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503-588-6173*

## ADMINISTRATIVE DECISION - MINOR HISTORIC REVIEW

CASE NO. Historic Review Case HIS14-44 / Amanda No. 14-120193-DR

NOTICE OF DECISION DATE: December 17, 2014

**REQUEST:** Minor historic design review of a proposal to install awnings and security gate on the south side and a security fence on the east side of the Roth Company Building, a historic contributing building in Salem's Downtown Historic District, zoned CB (Central Business District), and located at 447 State Street (120 Liberty Street NE); 97301; Marion County Assessor's Map and Tax Lot number: 073W27AB-05300.

**APPLICANT:** Russell Schutte, for McGilchrist, Roth Buildings LLC

**LOCATION:** 447 State Street aka 120 Liberty Street NE

**CRITERIA:** Salem Revised Code (SRC) Chapter 230

**FINDINGS:** The applicant proposes to install tenant awnings with signage and install a security fence and gate on the secondary facades of the Roth Company Buildings. Staff determined that the following standards from SRC 230 are applicable to this project:

### Awnings

**Criteria: 230.040 (k) Awnings and Canopies.** Replacement or installation of awnings and canopies on historic contributing buildings is allowed.

**(1) Materials.**

- (A) Materials that are compatible with the character of the building's period and style shall be used.
- (B) Canvas is an approved material for awnings and canopies.

**(2) Design.**

- (A) Awnings shall be located within window openings, and below transoms.
- (B) Umbrella-type awnings and non-historic forms are not permitted.
- (C) Awnings shall be attached in such a manner that historic materials or features are not damaged.
- (D) Marquees may be used where compatible with the building and neighboring buildings.
- (E) Awnings, canopies, or marquees shall not obscure significant architectural features on the building.
- (F) Awnings, canopies, or marquees shall have size, scale and design that is compatible with the building and neighboring buildings.

### **Findings:**

The applicant is proposing to install two canopies on the eastern end of the south façade of the Roth Building on the first story. Each canopy will be twelve feet by five feet in size, and consist of a metal frame attached to the masonry wall at the mortar joints. The metal frame will be covered in black canvas fabric with a screen printed business logo for the tenant.

These materials are typically found throughout the district and are compatible with the resource and surrounding historic district. The proposed awnings will be located over two window openings on the first floor on the building, will have light letters on a dark background, and their proposed attachment into the mortar joints will not adversely affect or obscure any historic

# NOTICE OF DECISION

PLANNING DIVISION  
555 LIBERTY ST. SE, RM 305  
SALEM, OREGON 97301  
PHONE: 503-588-6173  
FAX: 503-588-6005

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material existing on the Roth Building. The awnings have a design that respect the size, scale and design of the Roth Building. Staff finds that the proposed signs are compatible with the resource and surrounding historic district, thereby meeting SRC 230.040(k) (1) and (2).

### **Security Gate-Fencing**

**Criteria: 230.040(f) Alterations and Additions.** Additions to, or alterations of, the historic contributing building may be made to accommodate uses other than the originally intended purpose.

- (1) **Materials.** Materials for alterations or additions shall:
  - (A) Building materials shall be of traditional dimensions.
  - (B) Material shall be of the same type, quality and finish as original material in the building.
  - (C) New masonry added to a building shall, to the greatest degree possible, match the color, texture and bonding pattern of the original masonry.
  - (D) For those areas where original material must be disturbed, original material shall be retained to the maximum extent possible.
- (2) **Design.** Alterations or additions shall:
  - (A) Additions shall be located at the rear, or on an inconspicuous side, of the building.
  - (B) Be designed and constructed to minimize changes to the building.
    - (C) Be limited in size and scale such that a harmonious relationship is created in relationship to the original building.
    - (D) Be designed and constructed in a manner that significant historical, architectural or cultural features of the building are not obscured, damaged, or destroyed.
    - (E) Be designed to be compatible with the size, scale, material, and character of the building, and the district generally.
    - (F) Not destroy or adversely impact existing distinctive materials, features, finishes and construction techniques or examples of craftsmanship that are part of the building.
    - (G) Be constructed with the least possible loss of historic materials
    - (H) Not create a false sense of historical development by including features that would appear to have been part of the building during the period of significance but whose existence is not supported by historical evidence.
    - (I) Be designed in a manner that makes it clear what is original to the building and what is new.
    - (J) Be designed to reflect, but not replicate, the architectural styles of the period of significance.
    - (K) Preserve features of the building that has occurred over time and has attained significance in its own right.
    - (L) Preserve distinguishing original qualities of the building and its site.
    - (M) Not increase the height of a building to more than four stories.

