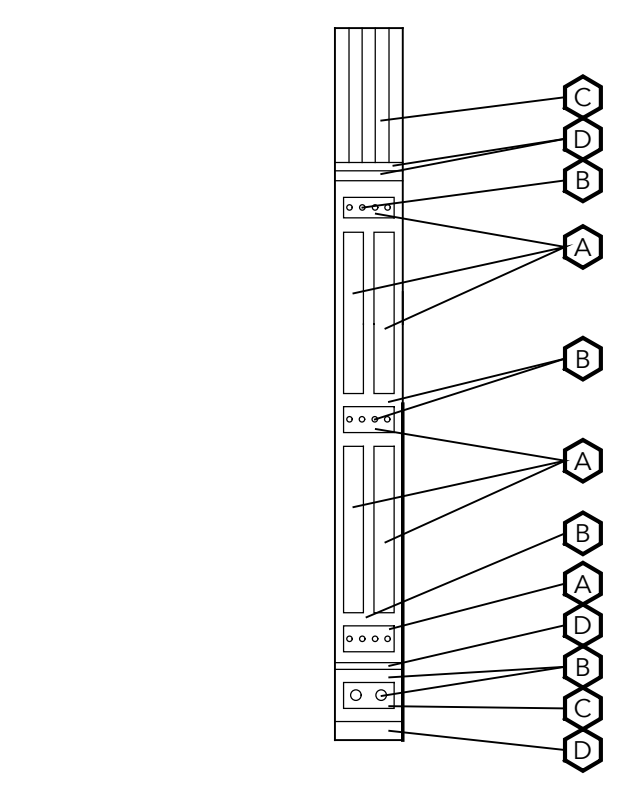
6 ENLARGED ELEVATION
SCALE: 1/2" = 1'-0"



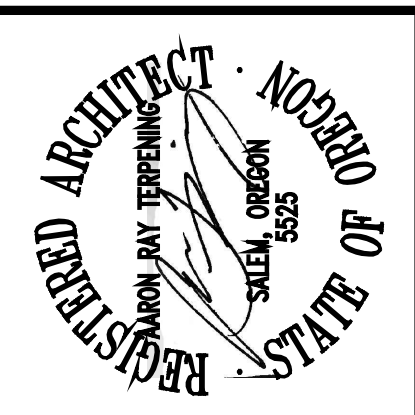
7 ENLARGED ELEVATION
SCALE: 1/4" = 1'-0"



8 ENLARGED ELEVATION
SCALE: 1/2" = 1'-0"



9 CAST IRON DETAIL
SCALE: 1/2" = 1'-0"



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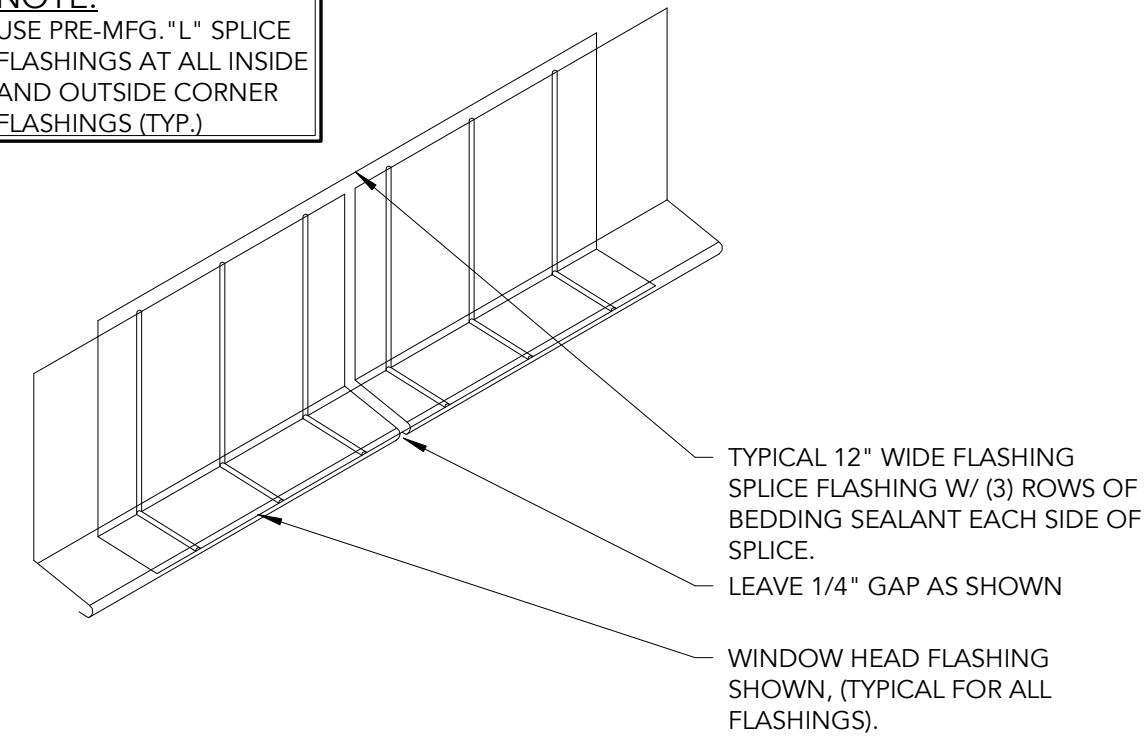
PHASE 2
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State Street & Liberty Street SE, Salem, Oregon 97301

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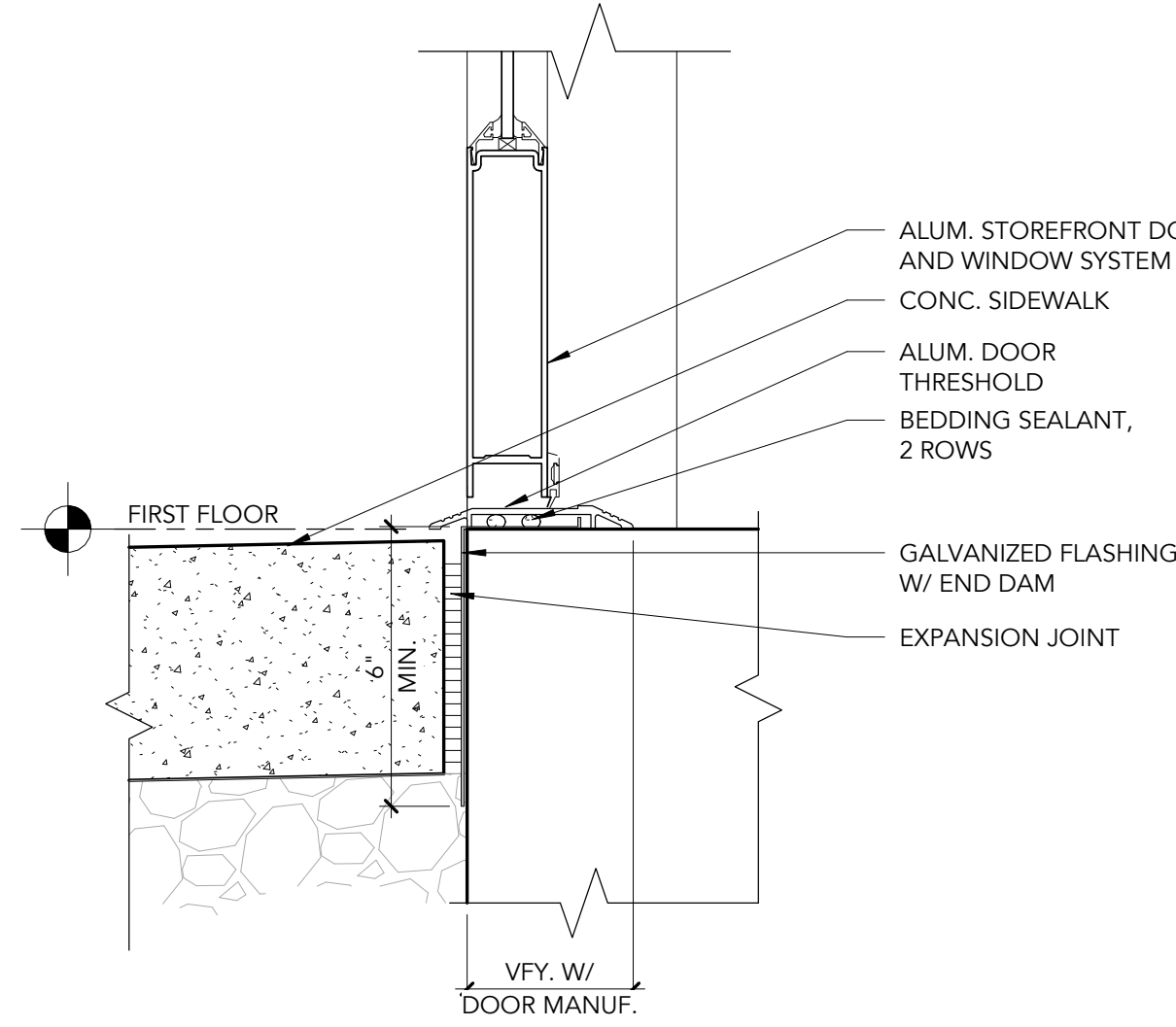
EXTERIOR ELEVATIONS

