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503-588-6173*

ADMINISTRATIVE DECISION - MINOR HISTORIC REVIEW

CASE NO. Historic Review Case HIS14-40 / Amanda No. 14-118686-DR

NOTICE OF DECISION DATE: December 16, 2014

REQUEST: Minor historic design review of a proposal to install a ramp, replace the garage doors, and reside and install three new windows on two historic non-contributing accessory structures on the site of the Justice Gorge Rossman House (1922), an individually listed Local Landmark, zoned CB (Central Business District), and located at 910 Capitol Street NE; 97301; Marion County Assessor's Map and Tax Lot number: 073W23CA-07900.

APPLICANT: Donna L. King, for Serenity Land

LOCATION: 910 Capitol St. NE, / 97301

CRITERIA: Salem Revised Code (SRC) Chapter 230

FINDINGS: The applicant proposes to install a ramp, replace the garage doors, and reside and install three new windows on two historic non-contributing outbuildings. Staff determined that the following standards from SRC 230 are applicable to this project:

Ramp

(g) Alterations and Additions. Additions and alterations that comply with the standards in this section may be made to non-contributing buildings. Whenever practical, additions and alterations to historic non-contributing buildings should result in the restoration of missing features from the period of significance, or the removal of alterations that were made outside of the period of significance.

(1) Materials.

(A) Materials shall be consistent with those present on buildings in the district generally.

(B) Roofing materials shall have a non-reflective, matte finish.

(2) Design.

(A) The location for an addition shall be at the rear, or on an inconspicuous side, of the building.

(B) Changes to features of the building that date from the period of significance shall be minimized.

(C) The design shall be compatible with general character of historic contributing buildings in the historic district and create a harmonious relationship with historic contributing buildings in the district generally.

Factors in evaluating the design under this paragraph include, but are not limited to:

(i) Similarities in the size and scale to those used in historic contributing buildings in the district generally.

(ii) Use of architectural features that reflect, or are similar to, the architectural style of historic contributing buildings in the district.

(iii) Simple gable or hipped roofs with a pitch similar to surrounding buildings are generally appropriate. Flat roofs may be appropriate when the prevailing styles of architecture provide an appropriate context. Exotic or complex roof forms that detract from the visual continuity of the district are generally inappropriate.

(iv) Additions should have a similar mass to surrounding buildings.

NOTICE OF DECISION

PLANNING DIVISION
555 LIBERTY ST. SE, RM 305
SALEM, OREGON 97301
PHONE: 503-588-6173
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- (v) Front elevations should appear similar in scale to those seen traditionally in the surrounding neighborhood.
- (vi) The width and height of the addition should not exceed the typical dimensions seen in the district.
- (vii) Simple rectangular building forms are generally preferred.
- (D) The design shall make clear what is original and what is new.
- (E) Features that have been added over time and have attained significance in their own right shall be preserved, even if the features do not reflect the period of significance.

Findings:

The applicant is proposing to install a new wood ADA accessible ramp with railings approximately twelve feet long, at the rear of Outbuilding No. 1. The ramp is simple in material and design and will be located at the rear of the outbuilding, not visible from Capitol St. NE, thereby meeting SRC 230.030 (g)(1) and (2).

The applicant is proposing to reside the outbuildings with a wood composition/cement board horizontal lap siding. The historic non-contributing outbuildings are currently sided with plywood which is in poor condition. The new siding would be more compatible with the primary resource on the site, yet be clearly new, thereby meeting SRC 230.030 (g)(1) and (2).

Doors

- (c) **Doors.** Replacement of doors in non-contributing buildings is allowed.
 - (1) **Materials.** The replacement door shall be constructed with materials that duplicate, to the greatest degree possible, the appearance and structural qualities consistent with doors in buildings in the district.
 - (2) **Design.**
 - (A) Door openings shall maintain a similar size to the existing doors in the building.
 - (B) Door styles and types shall be similar to the styles and types of buildings in the district.
 - (C) Doors should be simple in shape, arrangement, and detail.
 - (D) Door shall be finished with trim elements in a manner consistent with buildings in the district.
 - (E) The number of different door styles in the building shall be limited.