### **Findings:**

The applicant is proposing to install a wrought iron security 'man' gate at the southeast corner of the Roth Building. The gate will be attached with anchor bolts into mortar joints on the building. The gate will be 5' x 8' 3" and be attached to a 10' high frame. Additionally, the applicant is proposing to install a security fence, 19' in length and 8' 6" in height, with an arched shape in the center. The previously approved wrought iron rail on the second story has been redesigned to reflect the design of this gate on the first story and is proposed to be 4'8" in height, and stretches the length of the balcony on the second story. This system has been preliminarily approved by both the Oregon State Historic Preservation Office and the National Park Service. The materials are of traditional dimensions, and are typically found throughout the historic district. This design is compatible with the scale, design, and materials of historic compatible buildings in the district, therefore staff finds that SRC 230.040(f)(1) and (2) has been met for this portion of the proposal.

**DECISION:** Based upon the application materials deemed complete on December 12, 2014, and the findings as presented in this report, the application is APPROVED.



Kimberli Fitzgerald, Historic Preservation Officer  
Urban Planning Administrator Designee

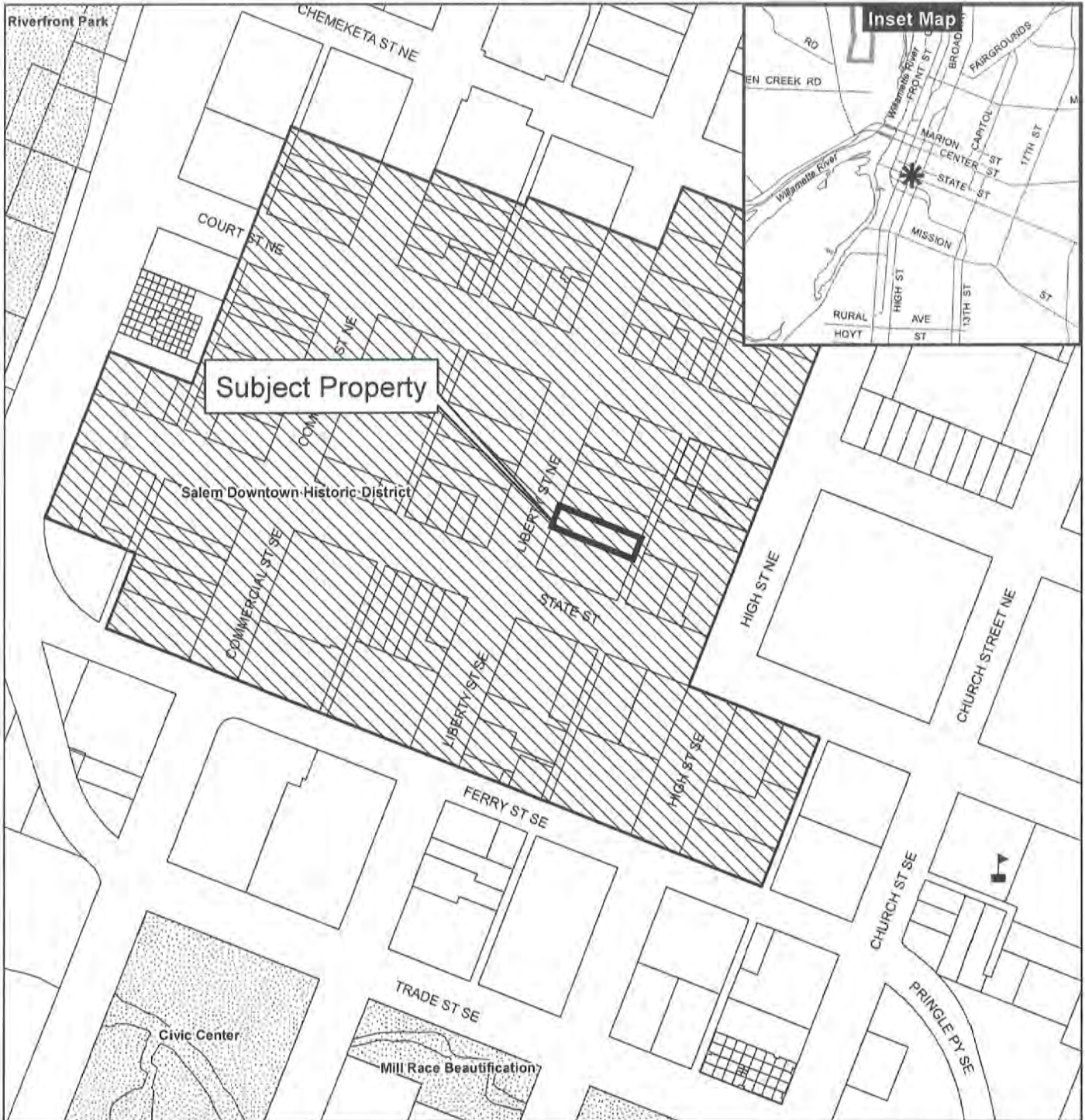
[kfitzgerald@cityofsalem.net](mailto:kfitzgerald@cityofsalem.net); Phone: (503)540-2397