A3.0

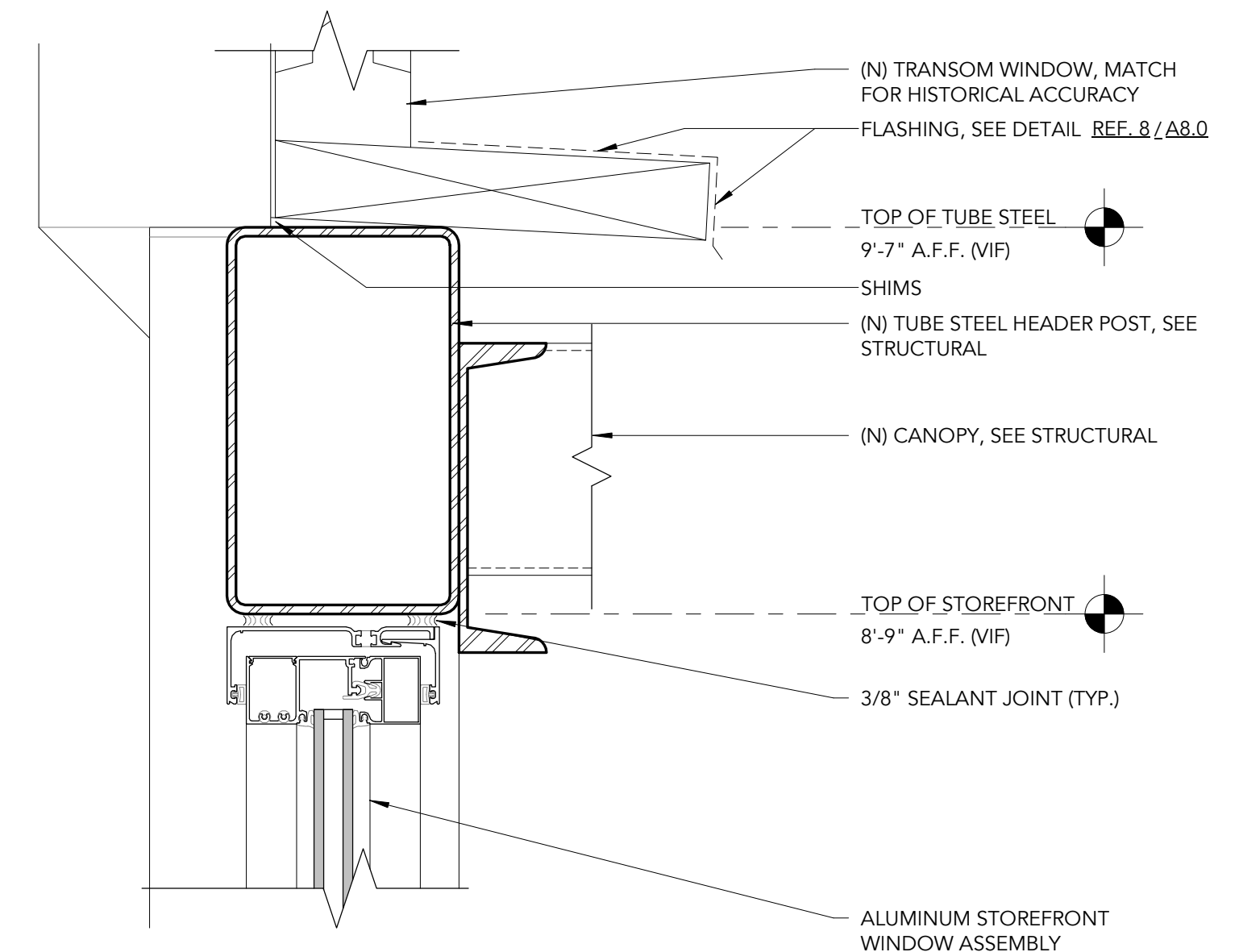
NOTE:
USE PRE-MFG. "L" SPLICE FLASHINGS AT ALL INSIDE AND OUTSIDE CORNER FLASHINGS (TYP.)



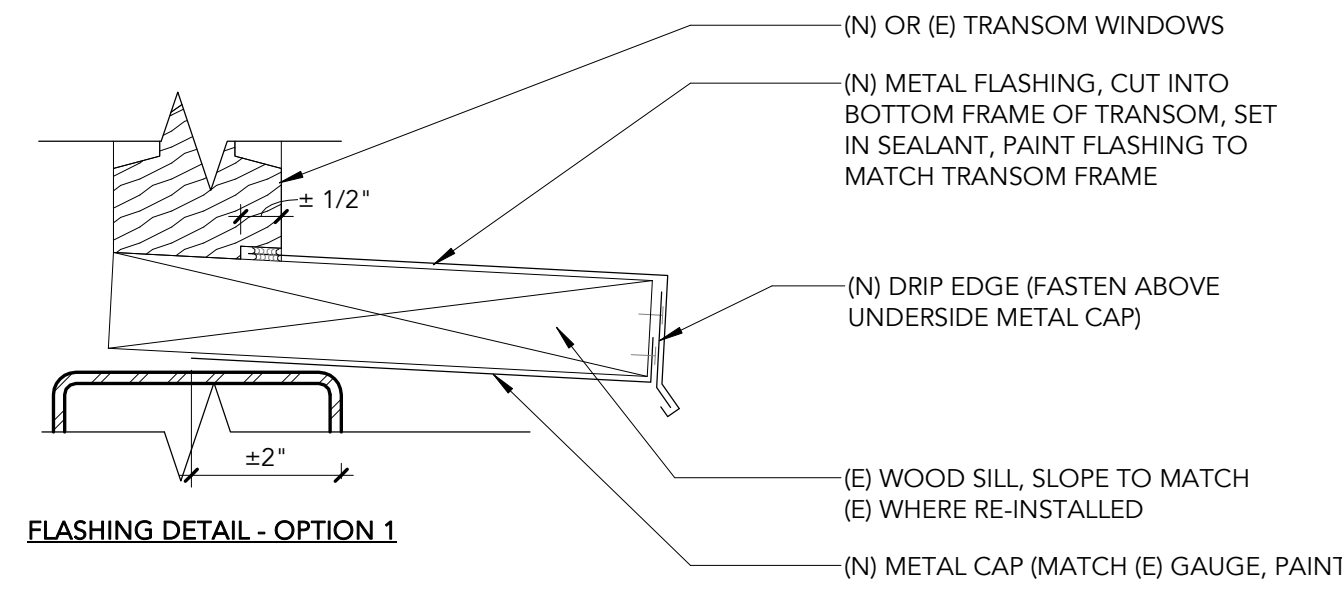
7 FLASHING SPLICE PLATE
SCALE: 3" = 1'-0"



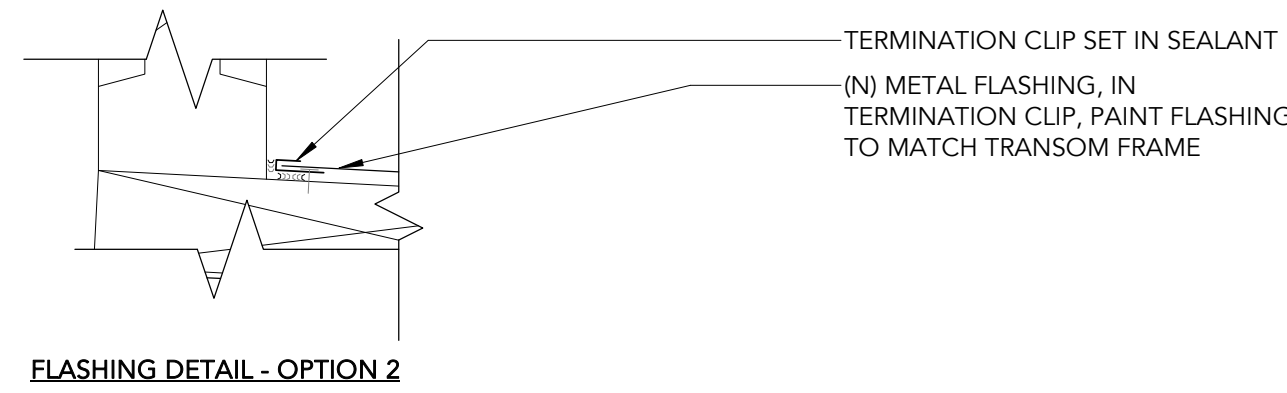
4 EXTERIOR DOOR THRESHOLD
SCALE: 3" = 1'-0"