Findings:

The applicant is proposing to adaptively reuse the existing historic non-contributing garages as office space. As part of the adaptive reuse, the applicant is proposing to replace the existing garage doors on both Outbuilding No. 1 and No. 2 with new garage doors that replicate the material and design of the existing doors which are in poor condition. It is not the applicant's intention to actively use the new doors in the new use, therefore, the walls will be furred out, and insulation added. On the exterior of the outbuildings, the doors will retain their original appearance, and the original openings will not be altered, thereby meeting SRC 230.030(c) (1) and (2).

Windows

- 230.30(b) Windows.** Replacement of windows in non-contributing buildings is allowed.
 - (1) **Materials.** The replacement window shall be constructed with materials that duplicate, to the greatest degree possible, an appearance and structural qualities consistent with windows in buildings in the district.
 - (2) **Design.**
 - (A) Window openings shall maintain a similar size to the existing windows in the building.
 - (B) Window styles and types shall be similar to the styles and types of buildings in the district.
 - (C) Windows should be simple in shape, arrangement, and detail.
 - (D) Windows shall be finished with trim elements in a manner consistent with buildings in the district.
 - (E) The number of different window styles in the building shall be limited.
 - (3) **Improvements to Create Energy Efficiency.**
 - (A) The use of weather stripping, insulation, or materials to either repair or improve the

energy efficiency of shall be evaluated as means to achieve the desired energy efficiency objectives prior to seeking authorization to replace a window.

(B) If an owner wishes to improve the energy efficiency of windows located on the primary façade, only energy efficiency measures shall that are removable and do not permanently alter the resource, including, but not limited to, exterior storm windows and weather-stripping shall be used on the primary façade.

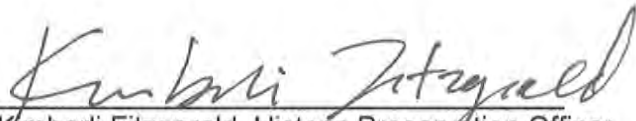
(C) If an owner wishes to improve the energy efficiency of windows located on other than the primary façade, measures that are removable and do not permanently alter the resource, including, but not limited to, exterior storm windows and weather-stripping, and to reuse the original window frame and sash with replacement by energy efficient glass that maintains the overall design and appearance of the window are allowed. Example: Replacement of single pane glass with new energy efficient double-paned glass is permissible, so long as the window is in satisfactory condition, muntins are wide enough to hold the double-paned glass, the double paned glass can be inserted into the original window sash, there are only minor alterations to the overall design of the window, and the double-paned glass is not visibly tinted or reflective.

Findings:

The applicant is proposing to install two new window openings on Outbuilding No. 2 approximately 2' x 6' in and install a standard vinyl window comprised of a vinyl frame, with non-reflective, tempered glass. The applicant is proposing to replace the existing 4' x 4' window with a new vinyl window on the west façade, adjacent to the door, which accesses the parking lot.

The proposed windows are simple in size, simple in shape, arrangement, and detail. The windows will be located on secondary facades, on the north, west, and east sides of the building, not visible from either Capitol Street NE or D Street NE. The windows will be of a similar size and material to the existing windows in the building, and trimmed to match the outbuilding, thereby meeting SRC 230.030 (b)(1) and (2). Standard SRC 230.030 (b)(3) does not apply to this proposal.

DECISION: Based upon the application materials deemed complete on December 12, 2014, and the findings as presented in this report, the application is APPROVED.