Application Deemed Complete: December 12, 2014  
Notice of Decision Mailing Date: December 17, 2014  
Decision Effective Date: January 6, 2015  
State Mandated Decision Date: April 11, 2015








The rights granted by this decision must be exercised by January 6, 2017, or this approval shall be null and void.

This decision is final unless written appeal from an aggrieved party is filed with the City of Salem Planning Division, Room 305, 555 Liberty Street SE, Salem OR 97301, no later than 5:00 p.m., January 5, 2014. The appeal must state where the decision failed to conform to the provisions of the historic preservation ordinance (SRC Chapter 230). The appeal must be filed in duplicate with the City of Salem Planning Division. The appeal fee must be paid at the time of filing. If the appeal is untimely and/or lacks the proper fee, the appeal will be rejected. The Salem Historic Landmarks Commission will review the appeal at a public hearing. After the hearing, the Historic Landmarks Commission may amend, rescind, or affirm the action, or refer the matter to staff for additional information.

# Vicinity Map 120 Liberty Street NE



## Legend

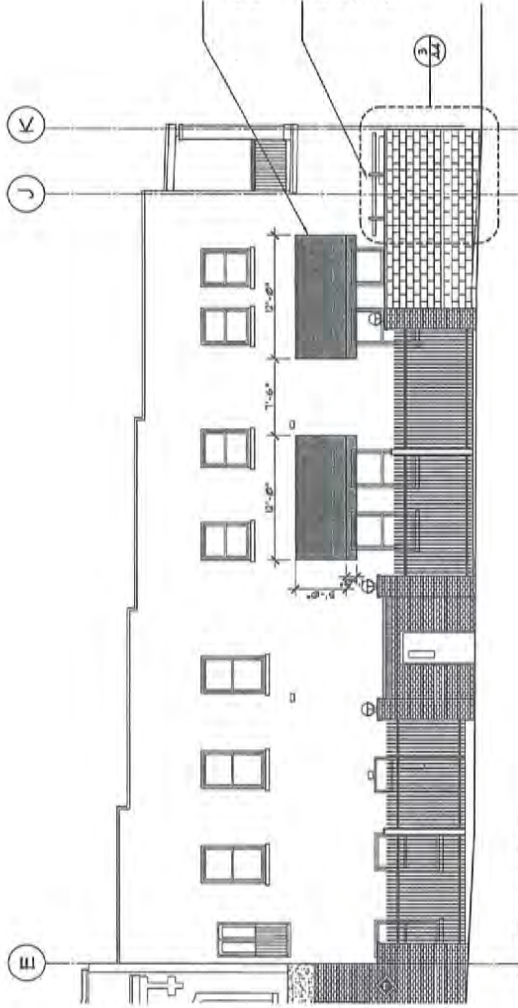
-  Taxlots
-  Outside Salem City Limits
-  Parks
-  Urban Growth Boundary
-  Historic District
-  City Limits
-  Schools