1 WINDOW - STOREFRONT HEAD
SCALE: 3" = 1'-0"



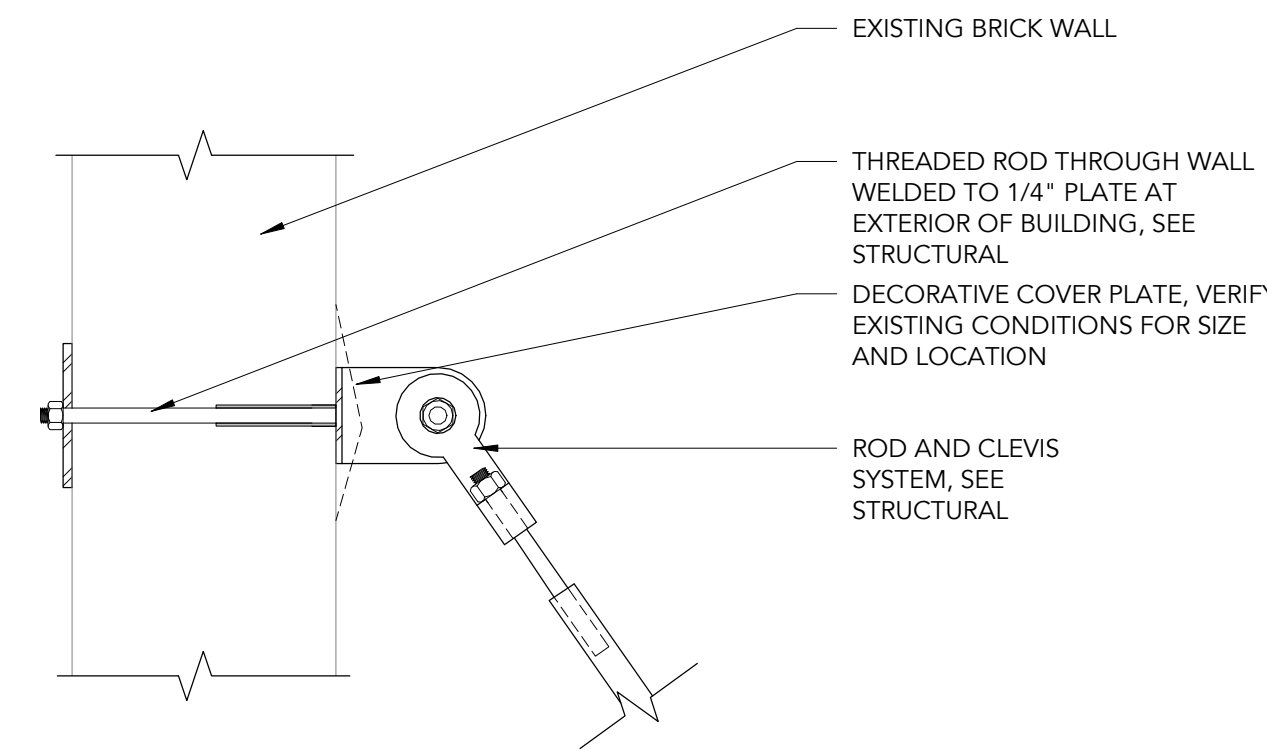
FLASHING DETAIL - OPTION 1



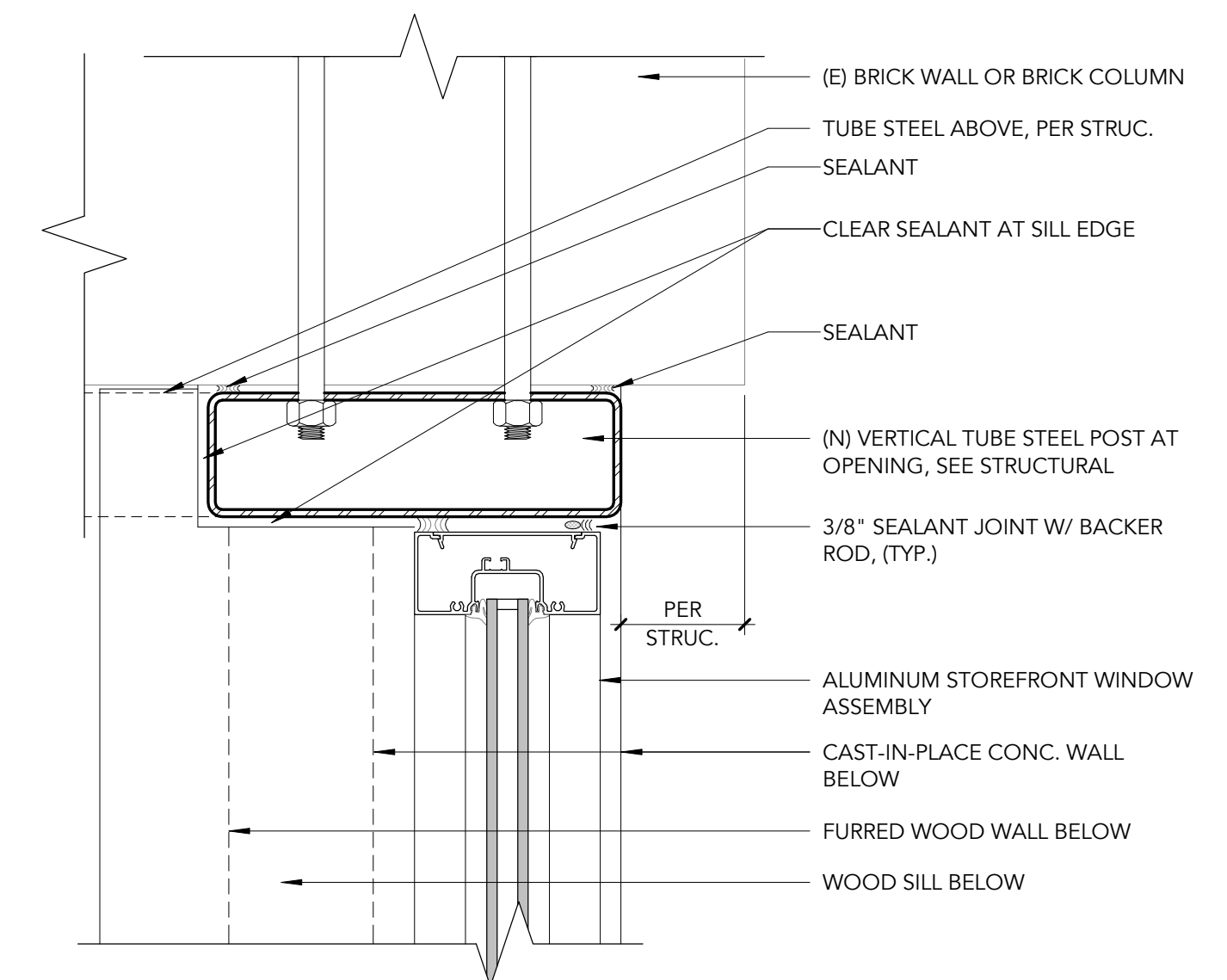
FLASHING DETAIL - OPTION 2

NOTE: EITHER OF THESE WILL WORK, OPTION 1 IS PREFERRED. THE CONTRACTOR SHALL DETERMINE THE BEST ROUTE BASED ON THE CONDITION OF THE EXISTING SILLS.

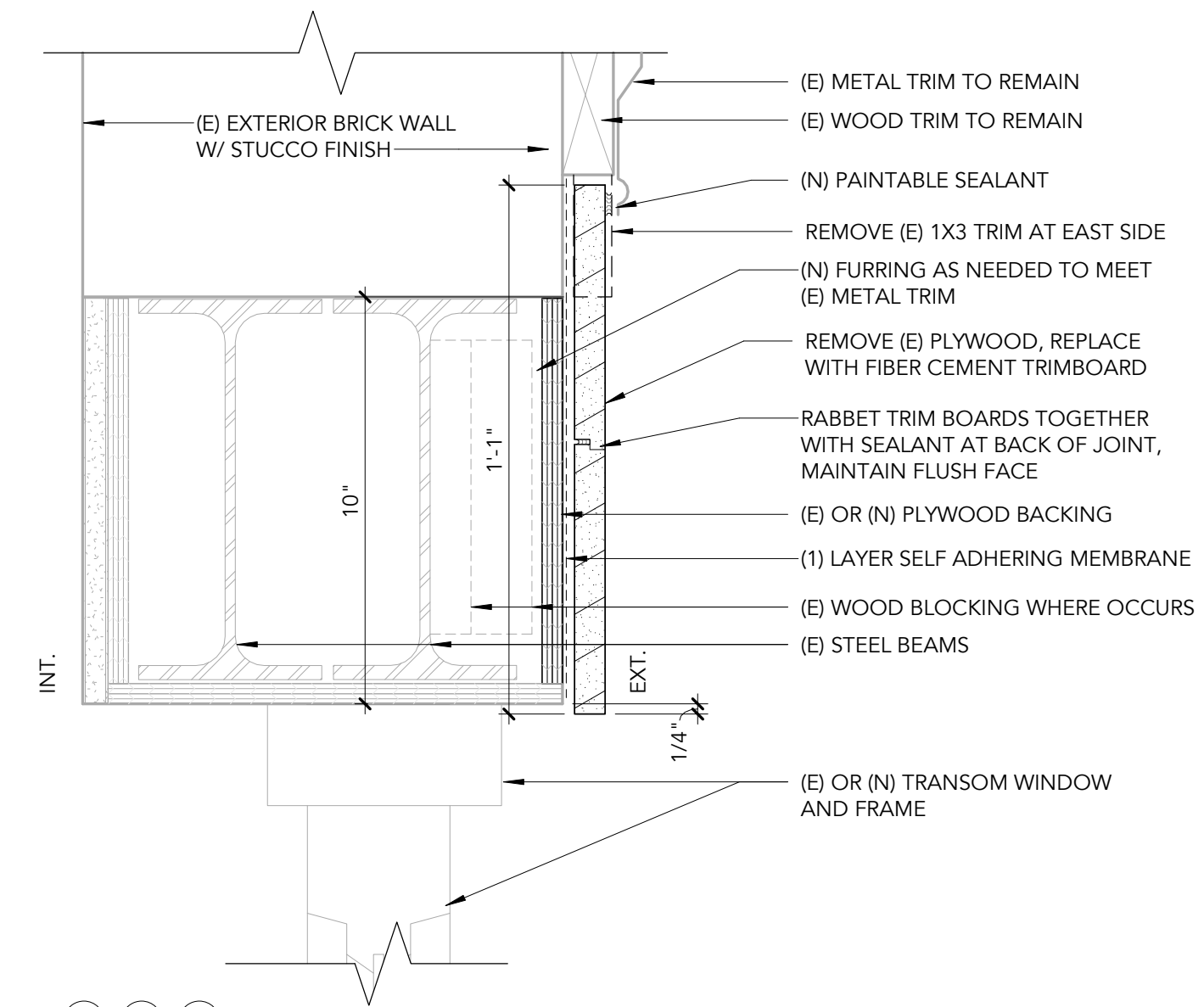
8 TRANSOM SILL FLASHING
SCALE: 3" = 1'-0"