Kimberli Fitzgerald, Historic Preservation Officer
Urban Planning Administrator Designee

kfitzgerald@cityofsalem.net; Phone: (503)540-2397

Application Deemed Complete: December 12, 2014

Notice of Decision Mailing Date: December 16, 2014

Decision Effective Date: January 1, 2015

State Mandated Decision Date: April 11, 2015

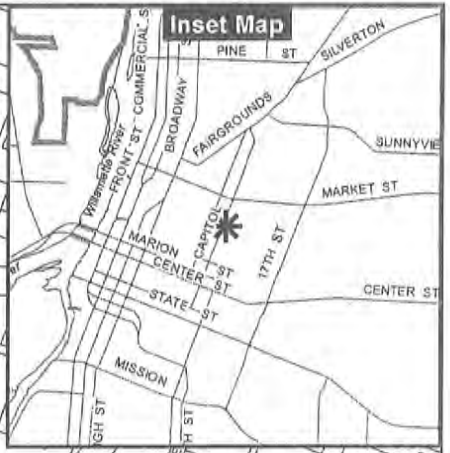
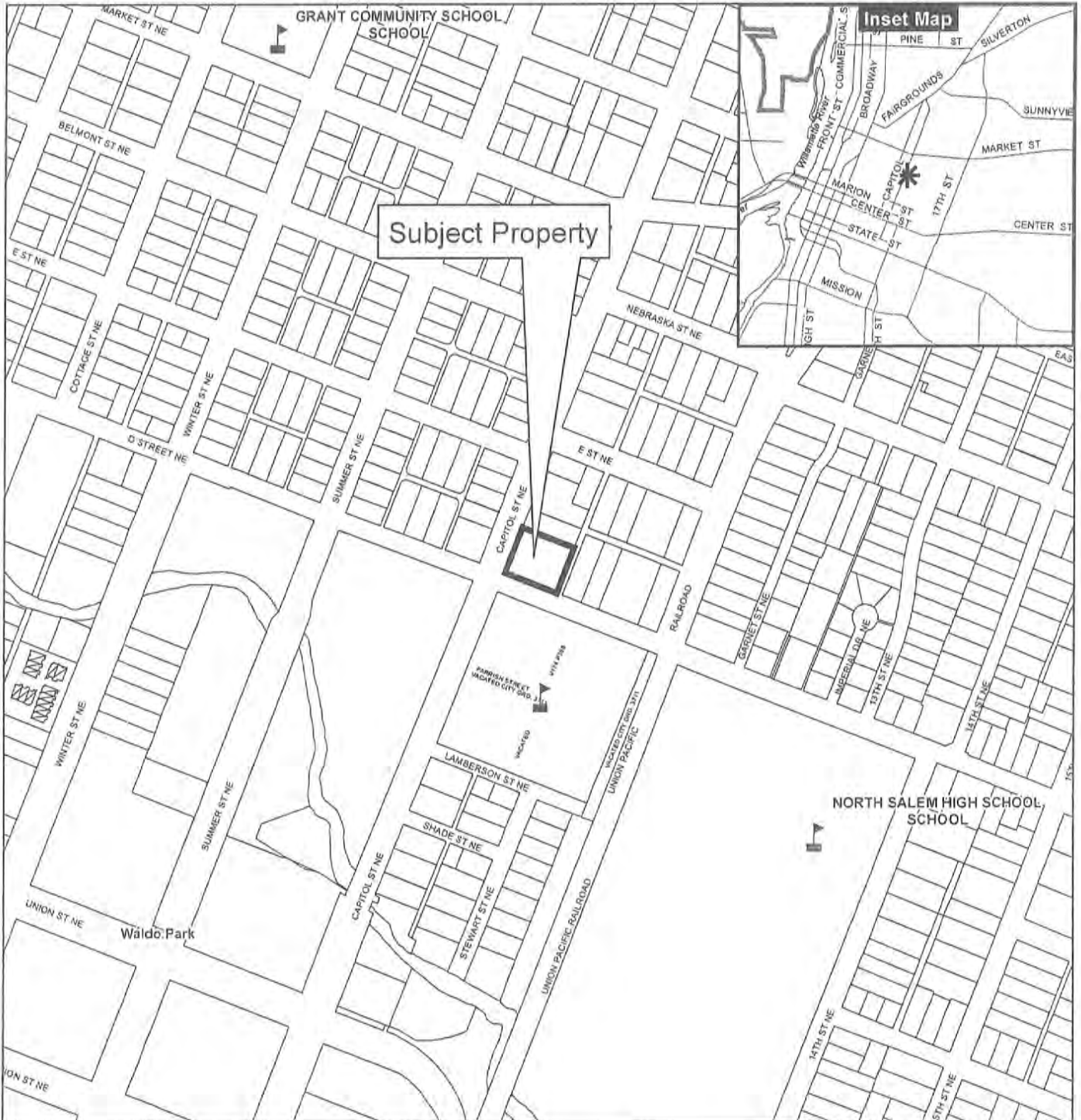
The rights granted by this decision must be exercised by January 1, 2017, or this approval shall be null and void.

