

NOTICE OF DECISION

PLANNING DIVISION
555 LIBERTY ST. SE, RM 305
SALEM, OREGON 97301
PHONE: 503-588-6173
FAX: 503-588-6005



*Si necesita ayuda para comprender esta informacion, por favor llame
503-588-6173*

ADMINISTRATIVE DECISION - MINOR HISTORIC REVIEW

CASE NO.: Historic Review Case 17-24 / Amanda No. 17-110542-DR

NOTICE OF DECISION DATE: June 20, 2017

SUMMARY: A proposal to replace the front porch surface on the David McCully House (1865).

REQUEST: Minor Historic Design Review of a proposal to replace the existing front porch surface with new fir boards, on the David McCully House (1865), an individually listed National Register historic resource, located at 1365 John Street S, Marion County Assessor's Map and Tax Lot Number: 073W27CC14400.

OWNER: TNT Builders for Kristin Eggiman

LOCATION: 1365 John St. S

CRITERIA: Salem Revised Code Chapter 230.025(d) Porch.

DECISION: Based upon the application materials deemed complete on June 19, 2017, and the findings as presented in this report, the application is APPROVED.

FINDINGS: The applicant is proposing to replace the existing porch surface at the front entry of the David McCully House which is in poor condition. Staff determined that the following standards from SRC Chapter 230 are applicable to this project:

Siding

230.025(a) (d) Porches. *Replacement of porches on historic contributing buildings shall be allowed only where the owner has attempted to repair the original porch, but repair was not feasible due to the poor condition of the original materials. If the porch is not original then every effort shall be made to replicate the original porch; the effort shall be substantiated by historic, physical, or pictorial evidence. If the porch cannot be replicated then it should be of a compatible design and material.*

(1) Materials. *All features of the porch shall be replaced with material that duplicate, to the greatest degree possible, the appearance and structural qualities of the original porch.*

Finding: The applicant is proposing to replace the existing wooden porch surface with fir, which duplicates to the greatest degree possible the characteristics of the existing material of the porch. Staff finds that SRC 230.25(d)(1) has been met.

(2) Design. *The overall design of the porch shall reproduce, to the greatest degree possible, the appearance of the original porch.*

Finding: The applicant is proposing to replace the existing wooden porch surface with wood which reproduces to the appearance of the original porch. Staff finds that SRC 230.025(d)(2) has been met.

DECISION: Based the application upon materials deemed complete on June 19, 2017 and the findings as presented in this report, the application is APPROVED



Kimberli Fitzgerald, AICP, Historic Preservation Officer
Planning Administrator Designee

kfitzgerald@cityofsalem.net, Phone: (503)540-2397

Attachments: A. Vicinity Map
B. Applicant's Submittal Materials

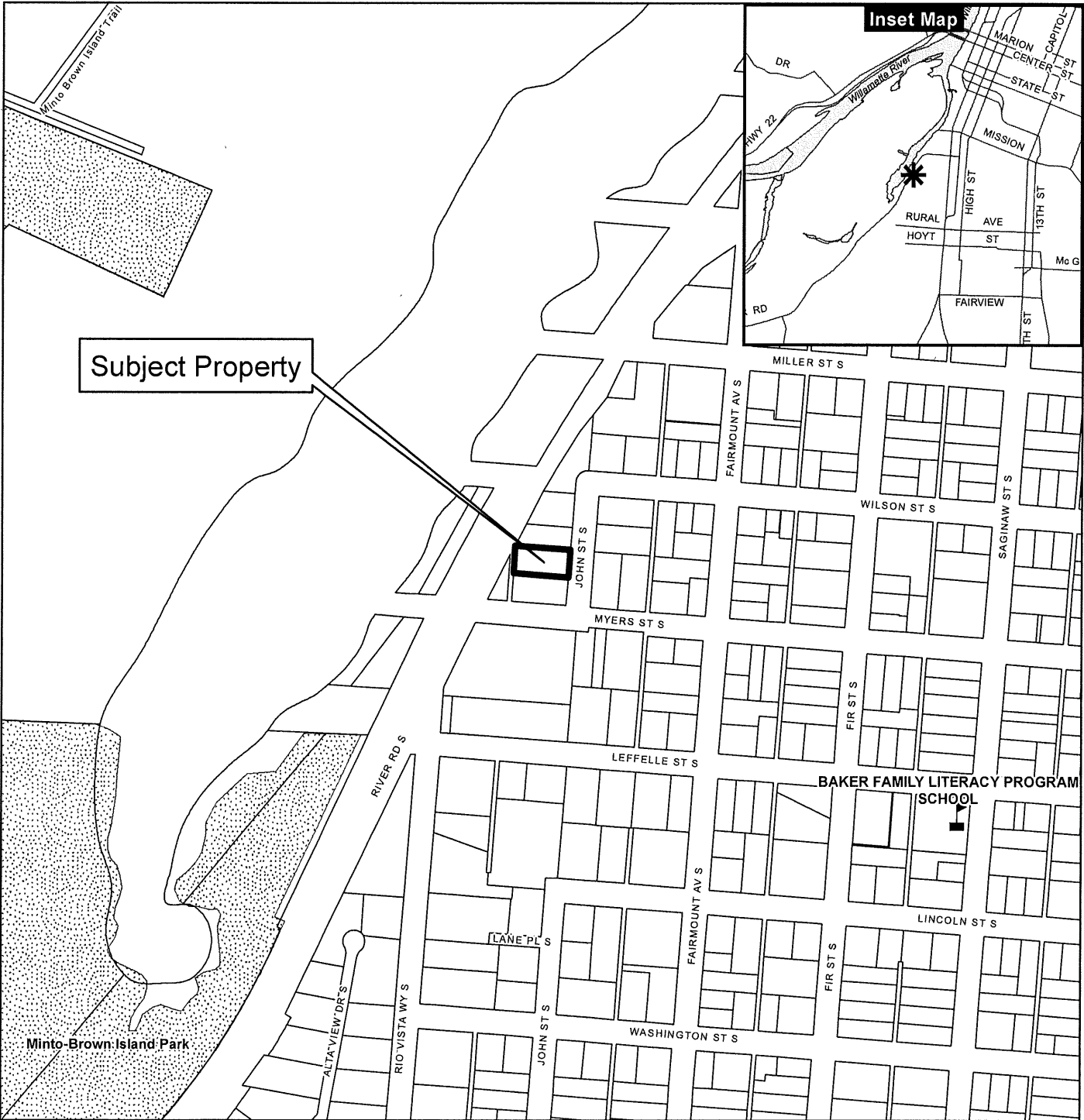
*This Decision becomes effective on **July 6, 2017**. No work associated with this Decision shall start prior to this date unless expressly authorized by a separate permit, land use decision, or provision of the Salem Revised Code (SRC).*