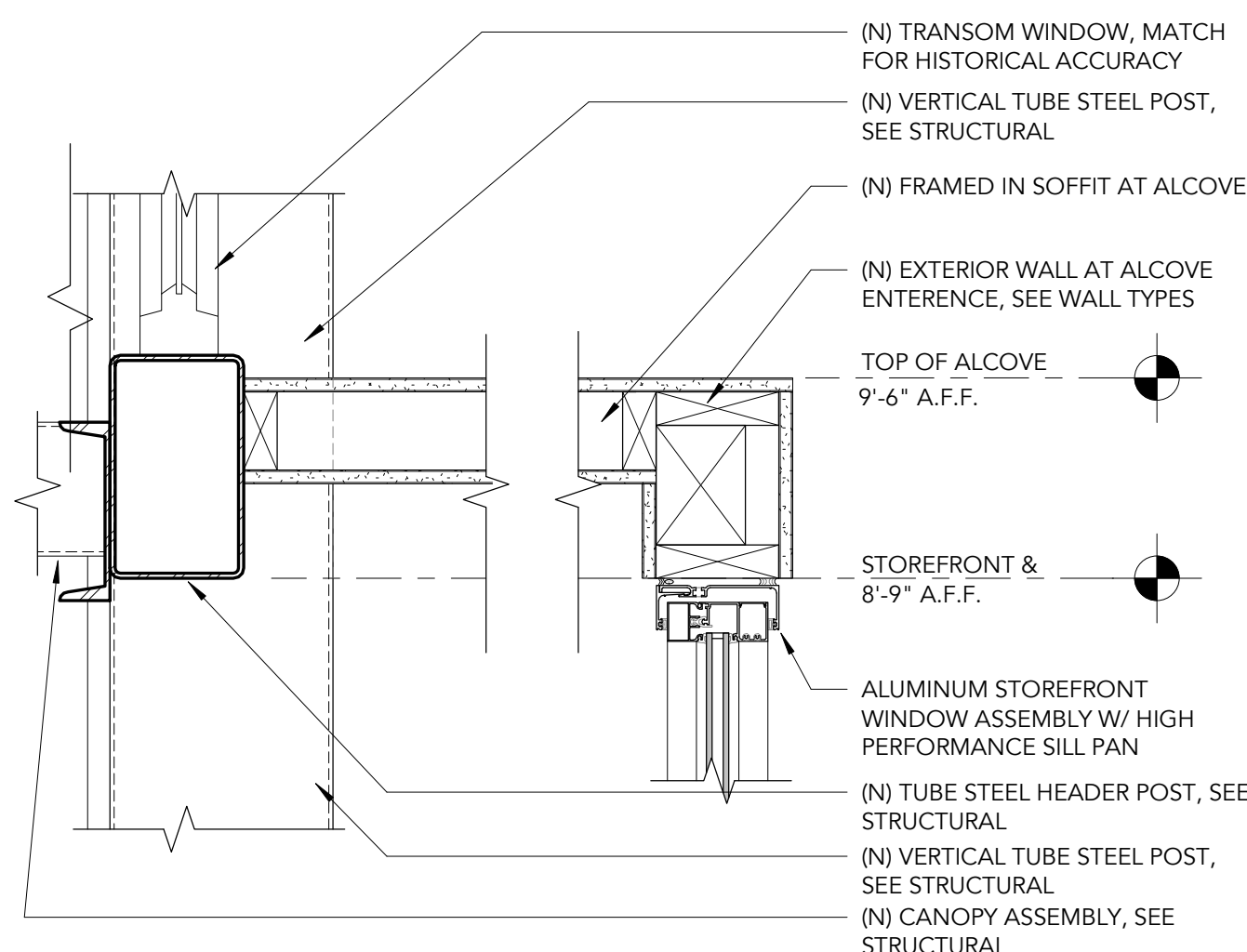
5 CONNECTION DETAIL
SCALE: 1 1/2" = 1'-0"



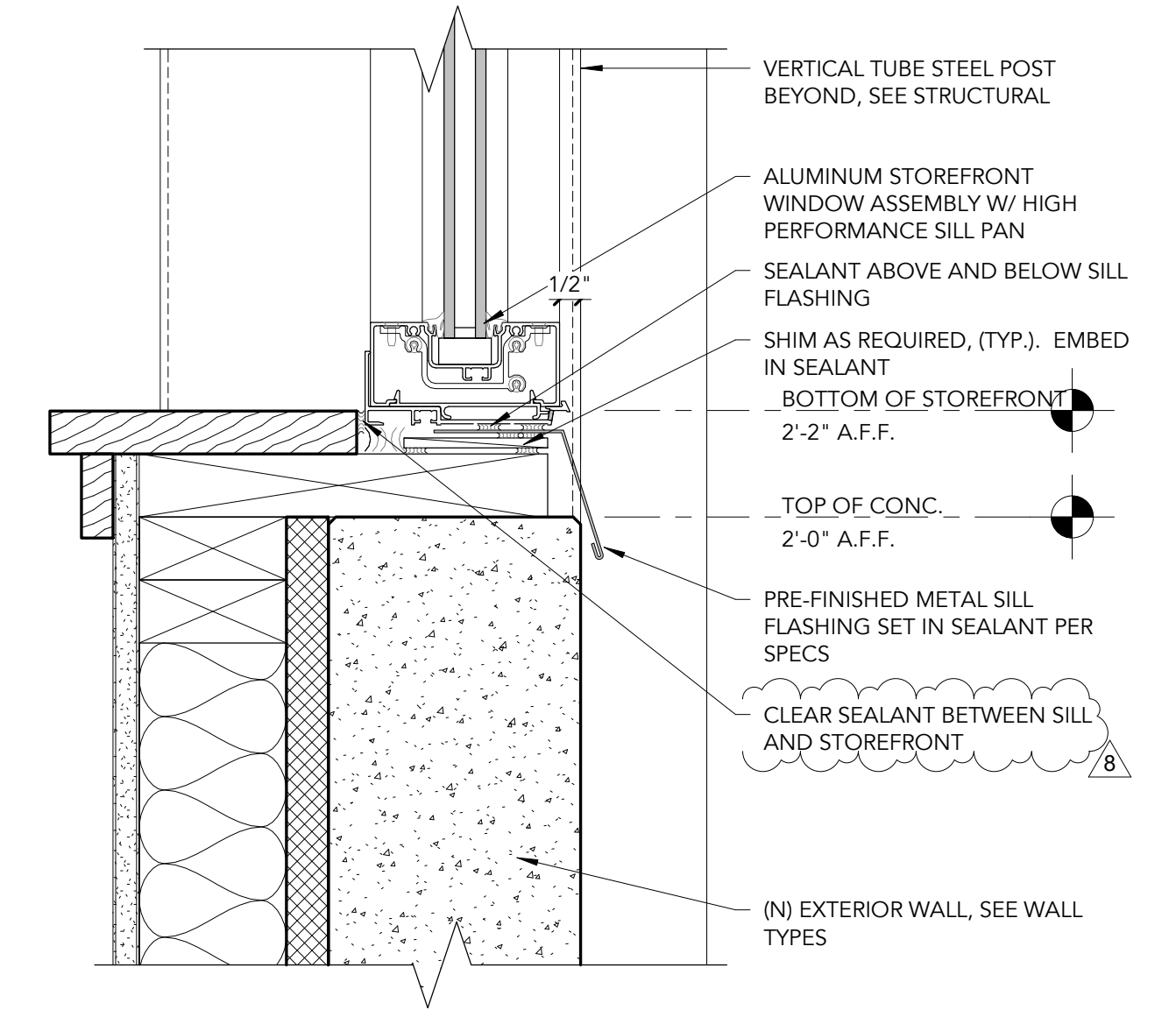
2 WINDOW - STOREFRONT JAMB
SCALE: 3" = 1'-0"



9 WINDOW - TRANSOM HEAD
SCALE: 3" = 1'-0"



6 EXTERIOR DETAIL - SOFFIT
SCALE: 1 1/2" = 1'-0"



3 WINDOW - STOREFRONT SILL
SCALE: 3" = 1'-0"



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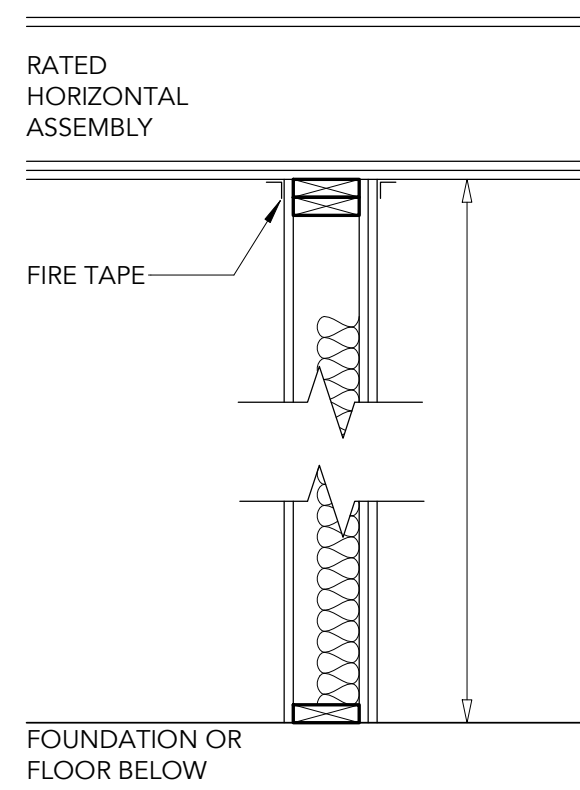
PHASE 2 THE GRAY BUILDING
State Street & Liberty Street SE Salem, Oregon 97301