This decision is final unless written appeal from an aggrieved party is filed with the City of Salem Planning Division, Room 305, 555 Liberty Street SE, Salem OR 97301, no later than 5:00 p.m., December 31, 2014. The appeal must state where the decision failed to conform to the provisions of the historic preservation ordinance (SRC Chapter 230). The appeal must be filed in duplicate with the City of Salem Planning Division. The appeal

fee must be paid at the time of filing. If the appeal is untimely and/or lacks the proper fee, the appeal will be rejected. The Salem Historic Landmarks Commission will review the appeal at a public hearing. After the hearing, the Historic Landmarks Commission may amend, rescind, or affirm the action, or refer the matter to staff for additional information.

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910 Capitol St NE



Subject Property

Inset Map

Legend

-  Taxlots
-  Urban Growth Boundary
-  City Limits
-  Outside Salem City Limits
-  Historic District
-  Schools
-  Parks

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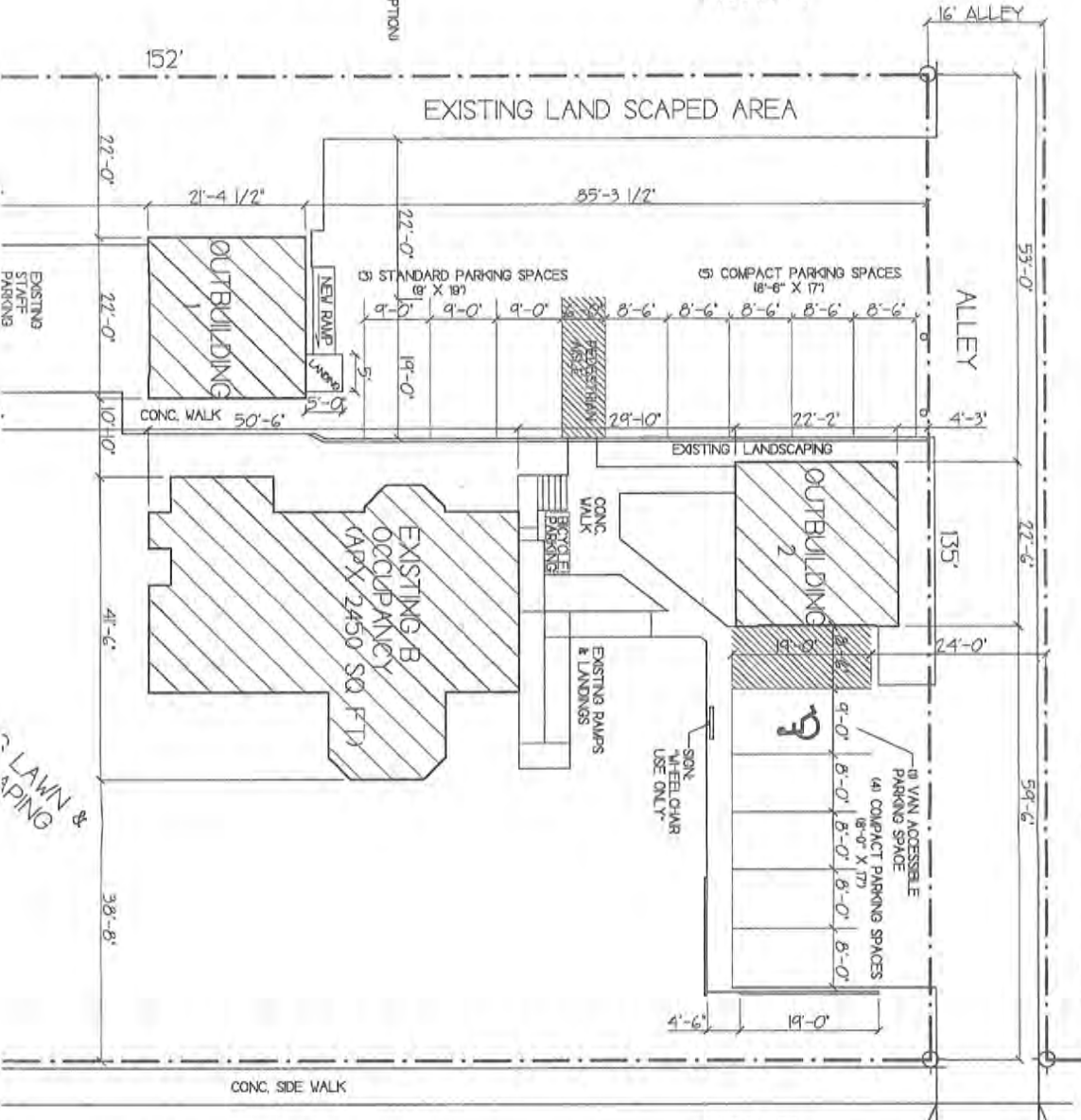
0 100 200 400 Feet