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Community Development Dept

0 100 200 400 Feet



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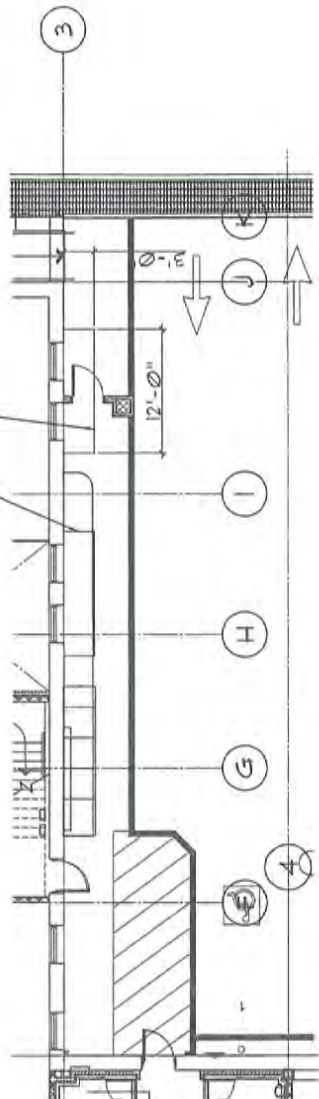


NEW CANOPY, BLACK FABRIC WITH SCREEN PRINTED BUSINESS LOGO. METAL FRAME TO BE ATTACHED TO MASONRY WALL AT MORTAR JOINTS

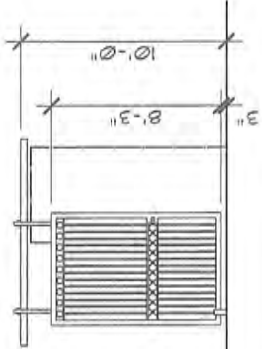
NEW SECURITY GATE, BLACK WROUGHT IRON ON BARN HARDWARE CLOSURE SYSTEM. RAIL SYSTEM FOR THE DOOR IS TO BE ATTACHE WITH ANCHOR BOLTS INTO A MORTAR JOINT AND NOT THE BRICK.

1 SOUTH ELEVATION  
SCALE 1/4"=1'-0"

LINE OF NEW CANOPY OVERHANG



2 PLAN VIEW  
SCALE 1/4"=1'-0"



3 GATE DETAIL ELEVATION  
SCALE 1/4"=1'-0"

REGISTERED ARCHITECT  
3416  
RICHARD & ROTHMEIER  
OF SALEM, OREGON  
STATE OF OREGON

REGISTERED ARCHITECT  
STATE OF OREGON  
NO. 10000  
RICHARD & ROTHMEIER  
ARCHITECTS, INC.

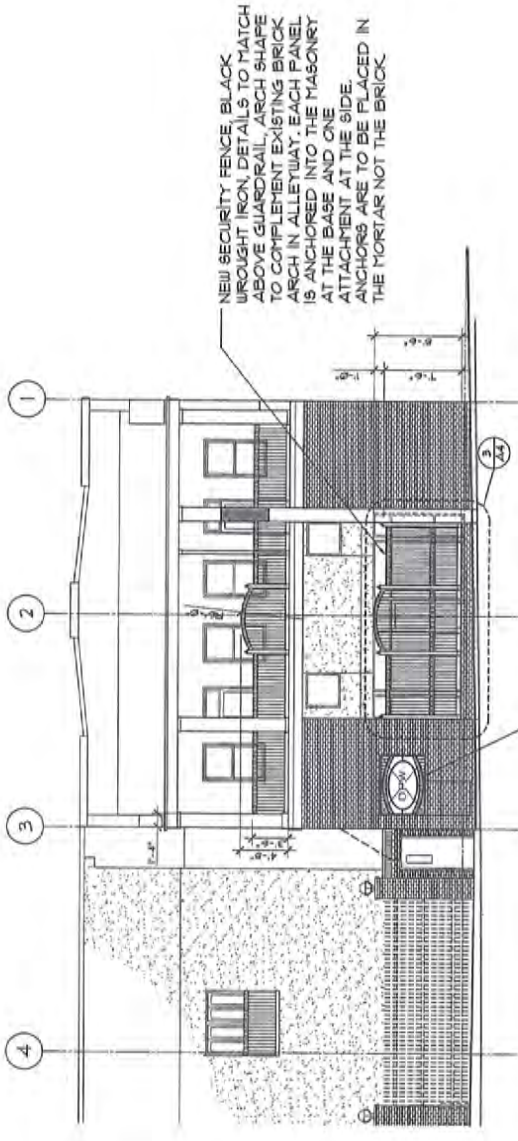
PROJECT NO. 2015.0087  
DATE 08 DEC 2014  
DRAWN BY  
REVISED BY