Rev	Description	Date
8	ASI 01	04/04/18

EXTERIOR DETAILS

A8.0

4/4/2018 2:43:29 PM



1 FIRE BARRIER
SCALE: 3/4" = 1'-0"

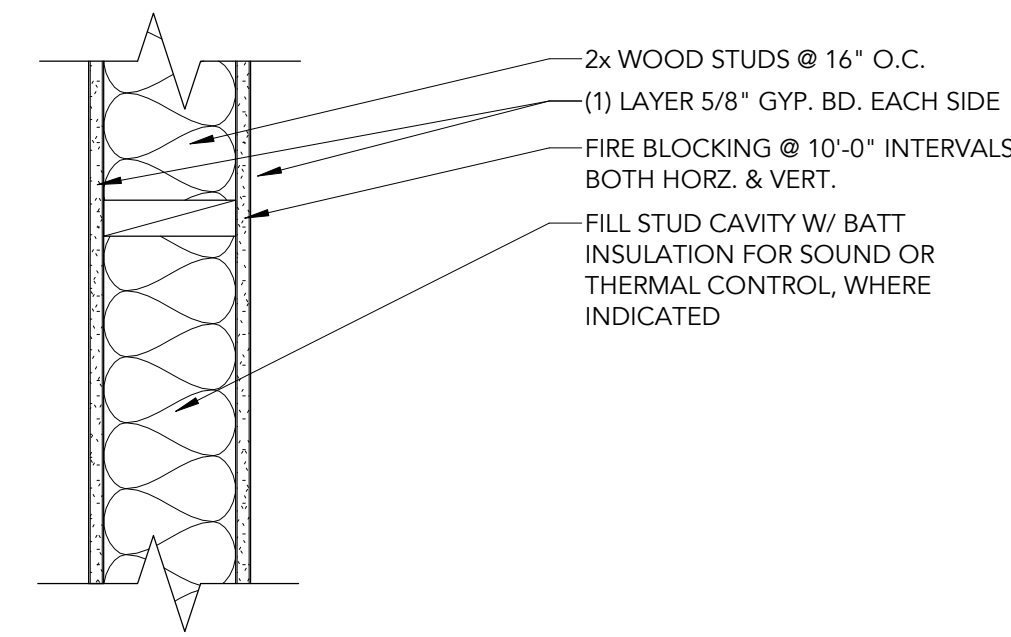
FIRE-RESISTANCE-RATED SEPARATION:
(PER OSSC 707.5)
THE INCIDENTAL ACCESSORY OCCUPANCIES SHALL BE SEPARATED FROM THE REMAINDER OF THE BUILDING BY A FIRE BARRIER CONSTRUCTED IN ACCORDANCE WITH SECTION 707 OR A HORIZONTAL ASSEMBLY CONSTRUCTED IN ACCORDANCE WITH SECTION 712, OR BOTH.

PENETRATIONS:
SEE OSSC SECTIONS 712, 713, 714, 715, & 716, FOR PENETRATIONS, JOINTS, OPENINGS, DUCTS & TRANSFER OPENINGS.

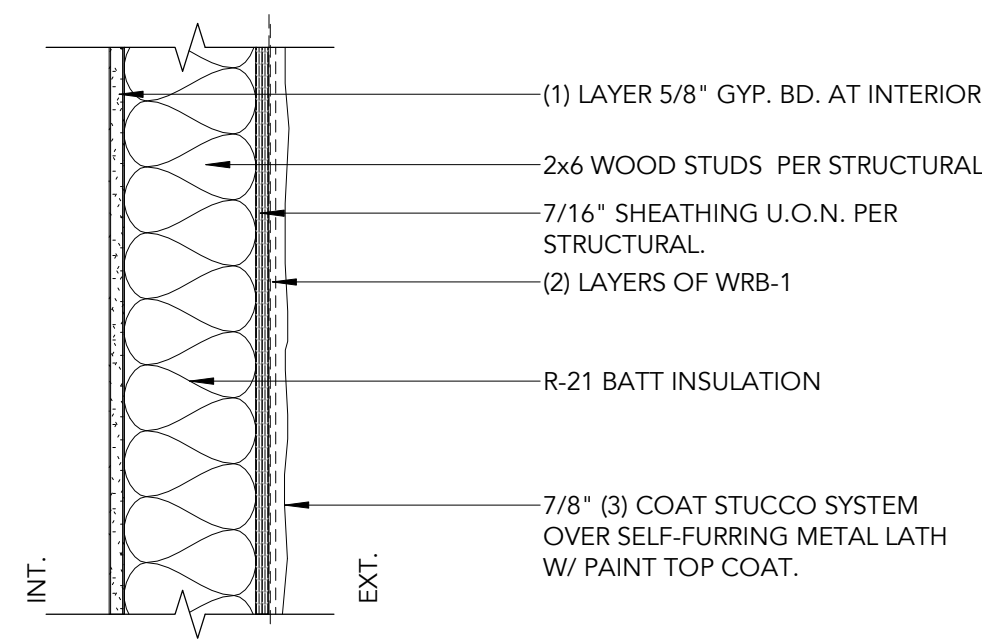
CONSTRUCTION:
SEE WALL TYPES FOR ASSEMBLY INFORMATION

LOCATIONS:
SEE SMOKE COMPARTMENT PLANS FOR INFORMATION.

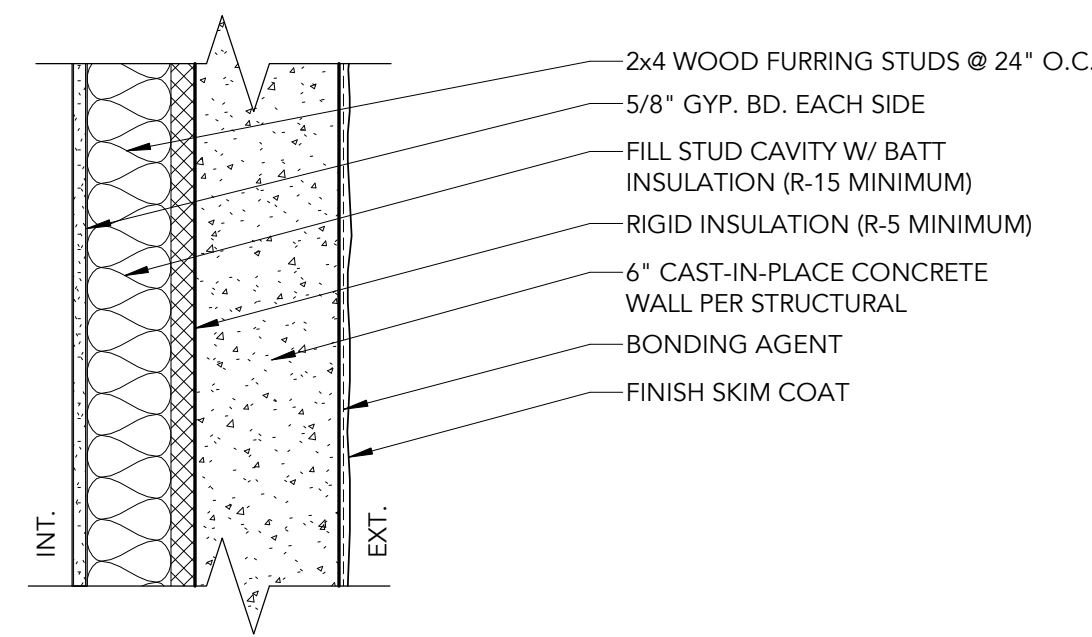
CODE REFERENCE:
SEE OSSC SECTION 508.2.5.1, 707, AND 712 FOR MORE INFORMATION



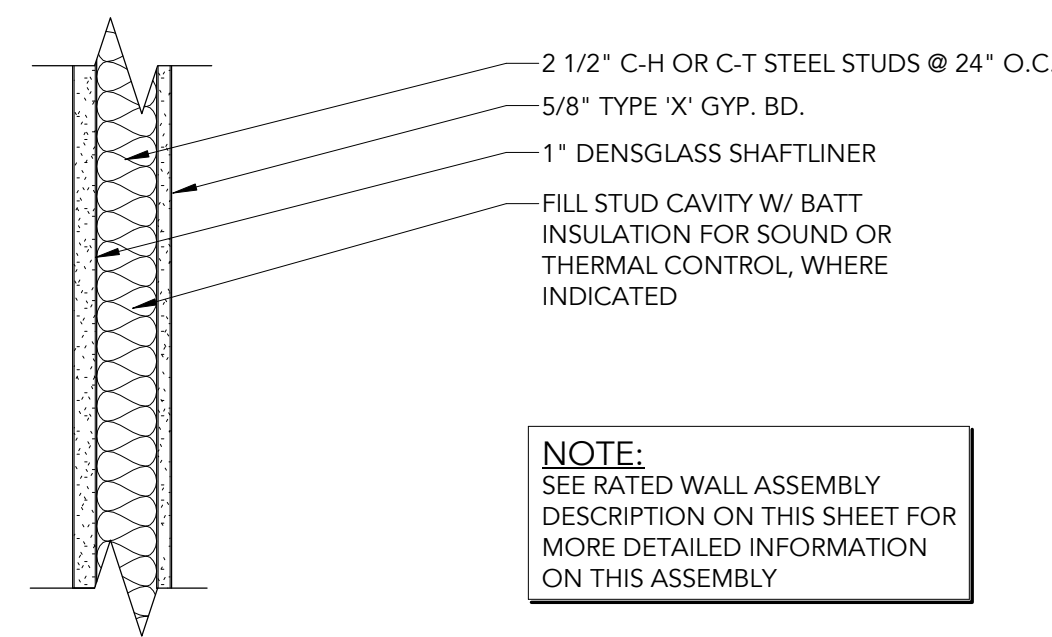
A WALL ASSEMBLY - TYPICAL INTERIOR
SCALE: 1 1/2" = 1'-0"