NORTH

TOTAL PARKING SPACES: 17
 ONE VAN ACCESSIBLE PARKING SPACE REQUIRED AS PER OSSC 806.05
 VAN W/ ACCESS ANGLE SIZED AS PER ICC INTJ 502.2 EXCEPTION
 SIGNAGE TO BE INSTALLED AS PER OSSC 108.12
 PARKING SPACES DESIGNED AS PER SRC 806.075 (4)
 TABLE 806-3
 MINIMUM NUMBER OF PARKING SPACES REQUIRED: 10
 MAXIMUM NUMBER OF PARKING SPACES REQUIRED: 25
 (AS PER SRC 806.05 TABLE 806-2)



DEVIATION FROM APPROVED PLANS
 MUST FIRST BE APPROVED BY THE CITY OF SALEM
 PRIOR TO INSPECTIONS
 REVISIONS MUST BE ON SITE

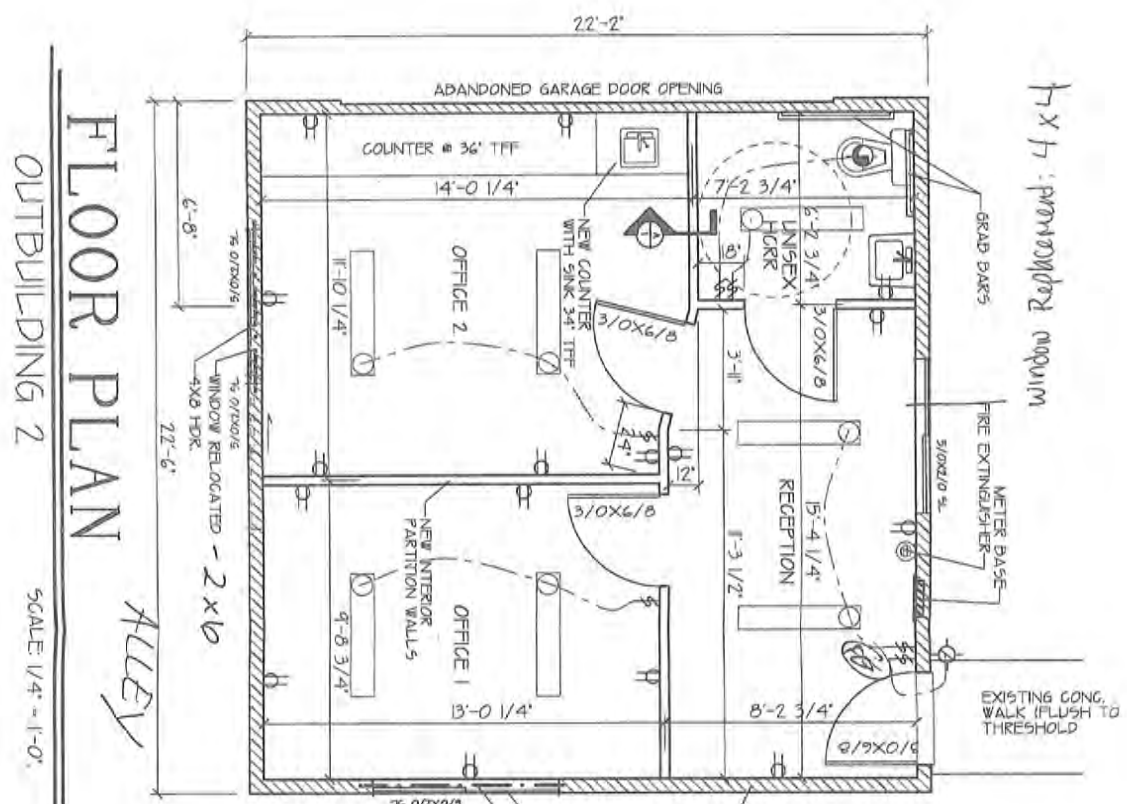
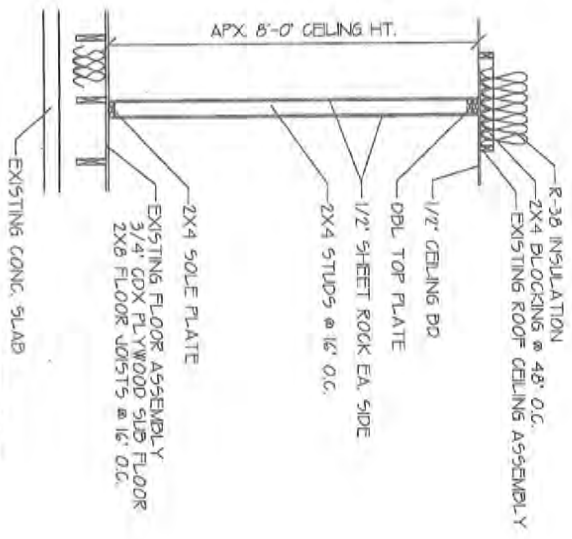
PERMITS REQUIRED
 SEPARATE PERMITS MUST BE
 OBTAINED FOR THE FOLLOWING:
 ELECTRICAL
 MECHANICAL
 PLUMBING
 FIRE SYSTEMS

**JOB SITE
 COPY**

BUSINESS IDENTIFICATION
 numbers or addresses shall be placed
 and existing premises in such a manner
 plainly visible from the street or road
 property, said numbers shall contrast
 background.

"D" ST. NE

TYP. WALL SECTION
3/8" = 1'-0"



FLOOR PLAN
OUTBUILDING 2

SCALE: 1/4" = 1'-0"

FIRE EXTINGUISHER
FE-2

Window Replacement: 4 x 4



LOCKS AND LATCH
Exit doors shall be operable from inside use of key or any special knowledge. Manually operated edge or surface mounted bolts and surface bolts are prohibited. Doors are used in pairs and approved bolts are used. The door leaf bearing the flush bolts shall have no door knob or mounted hardware. The unlatching of the door shall require more than one operation.

STAIR LANDING
Riser/Landing shall meet 1/2 inch lower the threshold of the door. Riser/Landing shall have a length measured from the top of the riser to the top of the landing of 44 inches.