ASBUCKLE COSTIG ARCHITECTS, INC.  
1000 10TH AVENUE  
SUITE 200  
SEASIDE, OREGON 97138  
503.738.1888

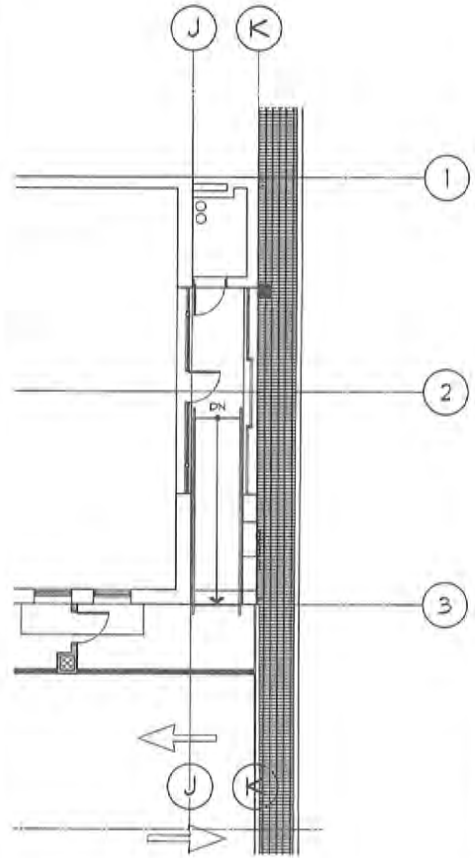
McILLICRIST, ROTH BLDGS  
HISTORIC DETAILS

441 STATE STREET  
SEASIDE, OREGON  
97138

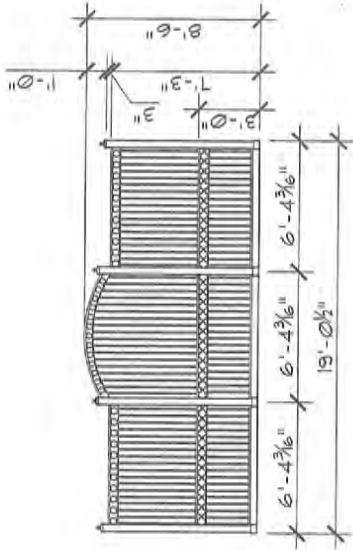
A4



1 WEST ELEVATION (IN ALLEY)  
SCALE: 1/8" = 1'-0"



2 PLAN VIEW  
SCALE: 1/8" = 1'-0"



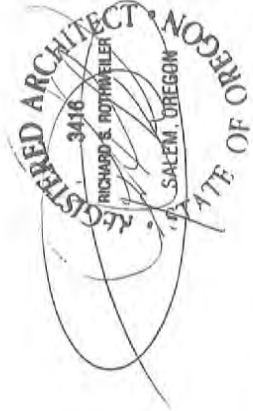
3 GATE DETAIL ELEVATION  
SCALE: 1/4" = 1'-0"

REGISTERED ARCHITECT  
RICHARD S. ROTHMEIER  
3416  
SALEM, OREGON

ADAMS 2018.0001  
DATE 08 DEC 2014  
DRAWN  
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ABEULCO COSTIC ARCHITECTS, INC.  
1100 S. STATE ST.  
SALEM, OREGON 97302  
P: 503.595.1111  
F: 503.595.1112  
www.abecostic.com

MCGILCHRIST, ROTH BLDGS.  
HISTORIC DETAILS  
441 STATE STREET  
SALEM, OREGON  
SHEET





CERTIFIED PUBLIC ACCOUNTANTS

**DOTY  
PRUETT  
WILSON** P.C.

447 STATE ST.