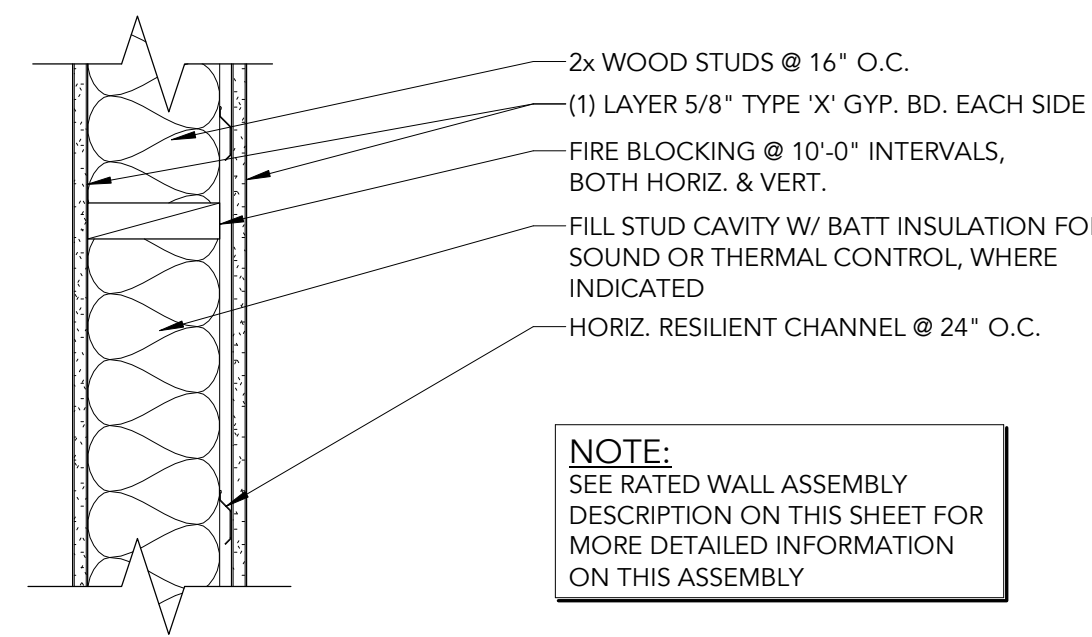
E6 WALL ASSEMBLY - TYPICAL EXTERIOR
SCALE: 1 1/2" = 1'-0"



E4 WALL ASSEMBLY - TYPICAL EXTERIOR
SCALE: 1 1/2" = 1'-0"



S2 SHAFT WALL ASSEMBLY (GA FILE NO. WP 6851)
SCALE: 1 1/2" = 1'-0"



S6 SHAFT WALL ASSEMBLY (GA FILE NO. WP 3240)
SCALE: 1 1/2" = 1'-0"

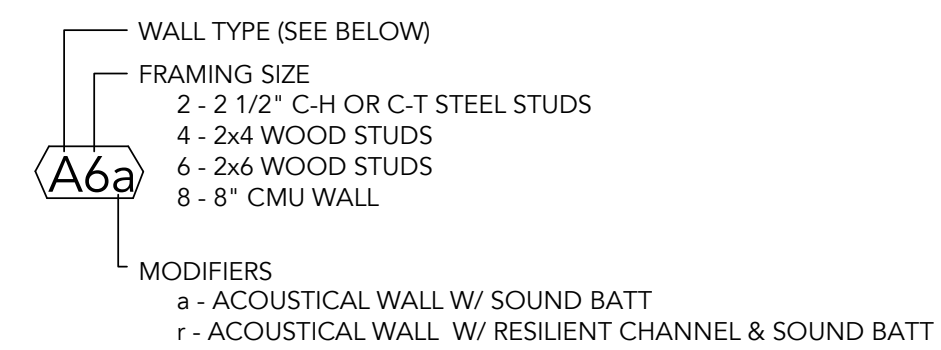
WALL ASSEMBLY GENERAL NOTES

- USE 5/8" MOLD AND MOISTURE RESISTANT GYPSUM BOARD IN ALL INTERIOR RESTROOM AND WET LOCATIONS (WET WALL ONLY), TYPICAL THROUGHOUT BUILDING AND ALL WALL TYPES. (NO GREEN BOARD ON EXTERIOR WALLS OR WALLS WITH VAPOR BARRIER).
- AT RATED WALLS - PROVIDE FIRE TAPE AND PENETRATION PROTECTION PER OSSC SECTION 713.
- PROVIDE FIRE BLOCKING PER OSSC SECTION 717.
- SEE SECTIONS AND DETAILS FOR SELF-ADHERED MEMBRANES AT EXTERIOR WALL OPENINGS.
- SEE EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION RELATED TO FINISH AND COLOR.
- SEE RATED ASSEMBLY DETAILS FOR CONTINUITY OF ASSEMBLED COMPONENTS.
- PROVIDE BLOCKING IN WALLS AS NECESSARY TO RECEIVE CABINETS AND/OR WALL MOUNTED ACCESSORIES.

WALL MARKING & IDENTIFICATION

- (PER OSSC SECTION 703.6)
FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS, SMOKE PARTITIONS, OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY & PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING. SUCH IDENTIFICATION SHALL:
- BE LOCATED IN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING, OR ATTIC SPACES;
 - BE REPEATED AT INTERVALS NOT EXCEEDING 30'-0" MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION;
 - INCLUDE LETTERING NOT LESS THAN 1/2" IN HEIGHT, INCORPORATING THE SUGGESTED WORDING: "FIRE &/OR SMOKE BARRIER - PROTECT ALL OPENINGS," OR OTHER WORDING.

WALL ASSEMBLY LEGEND



WALL TYPES

- A** NON-RATED INTERIOR PARTITION WALL
- E** EXTERIOR WALLS
- S** 1-HOUR FIRE SEPARATION AT MECHANICAL SHAFTS AND ELEVATORS (FIRE BARRIER)

RATED WALL ASSEMBLY DESCRIPTIONS

GA FILE NO. WP 6851
SHAFT RATING - 1 HR

One layer 1" x 24" proprietary type X gypsum panels inserted between 2 1/2" floor and ceiling J runners with H section of 2 1/2" proprietary C-H or C-t steel studs between panels.

OPPOSITE SIDE: One layer 5/8" proprietary type X gypsum wallboard applied parallel or at right angles to studs with 1" Type 5 drywall screws 8" o.c.

Sound tested with 1 1/2" glass fiber insulation friction fit in stud cavity and with the 5/8" proprietary type X gypsum wallboard applied with screws spaced 12" o.c.

PROPRIETARY GYPSUM BOARD

Georgia Pacific Gypsum LLC	-	5/8" Toughrock Fireguard Gypsum Board
	-	Densglass Shaftliner

(SEE GYPSUM ASSOCIATION DESIGN MANUAL NOTES BELOW)

GA FILE NO. WP 3240
WALL RATING - 1 HR

Resilient channels 24" o.c. attached at right angles to ONE SIDE of 2 x 4 wood studs 16" or 24" o.c. with 1 1/4" Type 5 drywall screws. One layer 5/8" Proprietary type X gypsum wallboard or gypsum veneer base applied parallel to channels with 1" Type 5 drywall screws 12" o.c. End joints backblocked with resilient channels. 3" mineral fiber insulation, 2.0 or 2.3 pcf, in stud space.

OPPOSITE SIDE: One layer 5/8" proprietary type X gypsum wallboard or gypsum veneer base applied at right angles to studs with 1 1/4" Type W drywall screws 12" o.c. Vertical joints staggered 48" on opposite sides. Sound tested with studs 16" o.c. and open face of mineral fiber insulation blankets toward resilient channel-side of stud space.

(LOAD-BEARING)

PROPRIETARY GYPSUM BOARD

United States Gypsum Company	-	5/8" SHEETROCK® Brand FIRECODE® C Core Gypsum Panels
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(SEE GYPSUM ASSOCIATION DESIGN MANUAL NOTES BELOW)

GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL NOTES

- GREATER STUD SIZES (DEPTHS) SHALL BE PERMITTED TO BE USED IN METAL- OR WOOD-STUD SYSTEMS. METAL STUDS OF HEAVIER GAGE THAN THOSE TESTED SHALL BE PERMITTED. THE ASSIGNED RATING OF ANY LOAD-BEARING SYSTEM SHALL ALSO APPLY TO THE SAME SYSTEM WHEN USED AS A NONLOAD-BEARING SYSTEM. INDICATED STUD SPACINGS ARE MAXIMUMS.
- ADDITIONAL LAYERS OF TYPE X OR REGULAR GYPSUM PANELS SHALL BE PERMITTED TO BE ADDED TO ANY SYSTEM.
- WHEN NOT SPECIFIED AS A COMPONENT OF A FIRE RESISTANCE RATED WALL OR PARTITION SYSTEM, WOOD STRUCTURAL PANELS SHALL BE PERMITTED TO BE ADDED TO ONE OR BOTH SIDES. SUCH PANELS SHALL BE PERMITTED TO BE APPLIED EITHER AS A BASE LAYER DIRECTLY TO THE FRAMING (UNDER THE GYPSUM BOARD), AS A FACE LAYER (OVER THE FACE LAYER OF GYPSUM BOARD), OR BETWEEN LAYERS OF GYPSUM BOARD IN MULTI-LAYER SYSTEMS. WHEN SUCH PANELS ARE APPLIED UNDER THE GYPSUM BOARD OR BETWEEN LAYERS OF GYPSUM BOARD THE LENGTH OF THE FASTENERS SPECIFIED FOR THE ATTACHMENT OF THE GYPSUM BOARD APPLIED OVER THE WOOD STRUCTURAL PANELS SHALL BE INCREASED BY NOT LESS THAN THE THICKNESS OF THE WOOD STRUCTURAL PANELS. FASTENER SPACING FOR THE GYPSUM BOARD AND THE NUMBER OF LAYERS OF GYPSUM BOARD SHALL BE AS SPECIFIED IN THE SYSTEM DESCRIPTION.