OutBuilding #1

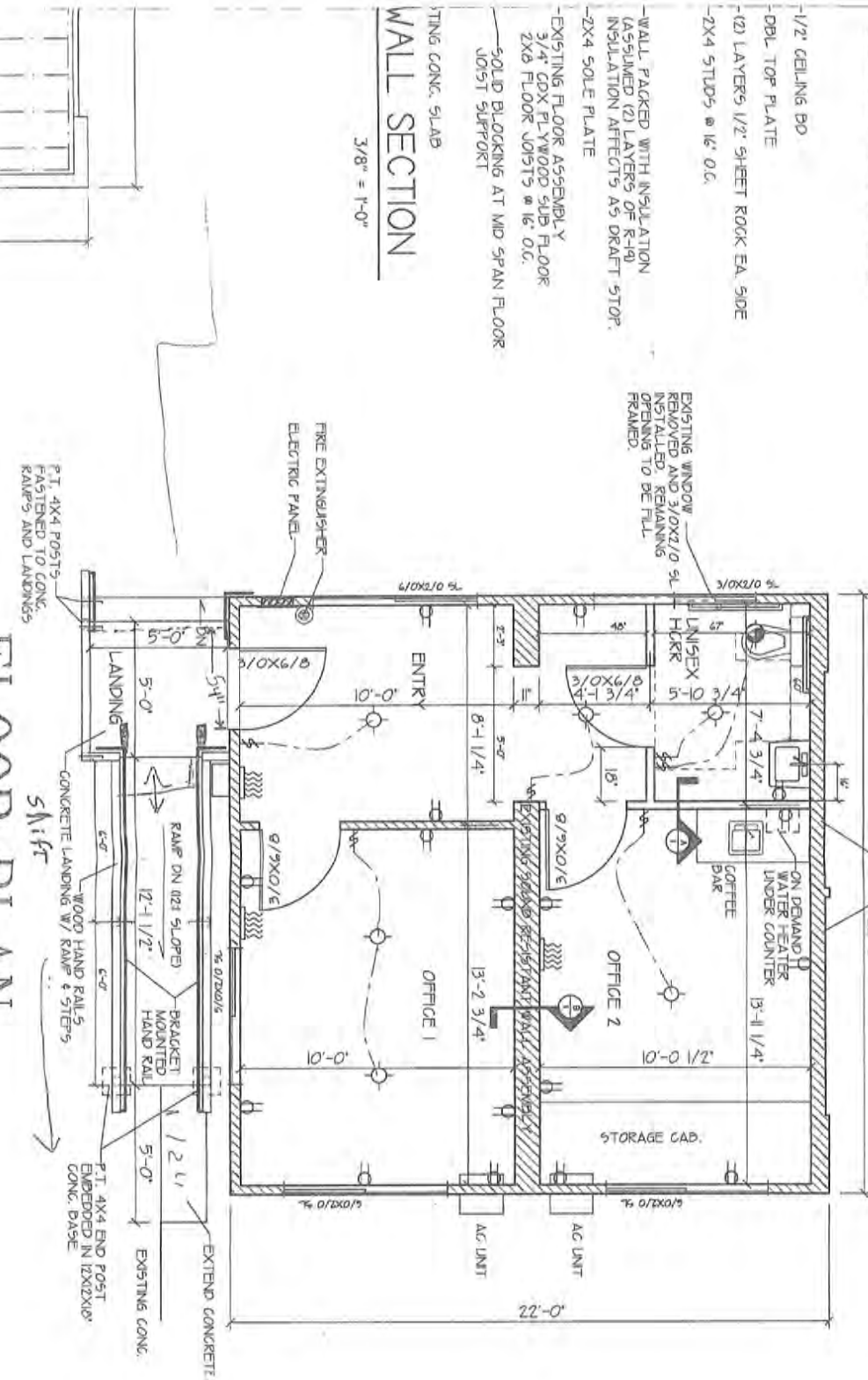
NORTH



- 2-38 INSULATION
- EXISTING ROOF CEILING ASSEMBLY
- 1/2" CEILING BD
- DBL TOP PLATE
- (2) LAYERS 1/2" SHEET ROCK EA. SIDE
- 2X4 STUDS @ 16" O.C.
- WALL PACKED WITH INSULATION (ASSUMED (2) LAYERS OF R-19 INSULATION AFFECTS AS DRAFT STOP.
- 2X4 SOLE PLATE
- EXISTING FLOOR ASSEMBLY
- 3/4" CDX PLYWOOD SUB FLOOR
- 2X8 FLOOR JOISTS @ 16" O.C.
- SOLID BLOCKING AT MID SPAN FLOOR JOIST SUPPORT

WALL SECTION

3/8" = 1'-0"





Outbuilding # 1



Outbuilding #2