Application Deemed Complete: June 19, 2017
Notice of Decision Mailing Date: June 20, 2017
Decision Effective: July 6, 2017
State Mandated Decision Date: October 17, 2017

The rights granted by this decision must be exercised by **July 6, 2019** or this approval shall be null and void.

This decision is final unless written appeal from an aggrieved party is filed with the City of Salem Planning Division, Room 305, 555 Liberty Street SE, Salem OR 97301, **no later than 5:00 p.m., Tuesday, July 5, 2017**. The appeal must state where the decision failed to conform to the provisions of the historic preservation ordinance (SRC Chapter 230). The appeal must be filed in duplicate with the City of Salem Planning Division. The appeal fee must be paid at the time of filing. If the appeal is untimely and/or lacks the proper fee, the appeal will be rejected. The Salem Historic Landmarks Commission will review the appeal at a public hearing. After the hearing, the Historic Landmarks Commission may amend, rescind, or affirm the action, or refer the matter to staff for additional information.








Vicinity Map 1365 John Street S



Subject Property

Inset Map

Legend

-  Taxlots
-  Outside Salem City Limits
-  Parks
-  Urban Growth Boundary
-  Historic District
-  City Limits
-  Schools

CITY OF Salem
AT YOUR SERVICE
 Community Development Dept.

0 100 200 400 Feet



This product is provided as is, without warranty. In no event is the City of Salem liable for damages from the use of this product. This product is subject to license and copyright limitations and further distribution or resale is prohibited.

Case No. HIS17-24

Historic Alteration Review - General Resource Worksheet

Site Address: 1365 John St S Resource Status: Contributing
 Individual Landmark Non- Contributing

Type of Work Activity Proposed

Major Minor

Replacement, Alteration, Restoration or Addition of:

Architectural Feature:

- Deck
- Door
- Exterior Trim
- Porch
- Roof
- Siding
- Window(s) Number of windows: _____
- Other architectural feature (describe) _____

Landscape Feature:

- Fence
- Retaining wall
- Other Site feature
- Streetscape

New Construction:

- Addition
- New Accessory Structure
- Sign
- Awning

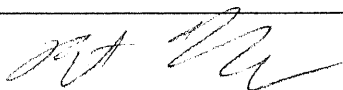
Will the proposed alteration be visible from any public right-of-way? YES NO

Project's Existing Material: clear fir tie Project's New Material:
clear fir tie

Project Description

Briefly provide an overview of the type of work proposed. Describe how it meets the applicable design criteria in SRC Chapter 230. Please attach any additional information (i.e., product specification sheets) that will help Staff and the HLC clearly understand the proposed work:

(see attached Historic Review Letter)



Signature of Applicant

5/18/17

Date Submitted/Signed

Kimberli,

To confirm and elaborate on what we'd discussed while meeting on site, our intention in regard to the project at 1365 John St S, Salem, OR 97302 is to replace the existing fir tongue and groove porch surface with a like material: clear fir tongue and groove of the same dimensions.

Our replacement process will be as follows:

1. Temporarily brace the cover above to remove its load on the porch surface
2. Free the cover posts from the porch surface by cutting/removing any necessary fasteners
3. If necessary, temporarily remove the cover posts to be re-installed later
4. Remove the existing porch surface while not causing damage to any of the surrounding structures
5. Install each tongue and groove board one at a time by face-nailing the first board with 8D finish nails, then the next board will butt into the previous board and be toe-nailed into the tongue of the board with the same gauge nail. That way the nails are covered by the groove of the next board. The boards will be installed with one end butting against the house and the other end pointing toward the street, just as the existing boards are installed.
6. Once the full area of the porch is installed, the cover posts will be reinstalled (if necessary) and fastened to the porch surface similar to its current fastening system, which will be determined during initial removal
7. Finally, the temporary braces will be removed from the cover.

Of course, while that process is our intention, our process may need to be modified depending upon what we find when we detach the cover posts from the porch surface as we had discussed on site.

Thank you for your time and consideration.

Brent Mosser
Project Manager
TnT Builders inc.
541-926-3117



1365 John Street S
Front Porch