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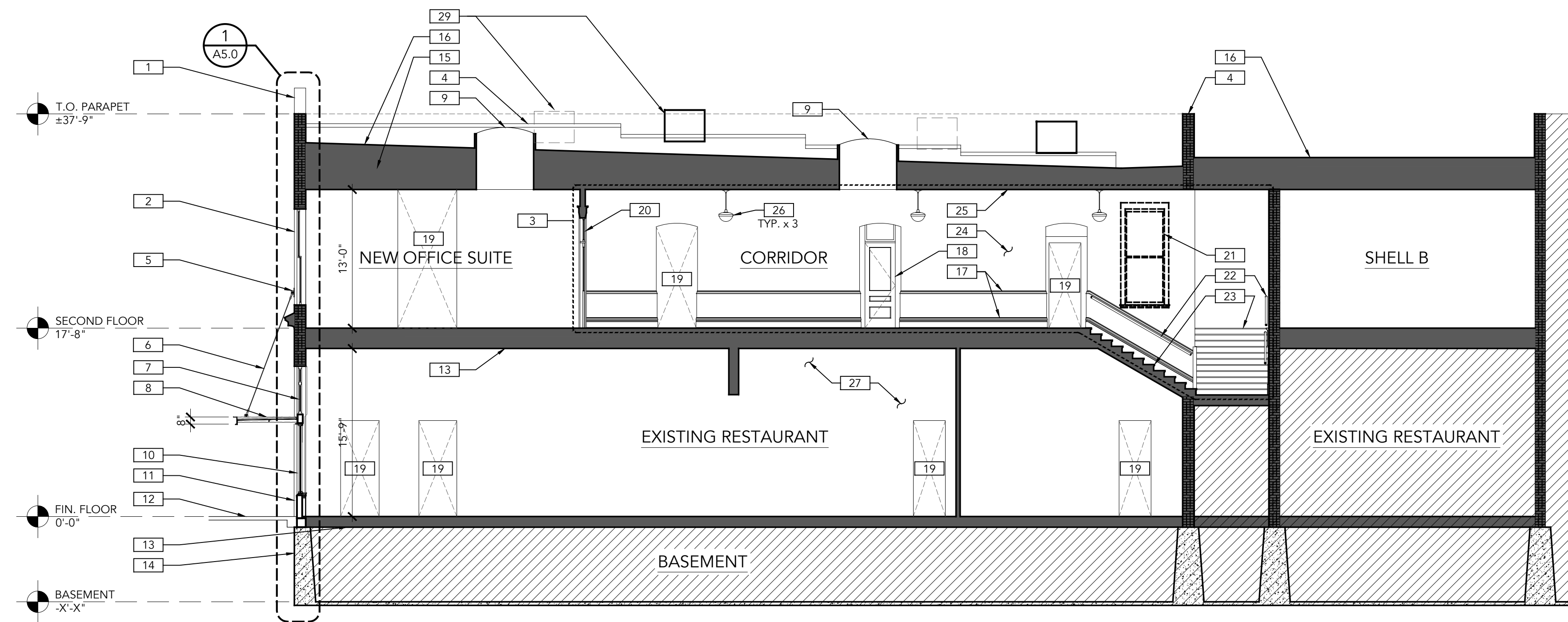
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PHASE 2 THE GRAY BUILDING
Salem, Oregon 97301
State Street & Liberty Street SE

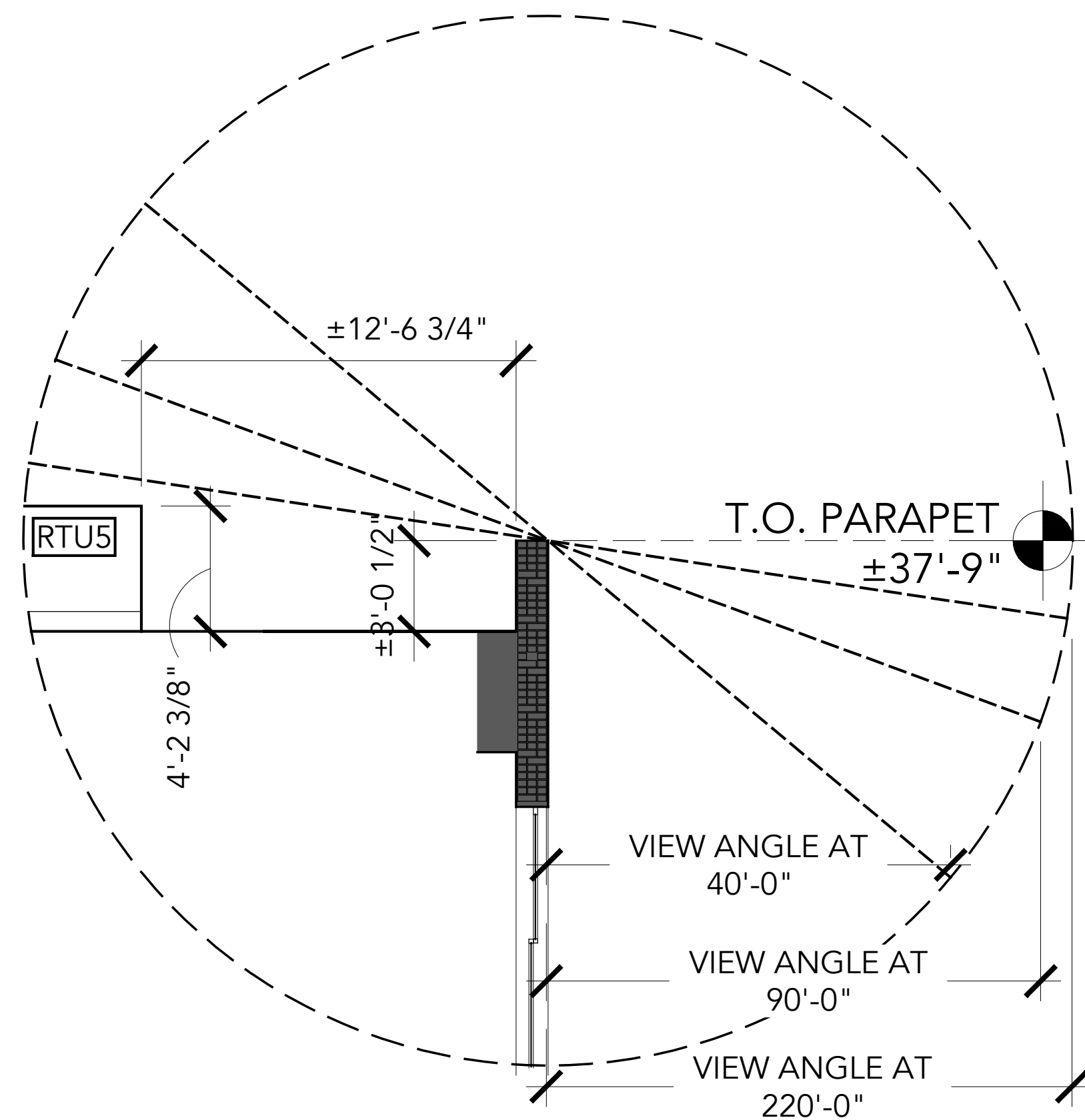
Issue:	Permit Set
Date:	APRIL 18, 2016
Rev:	Description : Date :
8	ASI 01 04/04/18

WALL ASSEMBLIES

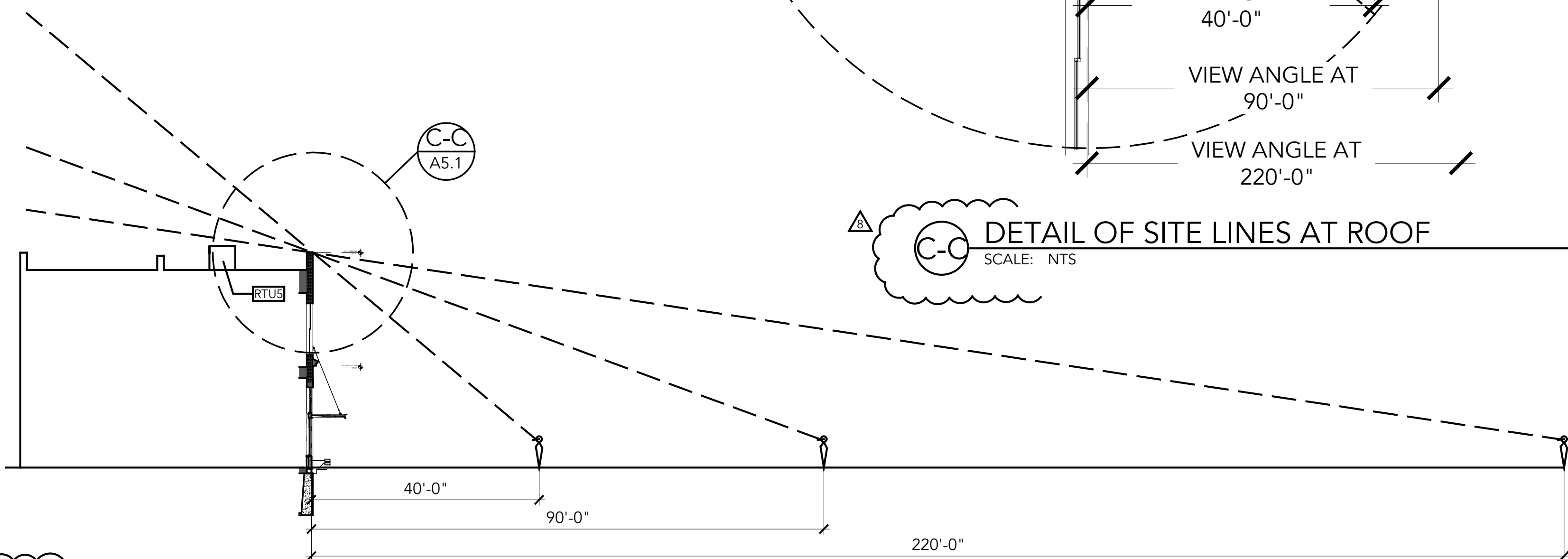
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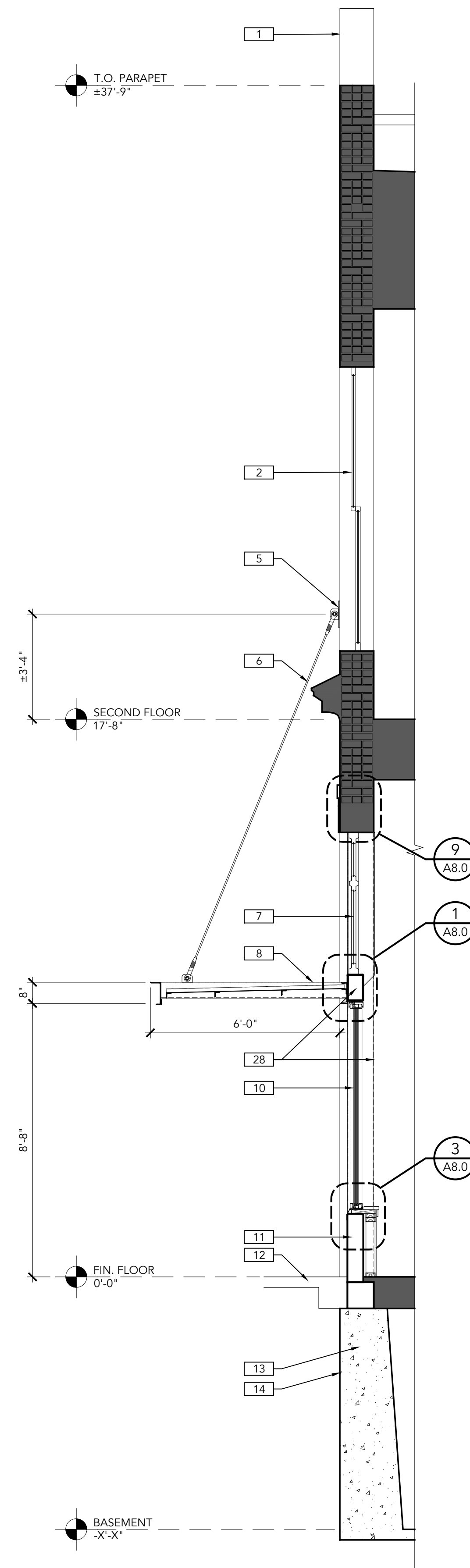
A BUILDING SECTION
SCALE: 1/8" = 1'-0"



C-C DETAIL OF SITE LINES AT ROOF
SCALE: NTS



B BUILDING SECTION - SIGHT LINES TO ROOFTOP EQUIPMENT
SCALE: NTS



1 WALL SECTION
SCALE: 3/8" = 1'-0"

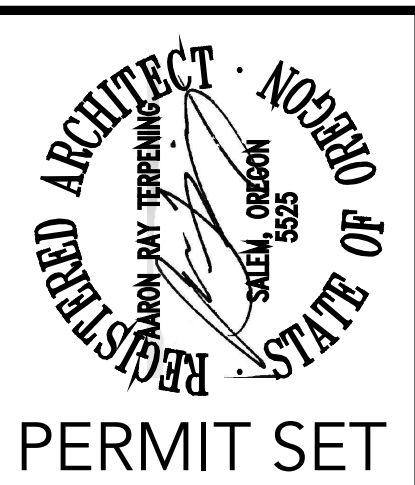
KEY NOTES

- 1 EXISTING BUILDING SIGN
- 2 EXISTING WINDOW TO BE RETAINED AND REPAIRED OR REPLICATED
- 3 ALL WORK WITHIN BOUNDARY TO MEET HISTORIC DESIGN AND RESTORATION GUIDELINES
- 4 EXISTING PARAPET - PROVIDE NEW CAP FLASHING
- 5 NEW UPPER CANOPY BRACKET - REPURPOSE EXISTING ABANDONED BRACKET WITH NEW HARDWARE PER STRUCTURAL
- 6 NEW TIE ROD AND CLEVIS
- 7 REPLACE EXISTING WINDOWS TO MATCH ADJACENT HISTORIC '6-BAY' WINDOWS
- 8 NEW STEEL AND METAL DECK CANOPY
- 9 EXISTING SKYLIGHT - INSPECT AND REINSTALL, OR REPLACE IF NECESSARY
- 10 NEW ALUM. STOREFRONT WINDOW SYSTEM
- 11 NEW 6" CAST-IN-PLACE CONCRETE WITH FINISH SKIM COAT
- 12 EXISTING SIDEWALK
- 13 EXISTING WOOD JOIST FLOOR SYSTEM
- 14 EXISTING CONCRETE FOUNDATION WALL
- 15 EXISTING WOOD JOIST ROOF SYSTEM
- 16 REPLACE EXISTING ROOF W/ NEW TPO MEMBRANE ROOF AS NECESSARY, TYPICAL IN HISTORIC RESTORATION AREA
- 17 EXISTING WALL BASE AND WAISCOT TO BE RETAINED AND REPAIRED AS NECESSARY, TYPICAL IN HISTORIC RESTORATION AREA
- 18 EXISTING DOOR TO BE RETAINED
- 19 EXISTING OPENING
- 20 REPLACE EXISTING WALL AND DOOR ASSEMBLY AT END OF CORRIDOR WITH SALVAGED HISTORIC DOOR AND TRANSOM ASSEMBLY
- 21 DEMO EXISTING WINDOW AT NEW SHOWER ROOM
- 22 EXISTING STAIR HANDRAILS TO BE RETAINED AND REPAIRED - PROVIDE NEW ENDCAPS TO MATCH EXISTING WHERE REQUIRED
- 23 EXISTING STAIRS TO BE REFINISHED
- 24 EXISTING WALL FINISH TO BE RESTORED AS REQUIRED, TYPICAL IN HISTORIC REHABILITATION AREA
- 25 STRIP EXISTING CEILING DOWN TO THE ROOF JOISTS, AND INSTALL (1) LAYER 5/8" GYP. BD., TYPICAL U.N.O.
- 26 NEW VINTAGE INSPIRED PENDANT
- 27 SEE PLANS FOR MECHANICAL WORK THIS AREA
- 28 NEW TUBE FRAMING AT EXTERIOR OPENINGS, SEE STRUCTURAL
- 29 NEW MECHANICAL ROOFTOP UNIT SITTING ON 10" - 14" CURB

SYMBOLS LEGEND

(SEE SHEET A0.0 FOR ADDITIONAL SYMBOL DESCRIPTIONS)

- EXISTING TO BE REMOVED
- NO WORK THIS AREA
- INFILL EXISTING WALL OPENING



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SALEM, OR 97301
PH: 503.399.1399

CONTRACTOR
TURNER CONSTRUCTION
1200 NW NAITO PARKWAY, SUITE 300
PORTLAND, OR 97209
CONTACT: 503.226.9825

JURISDICTION
CITY OF SALEM
555 LIBERTY STREET SE, ROOM 305
SALEM, OR 97301-3503
PH: 503.588.4173

**PHASE 2
THE GRAY BUILDING**
State Street & Liberty Street SE, Salem, Oregon 97301

Rev	Description	Date
1	Addendum #1	05/23/16
2	City Comments	07/06/16
3	Elevator Relocation	07/14/17
4	City Comments	01/15/18
5	RFI #4	02/05/18
8	ASI #01	04/04/18

BUILDING SECTIONS

A5.0

Attachment C

From: SEARS Joy * OPRD [<mailto:Joy.Sears@oregon.gov>]
Sent: Wednesday, April 18, 2018 4:39 PM
To: Kimberli Fitzgerald <KFitzgerald@cityofsalem.net>
Subject: RE: Gray Building Minor Historic Design Review

Hello Kimberli,

Thank you for opportunity to provide courtesy comments on the Gray Building in downtown Salem that is currently taking advantage of the Special Assessment Property Tax Program and the Federal Historic Tax Credit. All this work appears to meet the Standards and recommended for approval. While the new proposed HVAC is proposed for placement on the roof, they have been pushed back as far as possible from the parapet as to not be readily visible from the public right-of-way even though they appear visible (approximately 6 inches to a foot) in the two dimensional elevation drawings.

Please let me know if you have any questions or concerns.

Sincerely,
Joy

Joy Sears
Restoration Specialist

Oregon State Historic Preservation Office (SHPO)
725 Summer Street NE, Suite C
Salem OR 97301

Phone 503-986-0688
Email: Joy.Sears@oregon.gov
Website: www.oregonheritage.org